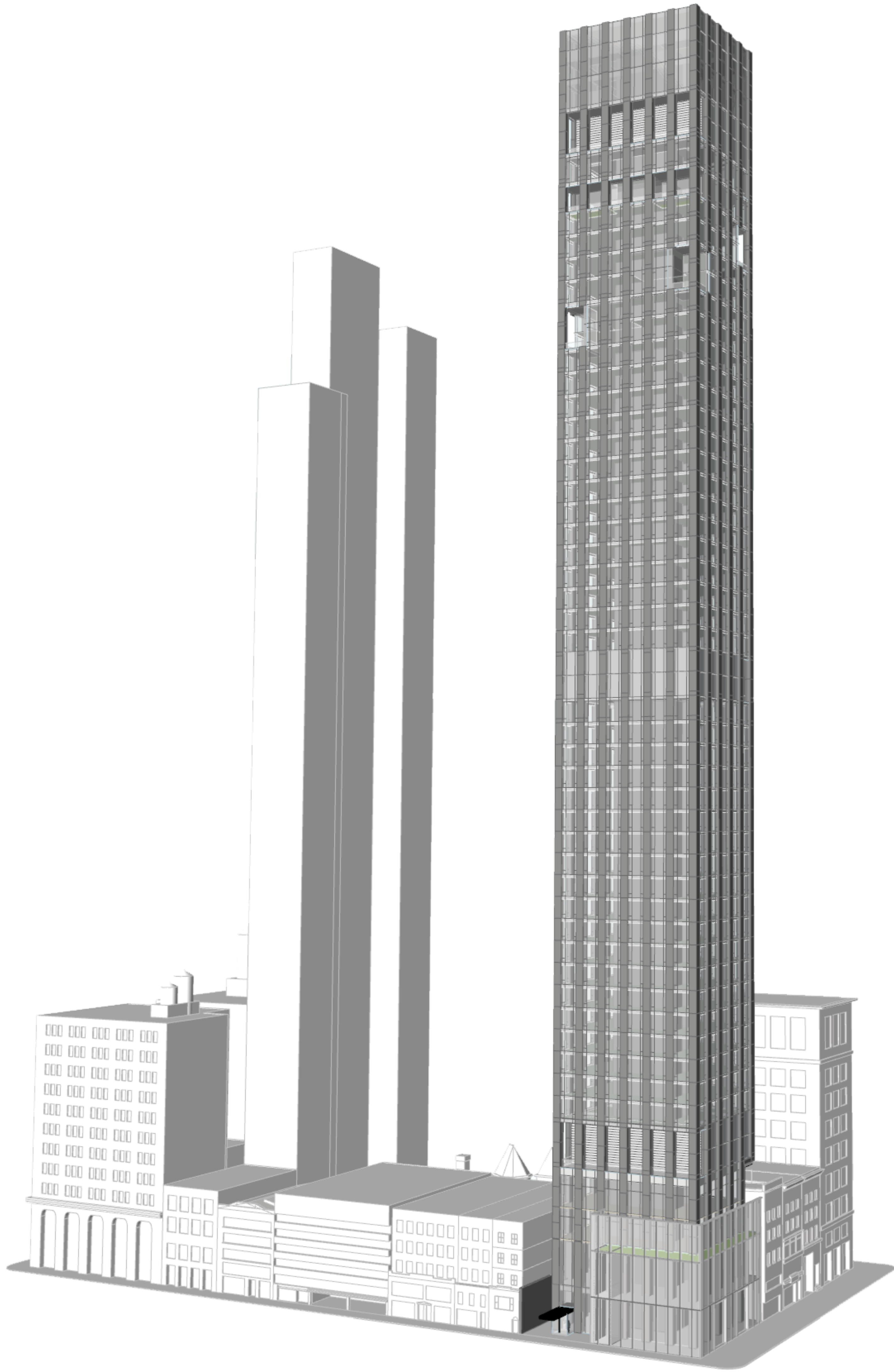


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277

Fifth Avenue

NEW YORK, NY

VICTOR NOMAD LLC

NYC DEPARTMENT OF BUILDINGS | SEPTEMBER 08, 2017

POST-APPROVAL AMENDMENT #2

277
Fifth Avenue
NEW YORK, NY

- OWNER:
VICTOR NOMAD LLC
- CONSTRUCTION MANAGER:
LEND LEASE
200 PARK AVENUE, 9TH FLOOR
NEW YORK, NY 10166
TEL: 212 592 6700
- ARCHITECT :
RAFAEL VIÑOLY ARCHITECTS PC
50 VANDAM STREET
NEW YORK, NY 10013
TEL: 212 924 5060 FAX: 212 924 5858
- STRUCTURAL ENGINEER:
WSP PARSONS BRINCKERHOFF
ONE PENN PLAZA, 4TH FLOOR
NEW YORK, NY 10119
TEL: 212 687 9888
- MEP/FP/IT ENGINEER:
MGE ENGINEERING
116 WEST 32ND STREET, 12TH FLOOR
NEW YORK, NY 10001
TEL: 212 643 9055
- GEOTECH CIVIL ENGINEER:
LANGAN ENGINEERING
300 KIMBALL DRIVE, 4TH FLOOR
PARSIPPANY, NJ, 07054
TEL: 973 560 4900
- VERTICAL TRANSPORT, CONSULTANT:
VAN DEUSEN & ASSOCIATES
120 EAGLE ROCK AVENUE, SUITE 310
EAST HANOVER, NJ, 07936
TEL: 973 994 9220
- ENCLOSURE CONSULTANT:
VIDARIS, INC.
360 PARK AVENUE SOUTH, 15TH FLOOR
NEW YORK, NY, 10010
TEL: 212 689 5389
- FACADE MAINTENANCE CONSULTANT:
EN TEK ENGINEERING LLC
166 AMES STREET
HACKENSACK, NJ, 07601
TEL: 201 820 2801
- ACOUSTICAL CONSULTANT:
CERAMI & ASSOCIATES
404 FIFTH AVENUE
NEW YORK, NY, 10018
TEL: 212 616 4179
- LIGHTING CONSULTANT:
ONE LUX STUDIO
158 WEST 29TH STREET, 10TH FLOOR
NEW YORK, NY, 10001
TEL: 212 201 5790
- SPECIFICATIONS CONSULTANT:
ROBERT SCHWARTZ & ASSOCIATES
589 EIGHTH AVENUE, 17TH FLOOR
NEW YORK, NY, 10018
TEL: 212 691 3248
- ENERGY MODELING CONSULTANT:
STEVEN WINTER ASSOCIATES, INC.
307 SEVENTH AVENUE, SUITE 1701
NEW YORK, NY, 10001
TEL: 212 564 5800
- INTERIOR DESIGN CONSULTANT:
BEERS INTERIORS
156 5TH AVENUE, PENTHOUSE 2
NEW YORK, NY, 10010
TEL: 212 352 2020
- NYC DEPT. OF BUILDINGS
PAA #2

ARCHITECT'S SEAL

Areg Asatryan, RA

U. Asatryan

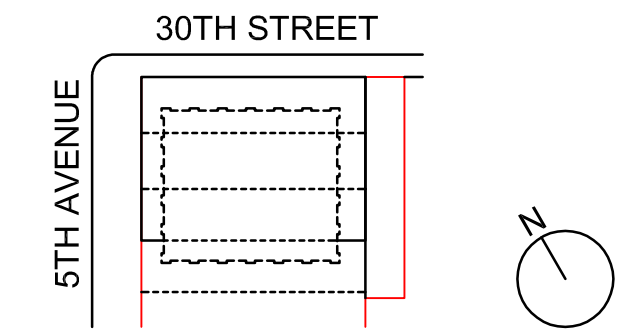
APPROVED

Amended Application

Date: 04/19/2018

NYC Development Hub

09/08/2017	PAA #2
02/24/2017	PAA #1
04/08/2016	DOB SUBMITTAL
01/18/2016	FOUNDATION BID
12/23/2015	SCHEMATIC DESIGN
ISSUE NO.	ISSUE DATE DESCRIPTION



KEY PLAN AND NORTH SIGN
IF THIS DRAWING IS NOT 42" X 30" IT IS
A REDUCED PRINT;
REFER TO GRAPHIC SCALE

SCALE NTS

COVER SHEET

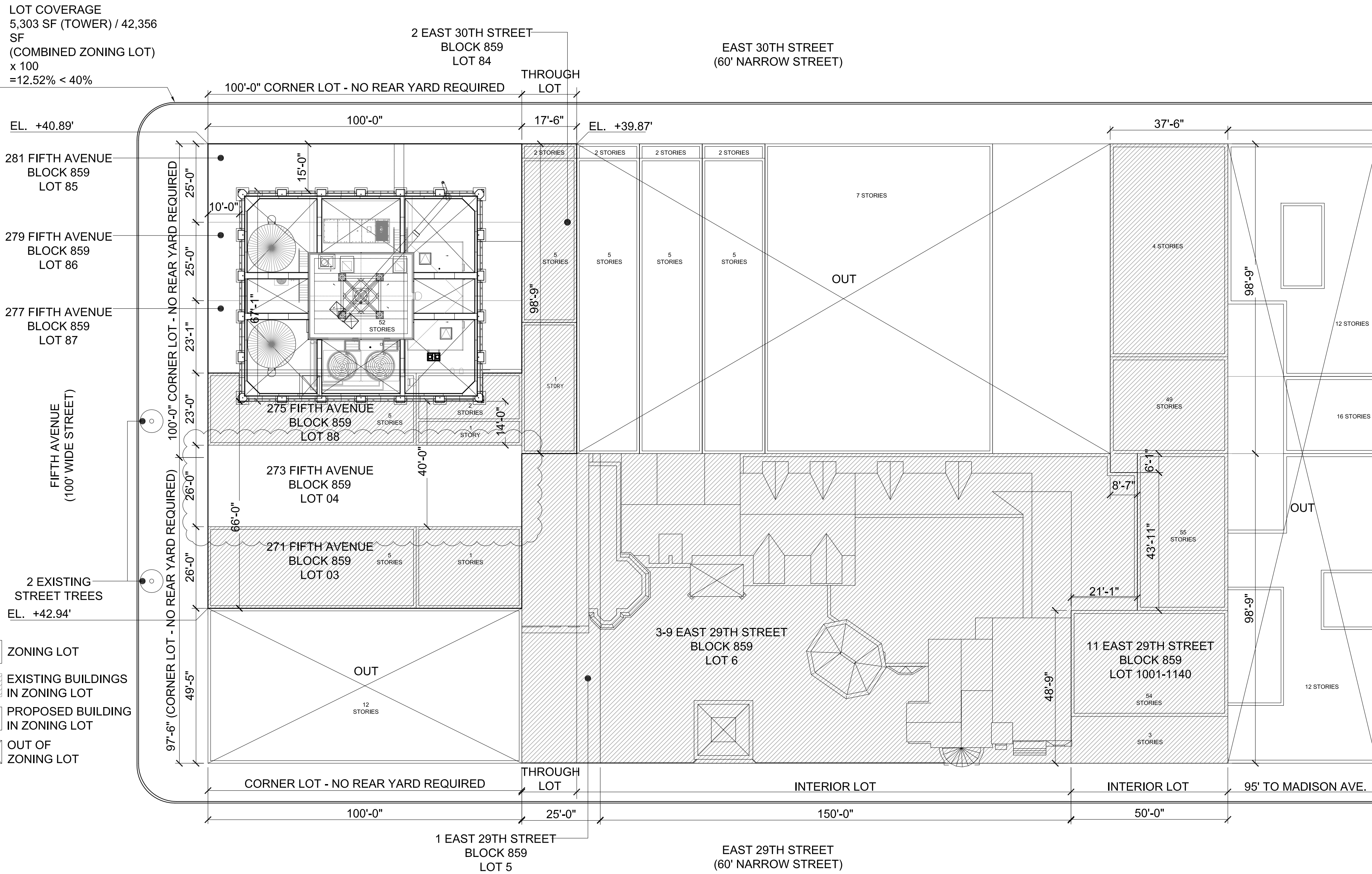
SHEET TITLE :
A-000.02
SHEET NUMBER :

DRAWING LIST		SCALE	DO NOT SCALE
ARCHITECTURAL	SCALE		
Z0 SERIES	ZONING		
Z-001.02	SITE INFORMATION & ZONING CALCULATIONS	AS NOTED	X
Z-002.01	ZONING CALCULATIONS	AS NOTED	X
Z-003.02	ZONING CALCULATIONS	AS NOTED	X
Z-004.02	AREA DEDUCTIONS (CELLAR TO LV3)	1/32" = 1'-0"	X
Z-005.02	AREA DEDUCTIONS (LV4 TO LV7)	1/32" = 1'-0"	X
Z-006.02	AREA DEDUCTIONS (LV8 TO LV35)	1/32" = 1'-0"	X
Z-007.02	AREA DEDUCTIONS (LV36 TO LV42)	1/32" = 1'-0"	X
Z-008.02	AREA DEDUCTIONS (LV43 TO LV46)	1/32" = 1'-0"	X
Z-009.02	AREA DEDUCTIONS (LV47 TO LV59)	1/32" = 1'-0"	X
Z-010.02	AREA DEDUCTIONS (LV60 TO LV63)	1/32" = 1'-0"	X
Z-011.00	SITE SURVEYS	NTS	
Z-012.01	SURVEYS	NTS	
Z-013.01	EXISTING FLOOR AREA SURVEYS	1/8" = 1'-0"	X
Z-014.00	LOT LINE EXTERIOR OPENINGS - EAST ELEVATION	1/8" = 1'-0"	X
Z-015.00	LOT LINE EXTERIOR OPENINGS - SOUTH ELEVATION	1/8" = 1'-0"	X
Z-016.02	PERMITTED OBSTRUCTION DIAGRAM	AS NOTED	X
EN SERIES	ENERGY		
EN-001.01	ENERGY CODE COMPLIANCE EN-1 SUPPORTING DOCUMENTS	NTS	
EN-002.01	ENERGY CODE COMPLIANCE EN-1 SUPPORTING DOCUMENTS	NTS	
EN-003.00	ENERGY CODE COMPLIANCE EN-1 SUPPORTING DOCUMENTS	NTS	
EN-004.01	EXTERIOR WALL ASSEMBLY DETAILS	1" = 1'-0"	X
EN-005.01	ELEVATIONS EAST & WEST ENERGY CALCULATION	1/32" = 1'-0"	X
EN-006.01	ELEVATIONS NORTH & SOUTH ENERGY CALCULATION	1/32" = 1'-0"	X
EN-007.00	MECHANICAL ENERGY CALCULATION	NTS	
EN-008.01	LIGHTING FIXTURE SCHEDULE	NTS	
EN-009.00	DIMMING SCHEDULE AND CONTROLS SINGLE LINE	NTS	
EN-010.00	EXTERIOR WALL ASSEMBLY DETAILS	1" = 1'-0"	X
EN-011.01	ENERGY CODE COMPLIANCE EN-1 SUPPORTING DOCUMENTS	NTS	
EN-012.01	ENERGY COMPLIANCE LIGHTING FIXTURE SCHEDULE	NTS	
EN-013.00	DIMMING SCHEDULE AND CONTROLS SINGLE LINE	NTS	
EN-101.00	CELLAR SUPPORTIVE DOCUMENT SHEET 1	1/4" = 1'-0"	X
EN-102.00	1ST FLOOR SUPPORTIVE DOCUMENT SHEET 2	1/4" = 1'-0"	X
EN-103.00	2ND FLOOR SUPPORTIVE DOCUMENT SHEET 3	1/4" = 1'-0"	X
EN-104.00	3RD FLOOR SUPPORTIVE DOCUMENT SHEET 4	1/4" = 1'-0"	X
EN-105.00	4TH FLOOR SUPPORTIVE DOCUMENT SHEET 5	1/4" = 1'-0"	X
EN-106.00	5TH FLOOR SUPPORTIVE DOCUMENT SHEET 6	1/4" = 1'-0"	X
EN-107.00	6TH FLOOR SUPPORTIVE DOCUMENT SHEET 7	1/4" = 1'-0"	X
EN-108.00	7TH FLOOR SUPPORTIVE DOCUMENT SHEET 8	1/4" = 1'-0"	X
EN-109.00	8TH - 24TH FLOOR SUPPORTIVE DOCUMENT SHEET 9	1/4" = 1'-0"	X
EN-110.00	25TH FLOOR SUPPORTIVE DOCUMENT SHEET 10	1/4" = 1'-0"	X
EN-111.00	26TH FLOOR SUPPORTIVE DOCUMENT SHEET 11	1/4" = 1'-0"	X
EN-112.00	27TH FLOOR SUPPORTIVE DOCUMENT SHEET 12	1/4" = 1'-0"	X
EN-113.00	28TH-38TH FLOOR SUPPORTIVE DOCUMENT SHEET 13	1/4" = 1'-0"	X
EN-114.00	39TH-38TH FLOOR SUPPORTIVE DOCUMENT SHEET 14	1/4" = 1'-0"	X
EN-115.00	39TH FLOOR SUPPORTIVE DOCUMENT SHEET 15	1/4" = 1'-0"	X
EN-116.00	40TH FLOOR SUPPORTIVE DOCUMENT SHEET 16	1/4" = 1'-0"	X
EN-117.00	41ST FLOOR SUPPORTIVE DOCUMENT SHEET 17	1/4" = 1'-0"	X
EN-118.00	42ND FLOOR SUPPORTIVE DOCUMENT SHEET 18	1/4" = 1'-0"	X
EN-119.00	43RD FLOOR SUPPORTIVE DOCUMENT SHEET 19	1/4" = 1'-0"	X
EN-120.00	44TH FLOOR SUPPORTIVE DOCUMENT SHEET 20	1/4" = 1'-0"	X
EN-121.00	45TH FLOOR SUPPORTIVE DOCUMENT SHEET 21	1/4" = 1'-0"	X
EN-122.00	46TH FLOOR SUPPORTIVE DOCUMENT SHEET 22	1/4" = 1'-0"	X
EN-123.00	47TH FLOOR SUPPORTIVE DOCUMENT SHEET 23	1/4" = 1'-0"	X
EN-124.00	48TH FLOOR SUPPORTIVE DOCUMENT SHEET 24	1/4" = 1'-0"	X
EN-125.00	49TH FLOOR SUPPORTIVE DOCUMENT SHEET 25	1/4" = 1'-0"	X
EN-126.00	50TH FLOOR SUPPORTIVE DOCUMENT SHEET 26	1/4" = 1'-0"	X
EN-127.00	51ST FLOOR SUPPORTIVE DOCUMENT SHEET 27	1/4" = 1'-0"	X
EN-128.00	52ND FLOOR SUPPORTIVE DOCUMENT SHEET 28	1/4" = 1'-0"	X
EN-129.00	53RD FLOOR SUPPORTIVE DOCUMENT SHEET 29	1/4" = 1'-0"	X
A0 SERIES	GENERAL INFORMATION		
A-001.01	DRAWING LIST	NTS	X
A-002.00	GENERAL NOTES	NTS	
A-003.00	GENERAL NOTES	NTS	
A-004.00	SYMBOLS AND ABBREVIATIONS	NTS	
A-005.00	SITE FLOOR MAP	NTS	
A-006.00	ACCESSIBILITY AND ADAPTABILITY REQUIREMENTS	NTS	
A-018.00	COPY OF RFP	NTS	X
A1 SERIES	BUILDING PLANS		
A-100.02	CELLAR FLOOR PLAN LEVEL 01	1/4" = 1'-0"	X
A-101.02	GROUND FLOOR PLAN LEVEL 01	1/4" = 1'-0"	X
A-102.02	COMMERCIAL FLOOR PLAN LEVEL 02	1/4" = 1'-0"	X
A-103.02	AMENITY FLOOR PLAN LEVEL 03 FITNESS / SPA	1/4" = 1'-0"	X
A-104.02	AMENITY FLOOR PLAN LEVEL 04 LOUNGE / SUPER'S APT.	1/4" = 1'-0"	X
A-105.02	MECHANICAL/STRUCTURAL TRANSFER FLOOR PLAN LEVEL 05	1/4" = 1'-0"	X
A-106.02	MECHANICAL/STRUCTURAL TRANSFER FLOOR PLAN LEVEL 06	1/4" = 1'-0"	X
A-107.02	RESIDENTIAL FLOOR PLAN LEVEL 07	1/4" = 1'-0"	X
A-108.02	RESIDENTIAL TYPICAL FLOOR PLAN LEVEL 9-25	1/4" = 1'-0"	X
A-109.02	MECHANICAL FLOOR PLAN LEVEL 26	1/4" = 1'-0"	X
A-110.02	MECHANICAL FLOOR PLAN LEVEL 27	1/4" = 1'-0"	X
A-111.02	RESIDENTIAL TYPICAL FLOOR PLAN LEVEL 28-35	1/4" = 1'-0"	X
A-112.02	RESIDENTIAL TYPICAL FLOOR PLAN LEVEL 36-39	1/4" = 1'-0"	X
A-113.02	RESIDENTIAL FLOOR PLAN LEVEL 40	1/4" = 1'-0"	X
A-114.02	RESIDENTIAL FLOOR PLAN LEVEL 41	1/4" = 1'-0"	X
A-115.02	RESIDENTIAL FLOOR PLAN LEVEL 42	1/4" = 1'-0"	X
A-116.02	RESIDENTIAL FLOOR PLAN LEVEL 43	1/4" = 1'-0"	X
A-117.02	RESIDENTIAL FLOOR PLAN LEVEL 44	1/4" = 1'-0"	X
A-118.02	RESIDENTIAL FLOOR PLAN LEVEL 45	1/4" = 1'-0"	X
A-119.02	RESIDENTIAL FLOOR PLAN LEVEL 46	1/4" = 1'-0"	X
A-120.02	RESIDENTIAL FLOOR PLAN LEVEL 47	1/4" = 1'-0"	X
A-121.02	PENTHOUSE FLOOR PLAN LEVEL 48	1/4" = 1'-0"	X
A-122.02	PENTHOUSE FLOOR PLAN LEVEL 49	1/4" = 1'-0"	X
A-123.02	MECHANICAL FLOOR PLAN LEVEL 50	1/4" = 1'-0"	X
A-124.02	MECHANICAL FLOOR PLAN LEVEL 51	1/4" = 1'-0"	X
A-125.02	ENR / SLOSH TANK FLOOR PLAN LEVEL 51	1/4" = 1'-0"	X
A-126.02	TOWER TOP	1/4" = 1'-0"	X
A2 SERIES	BUILDING ELEVATIONS		
A-201.02	ELEVATIONS NORTH & SOUTH	1/32" = 1'-0"	X
A-202.02	ELEVATIONS EAST & WEST	1/32" = 1'-0"	X
A-203.02	ENLARGED ELEVATIONS NORTH & WEST	1/8" = 1'-0"	X
A-204.02	ENLARGED ELEVATIONS SOUTH & EAST	1/8" = 1'-0"	X
A3 SERIES	BUILDING SECTIONS		
A-301.02	OVERALL BUILDING SECTIONS EAST - WEST	1/32" = 1'-0"	X
A-302.02	OVERALL BUILDING SECTIONS NORTH - SOUTH	1/32" = 1'-0"	X
A-303.02	ENLARGED TOWER SECTIONS EAST - WEST	1/8" = 1'-0"	X
A-304.02	ENLARGED TOWER SECTIONS NORTH - SOUTH	1/8" = 1'-0"	X
A-330.01	STAIR 1 AND 2 PLANS AND SECTIONS 01	1/4" = 1'-0"	X
A-331.01	STAIR 1 AND 2 PLANS AND SECTIONS 02	1/4" = 1'-0"	X
A-332.01	STAIR 1 AND 2 PLANS AND SECTIONS 03	1/4" = 1'-0"	X
A-333.01	STAIR 1 AND 2 PLANS AND SECTIONS 04	1/4" = 1'-0"	X
A-334.01	STAIR 1 AND 2 PLANS AND SECTIONS 05	1/4" = 1'-0"	X
A-335.01	STAIR 1 AND 2 PLANS AND SECTIONS 06	1/4" = 1'-0"	X
A-336.01	STAIR 4 PLANS AND SECTIONS	1/4" = 1'-0"	X
A-337.01	STAIR 3 PLANS AND SECTIONS	1/2" = 1'-0"	X
A-338.01	STAIR 3 PLANS AND SECTIONS	1/2" = 1'-0"	X
A4 SERIES	BUILDING COMPONENTS		
A-400.00	TYPICAL WINDOW SECTION	3/4" = 1'-0"	
A-401.00	ENCLOSURE TYP. FLOOR NORTH-SOUTH FACADE	3/8" = 1'-0"	
A-402.00	ENCLOSURE TYP. FLOOR EAST-WEST FACADE	3/8" = 1'-0"	
A-403.01	EXTERIOR WALL SECTION 05TH AND 06TH FLOOR MECHANICAL	3/8" = 1'-0"	
A-404.01	EXTERIOR WALL SECTION 26TH AND 27TH FLOOR MECHANICAL	3/8" = 1'-0"	
A-405.01	EXTERIOR WALL SECTION 50TH AND 51ST FLOOR MECHANICAL	3/8" = 1'-0"	
A-410.00	CANTILEVER SECTION DETAIL	3/4" = 1'-0"	
A-412.00	ENTRY MARQUEE ENLARGED PLAN AND SECTIONS	1/2" = 1'-0"	
A-413.00	TYPICAL WALL FIRE AND SMOKE RATED CURTAIN SECTION	AS NOTED	
A-414.00	TYPICAL LOGGIA SECTION	3/8" = 1'-0"	
A-415.00	EXTERIOR WALL SECTION LOGGIA SOUTH	3/8" = 1'-0"	
A-416.00	EXTERIOR WALL SECTION LOGGIA EAST	3/8" = 1'-0"	

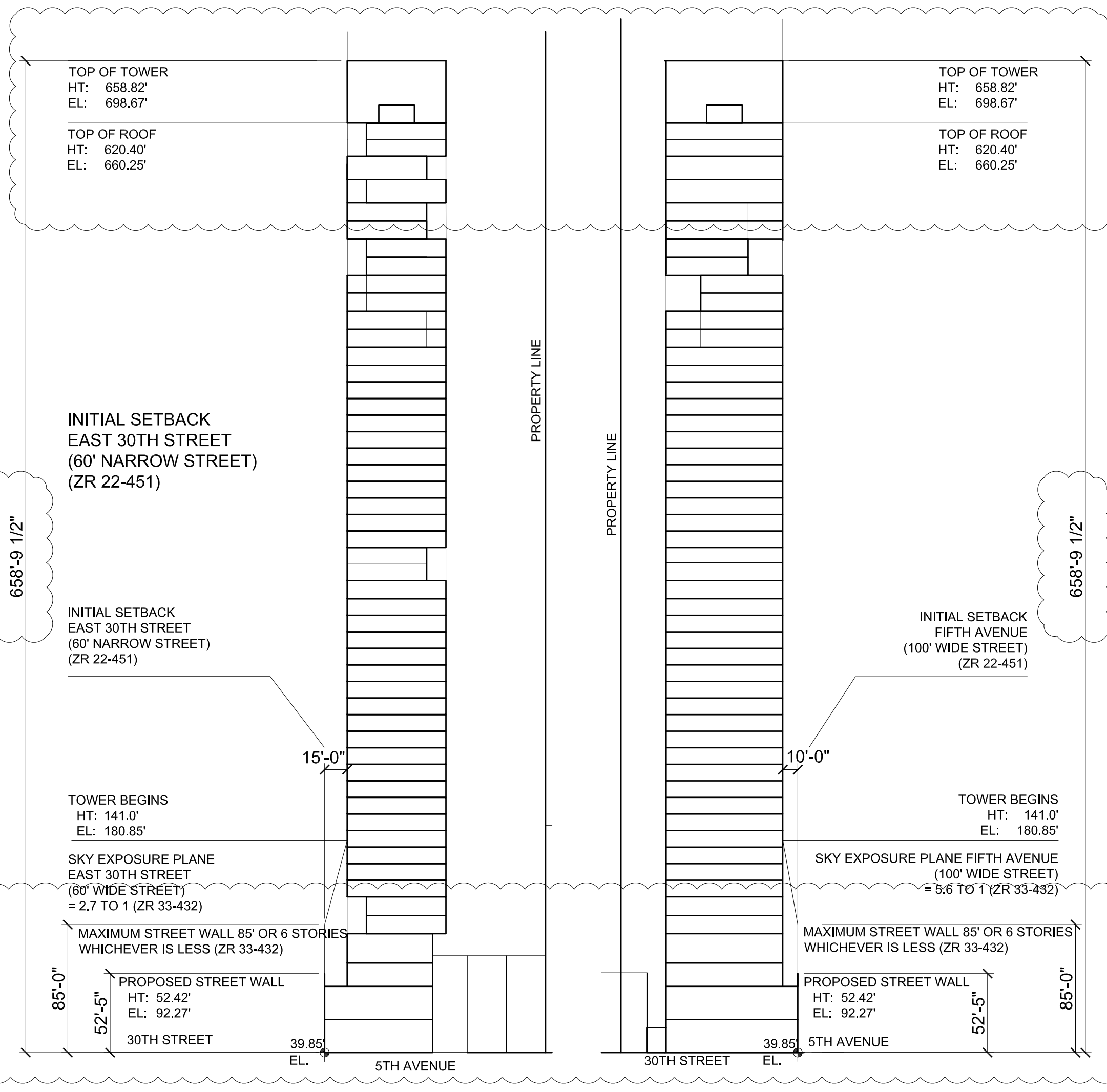
A5 SERIES	TYPICAL DETAILS, ELEVATOR DETAILS		
A-501.02	ELEVATOR CAB PLANS AND CHART	AS NOTED	X
A-502.00	ELEVATOR HOIST WAY SECTIONS AND DETAILS	1/4" = 1'-0"	
A-503.01	ELEVATOR LOBBY AND RESIDENTIAL CORRIDOR ENLARGED PLANS	1/4" = 1'-0"	
A-504.01	PASSENGER ELEVATOR CAB ENLARGED PLANS AND DETAILS 01	1" = 1'-0"	
A-505.01	PASSENGER ELEVATOR CAB ENLARGED PLANS AND DETAILS 02	1" = 1'-0"	
A-506.01	SERVICE ELEVATOR CAB ENLARGED PLANS AND SECTIONS	1" = 1'-0"	
A-507.01	SERVICE ELEVATOR CAB ENLARGED PLANS AND DETAILS	1" = 1'-0"	
A-521.01	TYPICAL RESIDENTIAL BATHROOM TYPE B-1.2	1/2" = 1'-0"	X
A-522.01	TYPICAL RESIDENTIAL BATHROOM TYPE B-3.4	1/2" = 1'-0"	X
A-523.01	TYPICAL RESIDENTIAL BATHROOM TYPE B-5.6	1/2" = 1'-0"	X
A-524.01	TYPICAL RESIDENTIAL BATHROOM TYPE B-7.8	1/2" = 1'-0"	X
A-525.01	TYPICAL RESIDENTIAL BATHROOM TYPE B-4.8	1/2" = 1'-0"	X
A-526.01	TYPICAL RESIDENTIAL BATHROOM TYPE MB-1.2	1/2" = 1'-0"	X
A-527.01	TYPICAL RESIDENTIAL BATHROOM TYPE MB-3.4	1/2" = 1'-0"	X
A-528.01	TYPICAL RESIDENTIAL BATHROOM TYPE MB-5.6	1/2" = 1'-0"	X
A-529.01	TYPICAL RESIDENTIAL BATHROOM TYPE P-1A, 2A, 3A, 4A	1/2" = 1'-0"	X
A-530.00	TYPICAL RESIDENTIAL BATHROOM TYPE MB-1.2	1/2" = 1'-0"	X
A-560.01	TYPICAL RESIDENTIAL KITCHEN A1 AND B1	3/4" = 1'-0"	X
A-561.01	TYPICAL RESIDENTIAL KITCHEN A2 AND A3	3/4" = 1'-0"	X
A-562.01	TYPICAL RESIDENTIAL KITCHEN A4 AND B2	3/4" = 1'-0"	X
A-563.01	TYPICAL RESIDENTIAL KITCHEN A5	3/4" = 1'-0"	X
A-564.01	TYPICAL RESIDENTIAL KITCHEN A6 AND A7	3/4" = 1'-0"	X
A-565.01	TYPICAL RESIDENTIAL KITCHEN B3	1/2" = 1'-0"	X
A-566.00	TYPICAL RESIDENTIAL KITCHEN C1	1/2" = 1'-0"	X
A-567.00	TYPICAL RESIDENTIAL KITCHEN C2	1/2" = 1'-0"	X
A-568.00	TYPICAL RESIDENTIAL KITCHEN C3	1/2" = 1'-0"	X
A-569.00	TYPICAL RESIDENTIAL KITCHEN C4	1/2" = 1'-0"	X
A-570.01	TRASH CHUTE - PLANS AND SECTIONS - 1	3/8" = 1'-0"	
A-571.00	TRASH CHUTE - PLANS AND SECTIONS - 2	3/8" = 1'-0"	
A-572.00	TRASH CHUTE - PLANS AND SECTIONS - 3	AS NOTED	
A-573.01	TYPICAL RESIDENTIAL KITCHEN D1	1/2" = 1'-0"	X
A-574.00	TYPICAL RESIDENTIAL KITCHEN A3-S	1/2" = 1'-0"	X
A6 SERIES	REFLECTED CEILING PLANS		
A-600.02	REFLECTED CEILING PLAN LEVEL 01 CELLAR	1/4" = 1'-0"	X
A-601.02	REFLECTED CEILING PLAN LEVEL 01 COMMERCIAL/LOBBY LOWER	1/4" = 1'-0"	X
A-602.02	REFLECTED CEILING PLAN LEVEL 02 COMMERCIAL	1/4" = 1'-0"	X
A-603.02	REFLECTED CEILING PLAN AMENITY (FITNESS) LEVEL 03	1/4" = 1'-0"	X
A-604.02	REFLECTED CEILING PLAN AMENITY (LOUNGE/SUPER'S APT.) LEVEL 04	1/4" = 1'-0"	X
A-605.02	REFLECTED CEILING PLAN LEVEL 05 MECHANICAL TRANSFER	1/4" = 1'-0"	X
A-606.02	REFLECTED CEILING PLAN LEVEL 06 MECHANICAL TRANSFER	1/4" = 1'-0"	X
A-607.02	REFLECTED CEILING PLAN LEVEL 07 RESIDENTIAL 4 UNITS	1/4" = 1'-0"	X
A-608.02	REFLECTED CEILING PLAN LEVEL 08-24 RESIDENTIAL 4 UNITS	1/4" = 1'-0"	X
A-609.02	REFLECTED CEILING PLAN LEVEL 25 MECHANICAL	1/4" = 1'-0"	X
A-610.02	REFLECTED CEILING PLAN LEVEL 27 MECHANICAL	1/4" = 1'-0"	X
A-611.02	REFLECTED CEILING PLAN LEVEL 28-34 RESIDENTIAL 3 UNITS	1/4" = 1'-0"	X
A-612.02	REFLECTED CEILING PLAN LEVEL 35-38 RESIDENTIAL 3 UNITS	1/4" = 1'-0"	X
A-613.02	REFLECTED CEILING PLAN LEVEL RESIDENTIAL LEVEL 40	1/4" = 1'-0"	X
A-614.02	REFLECTED CEILING PLAN RESIDENTIAL LEVEL 41	1/4" = 1'-0"	X
A-615.02	REFLECTED CEILING PLAN LEVEL 48 PENTHOUSE	1/4" = 1'-0"	X
A-616.02	REFLECTED CEILING PLAN LEVEL 49 PENTHOUSE	1/4" = 1'-0"	X
A-617.02	REFLECTED CEILING PLAN LEVEL 50 MECHANICAL LOWER	1/4" = 1'-0"	X
A-618.02	REFLECTED CEILING PLAN LEVEL 51 MECHANICAL UPPER	1/4" = 1'-0"	X
A-619.00	REFLECTED CEILING PLAN LEVEL 52 ENR / SLOSH TANK	1/4" = 1'-0"	X
A-621.01	REFLECTED CEILING PLAN LEVEL 01 COMMERCIAL/LOBBY UPPER	1/4" = 1'-0"	X
A-622.01	REFLECTED CEILING PLAN LEVEL 03 RESIDENTIAL 4 UNITS	1/4" = 1'-0"	X
A-623.01	REFLECTED CEILING PLAN LEVEL 25 RESIDENTIAL 4 UNITS	1/4" = 1'-0"	X
A-624.01	REFLECTED CEILING PLAN LEVEL 35 RESIDENTIAL 3 UNITS	1/4" = 1'-0"	X
A-625.01	REFLECTED CEILING PLAN LEVEL 39 RESIDENTIAL 3 UNITS	1/4" = 1'-0"	X
A-626.01	REFLECTED CEILING PLAN RESIDENTIAL LEVEL 42	1/4" = 1'-0"	X
A-627.01	REFLECTED CEILING PLAN RESIDENTIAL LEVEL 43	1/4" = 1'-0"	X
A-628.01	REFLECTED CEILING PLAN RESIDENTIAL LEVEL 44	1/4" = 1'-0"	X
A-629.01	REFLECTED CEILING PLAN RESIDENTIAL LEVEL 45	1/4" = 1'-0"	X
A-630.01	REFLECTED CEILING PLAN RESIDENTIAL LEVEL 46	1/4" = 1'-0"	X
A-631.01	REFLECTED CEILING PLAN RESIDENTIAL LEVEL 47	1/4" = 1'-0"	X
A7 SERIES	FINISH SCHEDULES, INTERIOR FINISH & APPLIANCES		
A-701.01	PARTITION TYPES 01	NTS	
A-702.01	PARTITION TYPES 02	NTS	
A-703.01	DOOR TYPES AND FRAME TYPES	NTS	
A-704.01	FINISH SCHEDULE BOB, MECHANICAL, AMENITY AND RETAIL	NTS	
A-705.01	FINISH SCHEDULE RESIDENTIAL	NTS	
A706.01	PLUMBING SCHEDULE	NTS	
A-707.00	TYPICAL KITCHEN, TYPE "A" AND TYPE "P" BATHROOMS	1/2" = 1'-0"	
A-708.00	PLUMBING SCHEDULE LEGEND	NTS	
A-709.00	DOOR SCHEDULE	NTS	
A-710.00	DOOR HEAD / JAMB / SADDLE	NTS	
A-711.00	DOOR HEAD / JAMB / SADDLE	NTS	
A-712.00	PARTITION TYPES 03	NTS	

FOUNDATION		SCALE	
FO-001.02	GENERAL NOTES, LEGEND & ABBREVIATIONS	N.T.S	X
FO-100.02	FOUNDATION PLAN	1/4" = 1'-0"	X
STRUCTURAL		SCALE	
S-010.03	GROUND FLOOR FRAMING PLAN	1/4" = 1'-0"	X
S-019.01	GROUND FLOOR GENERAL ARRANGEMENT PLAN	1/4" = 1'-0"	X
S-020.02	2ND FLOOR FRAMING PLAN	1/4" = 1'-0"	X
S-029.01	2ND FLOOR GENERAL ARRANGEMENT PLAN	1/4" = 1'-0"	X
S-030.02	3RD FLOOR FRAMING PLAN	1/4" = 1'-0"	X
S-039.01	3RD FLOOR GENERAL ARRANGEMENT PLAN	1/4" = 1'-0"	X
S-040.02	4TH FLOOR FRAMING PLAN	1/4" = 1'-0"	X
S-049.01	4TH FLOOR GENERAL ARRANGEMENT PLAN	1/4" = 1'-0"	X
S-050.02	5TH FLOOR FRAMING PLAN	1/4" = 1'-0"	X
S-059.01	5TH FLOOR GENERAL ARRANGEMENT PLAN	1/4" = 1'-0"	X
S-060.02	6TH FLOOR FRAMING PLAN	1/4" = 1'-0"	X
S-069.01	6TH FLOOR GENERAL ARRANGEMENT PLAN	1/4" = 1'-0"	X
S-070.02	7TH FLOOR FRAMING PLAN	1/4" = 1'-0"	X
S-079.01	7TH FLOOR GENERAL ARRANGEMENT PLAN	1/4" = 1'-0"	X
S-080.02	8TH - 25TH FLOOR FRAMING PLAN	1/4" = 1'-0"	X
S-089.01	8TH - 25TH FLOOR GENERAL ARRANGEMENT PLAN	1/4" = 1'-0"	X
S-095.00	ADDITIONAL REINFORCEMENT FOR CRANE LOADS AT 9TH, 16TH, 23RD, 29TH, 36TH, 41ST, 47TH & 49TH FLOORS	1/4" = 1'-0"	X
S-095.00		1/4" = 1'-0"	X
S-260.02	26TH FLOOR FRAMING PLAN	1/4" = 1'-0"	X
S-269.01	26TH FLOOR GENERAL ARRANGEMENT PLAN	1/4" = 1'-0"	X
S-270.02	27TH FLOOR FRAMING PLAN	1/4" = 1'-0"	X
S-279.01	27TH FLOOR GENERAL ARRANGEMENT PLAN	1/4" = 1'-0"	X
S-280.02	28TH FLOOR FRAMING PLAN	1/4" = 1'-0"	X
S-289.01	28TH FLOOR GENERAL ARRANGEMENT PLAN	1/4" = 1'-0"	X
S-290.01	29TH - 35TH FLOOR FRAMING PLAN	1/4" = 1'-0"	X
S-299.01	29TH - 35TH FLOOR GENERAL ARRANGEMENT PLAN	1/4" = 1'-0"	X
S-300.01	36TH - 39TH FLOOR FRAMING PLAN	1/4" = 1'-0"	X
S-309.01	36TH - 39TH FLOOR GENERAL ARRANGEMENT PLAN	1/4" = 1'-0"	X
S-400.02	40TH FLOOR FRAMING PLAN	1/4" = 1'-0"	X
S-409.01	40TH FLOOR GENERAL ARRANGEMENT PLAN	1/4" = 1'-0"	X
S-410.02	41ST FLOOR FRAMING PLAN	1/4" = 1'-0"	X
S-419.01	41ST FLOOR GENERAL ARRANGEMENT PLAN	1/4" = 1'-0"	X
S-420.02	42ND FLOOR FRAMING PLAN	1/4" = 1'-0"	X
S-429.01	42ND FLOOR GENERAL ARRANGEMENT PLAN	1/4" = 1'-0"	X
S-430.02	43RD FLOOR FRAMING PLAN	1/4" = 1'-0"	X
S-439.01	43RD FLOOR GENERAL ARRANGEMENT PLAN	1/4" = 1'-0"	X
S-440.02	44TH FLOOR FRAMING PLAN	1/4" = 1'-0"	X
S-449.01	44TH FLOOR GENERAL ARRANGEMENT PLAN	1/4" = 1'-0"	X
S-450.02	45TH FLOOR FRAMING PLAN	1/4" = 1'-0"	X
S-459.01	45TH FLOOR GENERAL ARRANGEMENT PLAN	1/4" = 1'-0"	X
S-460.02	46TH FLOOR FRAMING PLAN	1/4" = 1'-0"	X
S-469.01	46TH FLOOR GENERAL ARRANGEMENT PLAN	1/4" = 1'-0"	X
S-470.02	47TH FLOOR FRAMING PLAN	1/4" = 1'-0"	X
S-479.01	47TH FLOOR GENERAL ARRANGEMENT PLAN	1/4" = 1'-0"	X
S-480.02	48TH FLOOR FRAMING PLAN	1/4" = 1'-0"	X
S-489.01	48TH FLOOR GENERAL ARRANGEMENT PLAN	1/4" = 1'-0"	X
S-490.02	49TH FLOOR FRAMING PLAN	1/4" = 1'-0"	X
S-499.01	49TH FLOOR GENERAL ARRANGEMENT PLAN	1/4" = 1'-0"	X
S-500.02	50TH FLOOR FRAMING PLAN	1/4" = 1'-0"	X
S-509.01	50TH FLOOR GENERAL ARRANGEMENT PLAN	1/4" = 1'-0"	X
S-510.02	51ST FLOOR FRAMING PLAN	1/4" = 1'-0"	X
S-519.01	51ST FLOOR GENERAL ARRANGEMENT PLAN	1/4" = 1'-0"	X
S-520.01	52ND FLOOR ROOF FRAMING PLAN	1/4" = 1'-0"	X
S-529.01	52ND FLOOR ROOF GENERAL ARRANGEMENT PLAN	1/4" = 1'-0"	X
S-530.00	BULKHEAD FRAMING PLAN	1/4" = 1'-0"	X
S-539.00	BULKHEAD ROOF GENERAL ARRANGEMENT PLAN	1/4" = 1'-0"	X
S-630.02	SHEARWALL ELEVATIONS 1	AS SHOWN	X
S-631.02	SHEARWALL ELEVATIONS 2	AS SHOWN	X
S-632.02	SHEARWALL ELEVATIONS 3	AS SHOWN	X
S-633.01	SHEARWALL ELEVATIONS 4	AS SHOWN	X
S-634.01	SHEARWALL ELEVATIONS 5	AS SHOWN	X
S-640.03	SHEARWALL REINFORCEMENT DETAILS @ 5TH-4TH FLOOR	3/8" = 1'-0"	X
S-641.01	SHEARWALL REINFORCEMENT DETAILS @ 5TH-4TH MECH. FLOOR	3/8" = 1'-0"	X
S-642.00	SHEARWALL REINFORCEMENT DETAILS @ 7TH-25TH FLOOR	3/8" = 1'-0"	X
S-643.02	SHEARWALL REINFORCEMENT DETAILS @ 25TH-27TH MECH. FLOOR	3/8" = 1'-0"	X
S-644.00	SHEARWALL REINFORCEMENT DETAILS @ 28TH-49TH FLOOR	3/8" = 1'-0"	X
S-645.01	SHEARWALL REINFORCEMENT DETAILS @ 50TH MECH.-T.O. BULKHEAD	3/8" = 1'-0"	X
S-646.01	TYPICAL SHEAR WALL DETAILS	N.T.S	X
S-647.01	LINK BEAM SCHEDULE	N.T.S	X
S-650.03	COLUMN SCHEDULE	N.T.S	X
S-651.03	TYPICAL COLUMN DETAILS	N.T.S	X
S-652.01	TYPICAL STUCCO DETAILS	N.T.S	X
S-660.01	TYPICAL SUPERSTRUCTURE DETAILS 1	N.T.S	X
S-661.01	TYPICAL SUPERSTRUCTURE DETAILS 2	N.T.S	X
S-662.01	TYPICAL SUPERSTRUCTURE DETAILS 3	N.T.S	X
S-663.02	TYPICAL SUPERSTRUCTURE DETAILS 4	N.T.S	X
S-664.01	TYPICAL SUPERSTRUCTURE DETAILS 5	N.T.S	X
S-665.00	TYPICAL MASONRY DETAILS	N.T.S	X
S-670.02	SUPERSTRUCTURE SECTIONS	AS SHOWN	X

2016 RAFAEL VINOLY ARCHITECTS



LOCATION / ZONE
SCALE 3/64" = 1'-0"



SKY EXPOSURE PLANE - EAST 30TH STREET
SCALE 3/196" = 1'-0"

FLOOR	USE	GFA	MECHANICAL DEDUCTION	STAIR REDUCTION	ZFA	DU
CELLAR	RESIDENTIAL BOH, RETAIL	7,163	7,163			
1	RESIDENTIAL LOBBY	3,103	27		3,046	
2	RETAIL (COMMERCIAL)	3,325	23		3,302	
3	RETAIL (COMMERCIAL)	5,894	146		5,748	
4	RESIDENTIAL AMENITY	4,463	173		4,290	
5	RESIDENTIAL AMENITY	4,463	143		4,281	
6	MECHANICAL	4,337	4,337		0	
7	MECHANICAL	2,922	2,922		0	
8	RESIDENTIAL	5,300	251	39	5,010	4
9	RESIDENTIAL	5,300	239	39	5,022	4
10	RESIDENTIAL	5,300	239	39	5,022	4
11	RESIDENTIAL	5,300	239	39	5,022	4
12	RESIDENTIAL	5,300	239	39	5,022	4
13	RESIDENTIAL	5,300	239	39	5,022	4
14	RESIDENTIAL	5,300	239	39	5,022	4
15	RESIDENTIAL	5,300	239	39	5,022	4
16	RESIDENTIAL	5,300	239	39	5,022	4
17	RESIDENTIAL	5,300	239	39	5,022	4
18	RESIDENTIAL	5,300	239	39	5,022	4
19	RESIDENTIAL	5,300	239	39	5,022	4
20	RESIDENTIAL	5,300	239	39	5,022	4
21	RESIDENTIAL	5,300	239	39	5,022	4
22	RESIDENTIAL	5,300	239	39	5,022	4
23	RESIDENTIAL	5,300	239	39	5,022	4
24	RESIDENTIAL	5,300	239	39	5,022	4
25	MECHANICAL	5,300	239	39	5,022	4
26	MECHANICAL	4,337	4,337		0	
27	MECHANICAL	3,378	3,378		0	
28	RESIDENTIAL	5,300	263	39	4,998	3
29	RESIDENTIAL	5,300	263	39	4,998	3
30	RESIDENTIAL	5,300	263	39	4,998	3
31	RESIDENTIAL	5,300	263	39	4,998	3
32	RESIDENTIAL	5,300	263	39	4,998	3
33	RESIDENTIAL	5,300	263	39	4,998	3
34	RESIDENTIAL	5,300	263	39	4,998	3
35	RESIDENTIAL	5,300	263	39	4,998	3
36	RESIDENTIAL	5,300	236	39	5,025	3
37	RESIDENTIAL	5,300	236	39	5,025	3
38	RESIDENTIAL	5,300	236	39	5,025	3
39	RESIDENTIAL	5,025	236	39	5,025	3
40	RESIDENTIAL	5,092	222	39	4,831	2
41	RESIDENTIAL	4,651	235	39	4,377	2
42	RESIDENTIAL	5,092	226	39	4,827	2
43	RESIDENTIAL	4,651	232	39	4,380	2
44	RESIDENTIAL	5,092	229	39	4,824	2
45	RESIDENTIAL	4,651	220	39	4,392	2
46	RESIDENTIAL	5,092	218	39	4,835	2
47	RESIDENTIAL	3,894	379	39	3,709	1
48	RESIDENTIAL	4,520	185	39	4,296	1
49	RESIDENTIAL	4,520	179	39	4,302	1
50	MECHANICAL	4,337	4,337		0	
51	MECHANICAL	3,874	3,874		0	
52	EMR / ROOF	5,301	5,301		0	
TOTAL		288,440	45,873		220,929	130
Commercial					9,050	
Residential					211,879	
TOTAL	Total Proposed New Floor Area				220,929	
Existing Commercial (See 3/Z-003)					34,363	
Existing Residential (See 3/Z-003)					249,408	
TOTAL	Total Existing ZFA				283,771	
Unused Development Rights to Remain (See 3/Z-003)					4,750	
TOTAL	Total Existing ZFA and Unused Area				288,521	

PROPOSED ZONING AREA
SCALE NTS

APPLICABLE SECTION ZR	ITEM	VALUE
ZONING CALCULATIONS		
BASIC INFORMATION		
Address	281 Fifth Ave, New York	859
Block	84/95/96/97/98/03/04/05/06/1001-1140/9012	143
Lot	73.08' Fifth Avenue (Wide Street)	No
Landmark District	100.0' 30th Street (Narrow Street)	5
Buildable Street Frontages	73.08' Fifth Avenue (Wide Street)	211,879
Community Board District	35-23 (c)	5
Central Commercial District (C5-2)	35-23 (c)	5
Residential Bulk Regulations	35-23 (c)	5
RTO Equivalent	35-23 (c)	5
USES PERMITTED		
Existing	1,2	Residences
3,4	Community Facilities	
5	Transient Accommodations	
6	Retail and Personal Service Establishments	
9	Business and Other Services	
10	Large Retail Establishments	
11	Custom Manufacturing Activities	
Proposed	1,4,5,9-11	
F.A.R. ALLOWANCE		
29-15	Maximum Floor Area Ratio (R10)	10.0 - Residential
35-31	Maximum Floor Area Ratio (C5-2)	10.0 - Commercial
29-952	Floor Area Compensation in Inclusionary Housing Designated Areas	12.0 - Residential
Allowable ZFA (Lots 85/86/87)		25,000
LOT 85 (2,800 x 10)		25,000
LOT 86 (2,308 x 10)		23,080
Allowable ZFA (Lots 84/85/86/87)		17,280
LOT 84 (1,728 x 10)		17,280
LOT 85 (2,800 x 10)		25,000
LOT 86 (2,308 x 10)		23,080
Allowable ZFA (Lots 05/06/1001-1140)		24,890
LOT 05 (2,499 x 10)		24,890
LOT 06 (15,814 x 10)		158,140
LOT 1001-1140/9012 (7,637 x 10)		76,370
Subtotal Allowable ZFA (See 03/Z-003)		424,560
Inclusionary Housing HPD Certificates		Ratio 2:1
SITE		
315 East 29th Street, New York, NY 10016	835	13
315 East 29th Street, New York, NY 10016	808	13
385 Third Avenue, New York, NY 10016	808	96
Total Certified H Bonus ZFA per HPD Certificates (47,224 + 20,000 + 18,073) =		85,297
Proposed Allowable Inclusionary Housing Bonus ZFA (Complies)		84,912
Sub Total Allowable ZFA + H Bonus (424,560 + 84,912) =		509,472
Minus Existing ZFA (See 03/Z-003)		-283,771
Minus Total Unused Development Rights (Lot 04)		-4,500
Minus Total Unused Development Rights (Lot 03)		-250
Total Allowable New ZFA (509,472 - 283,771 - 4,500 - 250) =		220,951
Proposed New Floor Area (Complies)		220,929
FLOOR AREA PROPOSED		
Commercial (C5-2)		9,050
Residential (R10)		211,879
Total		220,929

ZONING CALCULATION
SCALE NTS

APPLICABLE SECTION ZR	ITEM	VALUE
ZONING CALCULATIONS		
DENSITY REGULATIONS		
23-20	Total Existing Floor Area (See 2-003 Residential + Commercial)	283,771
	Minus Total Existing Commercial Floor Area	-34,363
	Total Existing Residential Floor Area (283,771 - 34,363) =	249,408
	Proposed Residential Floor Area	211,879
	Total Residential Floor Area (Entire Zoning Lot)	461,287
	Dwelling Units Factor (RFDU)	790
23-22	Number of Dwelling Units Permitted in Entire Zoning Lot (461,287 / 790) =	584
	Number of Dwelling Units Proposed (See 6/Z-001)	130
	Number of Dwelling Units in Existing Zoning Lot (See 3/Z-003)	166
	Total Dwelling Units (Entire Zoning Lot)	296
23-32	Lot Area/Lot Width per Dwelling Unit Permitted	1,700 SF/16'
	Lot Area/Lot Width per Dwelling Unit Proposed	
YARD REGULATIONS		
35-52	Modification of Side Yard Requirements	None or 8'
23-542	Along Short Dimension of Block	None
23-541	Rear - Within One Hundred Feet of Corner	None
	Rear - Through Lot	30'
	Front	None
HEIGHT AND SETBACKS		
23-632 (b)	Front Setbacks in Districts where Front Yards are Not Required	None
33-451	Initial Setback	15' (Wide Street)
		10' (Narrow Street)
23-692	Height Limitations	
33-432	Maximum Height of Walls and Required Setbacks	Sky Exposure Plane (Wide Street): 5.8 to 1
		Sky Exposure Plane (Narrow Street): 2.1 to 1
35-61	Front Setbacks in Districts where Front Yards are Not Required	None
	Height of Street Wall (Min)	8'
	Height of Street Wall (Max)	85' or 8 stories
TOWER REGULATIONS		
33-451	Maximum Tower Lot Coverage	40
	Site area	7,308
	Unused Development Rights Sites Area	9,228
	Inclusionary Sites Area	25,820
	Total	42,356
	Tower Lot Coverage Permitted	16,842
	Tower Lot Coverage	5,199
	Inclusionary sites Tower Lot Coverage	4,580
	Tower Lot Coverage Proposed	9,779
BICYCLE PARKING		
25-811	Endorsed Bicycle Parking Spaces Required (Residential)	1 per 2 Dwelling Units
	- Number of Units	130
	- Bicycle Spaces Required	65
	- Bicycle Spaces Proposed	66
25-83	Number of Bicycle Spaces	0
	- Area Required Per Bicycle Space (Min.)	15 SF
	- Area Proposed Per Bicycle Space (Commissioner Approval)	11.5 SF (Stacked)
STREET TREE PLANTING		
36-70	Trees Required:	1 tree per 25' of Street Frontage
Street Frontage:	148.1 LF (FIFTH AVENUE) + 155 LF (30TH STREET) + 225 LF (29TH STREET) =	528.1 LF
	Total Trees Required:	21
28-00	Total Proposed Trees:	0
	Total Existing Trees:	0
	Total Trees to be donated to NYC Parks tree	19
	Total Trees in deficit:	0

ZONING CALCULATION
SCALE NTS

277

Fifth Avenue

NEW YORK, NY

OWNER:
VICTOR NOMAD LLC

CONSTRUCTION MANAGER:
LEND LEASE
200 PARK AVENUE, 9TH FLOOR
NEW YORK, NY 10166
TEL: 212 592 6700

ARCHITECT :
RAFAEL VINOLY ARCHITECTS PC
50 VANDAM STREET
NEW YORK, NY 10013
TEL: 212 924 5060 FAX: 212 924 5858

STRUCTURAL ENGINEER:
WSP PARSONS BRINCKERHOFF
ONE PENN PLAZA, 4TH FLOOR
NEW YORK, NY 10119
TEL: 212 687 9888

MEP/FP/IT ENGINEER:
MGE ENGINEERING
116 WEST 32ND STREET, 12TH FLOOR
NEW YORK, NY 10001
TEL: 212 643 9055

GEOTECH CIVIL ENGINEER:
LANGAN ENGINEERING
300 KIMBALL DRIVE, 4TH FLOOR
PARSIPPANY, NJ 07054
TEL: 973 560 4900

VERTICAL TRANSPORT, CONSULTANT:
VAN DEUSEN & ASSOCIATES
120 EAGLE ROCK AVENUE, SUITE 310
EAST HANOVER, NJ 07936
TEL: 973 994 9220

ENCLOSURE CONSULTANT:
VIDARIS, INC.
360 PARK AVENUE SOUTH, 15TH FLOOR
NEW YORK, NY 10010
TEL: 212 689 5389

FACADE MAINTENANCE CONSULTANT:
ENTEK ENGINEERING LLC
166 AMES STREET
HACKENSACK, NJ 07601
TEL: 201 820 2801

ACOUSTICAL CONSULTANT:
CERAMI & ASSOCIATES
404 FIFTH AVENUE
NEW YORK, NY 10018
TEL: 212 616 4179

LIGHTING CONSULTANT:
ONE LUX STUDIO
158 WEST 29TH STREET, 10TH FLOOR
NEW YORK, NY 10001
TEL: 212 201 5790

SPECIFICATIONS CONSULTANT:
ROBERT SCHWARTZ & ASSOCIATES
589 EIGHTH AVENUE, 17TH FLOOR
NEW YORK, NY 10018
TEL: 212 691 3248

ENERGY MODELING CONSULTANT:
STEVEN WINTER ASSOCIATES, INC
307 SEVENTH AVENUE, SUITE 1701
NEW YORK, NY 10001
TEL: 212 564 5800

INTERIOR DESIGN CONSULTANT:
BEERS INTERIORS
156 5TH AVENUE, PENTHOUSE 2
NEW YORK, NY 10010
TEL: 212 352 2020

NYC DEPT. OF BUILDINGS
PAA #2

ARCHITECT'S SEAL
Areg Asatryan, RA
U. Asatryan
APPROVED
AMENDED APPLICATION
Date: 04/19/2018
NYC Development Hub

09/08/2017 PAA #2
02/24/2017 PAA #1
04/08/2016 DOB SUBMITTAL
01/18/2016 FOUNDATION BID
12/23/2015 SCHEMATIC DESIGN

ISSUE ISSUE
NO. DATE DESCRIPTION

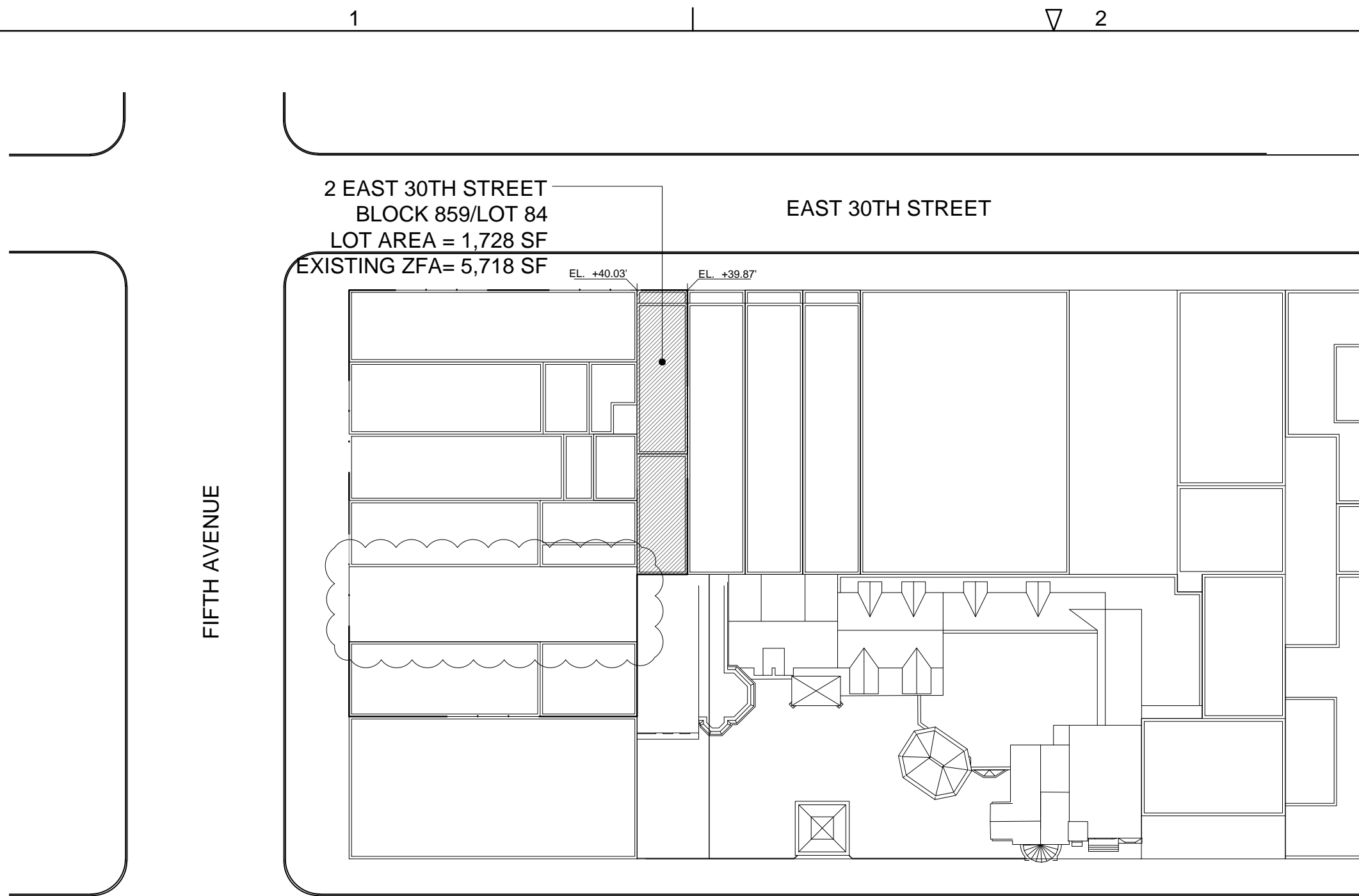
KEY PLAN AND NORTH SIGN
IF THIS DRAWING IS NOT 42" X 30" IT IS
A REDUCED PRINT;
REFER TO GRAPHIC SCALE

SCALE AS NOTED

SITE
INFORMATION &
ZONING
CALCULATIONS

SHEET TITLE :
Z-001.02

SHEET NUMBER :



ZONING CALCULATIONS

LOT 84	BASIC INFORMATION
--------	-------------------

Address 2 East 30th Street
Zoning District C5-2
Average Curb Level (40.03'+39.87')/2 39.95'

Lot Area (SF) 17'-6" x 98'-9" 1,728
Maximum F.A.R. x 10
Total Allowable ZFA = 17,280

IH Bonus F.A.R. 2
Allowable IH Bonus Floor Area (1,728 x 2) = 3,456
Total Allowable New ZFA (17,280 + 3,456) = 20,736

Minus Existing Floor Area -5,718
Total Allowed New ZFA (Max) = 15,018

EXISTING ZONING FLOOR AREA

FLOOR	GFA	ZFA
-------	-----	-----

Ground 1,728
2nd Floor 998
3rd Floor 998
4th Floor 998
5th Floor 998
Total Existing Floor Area = 5,718

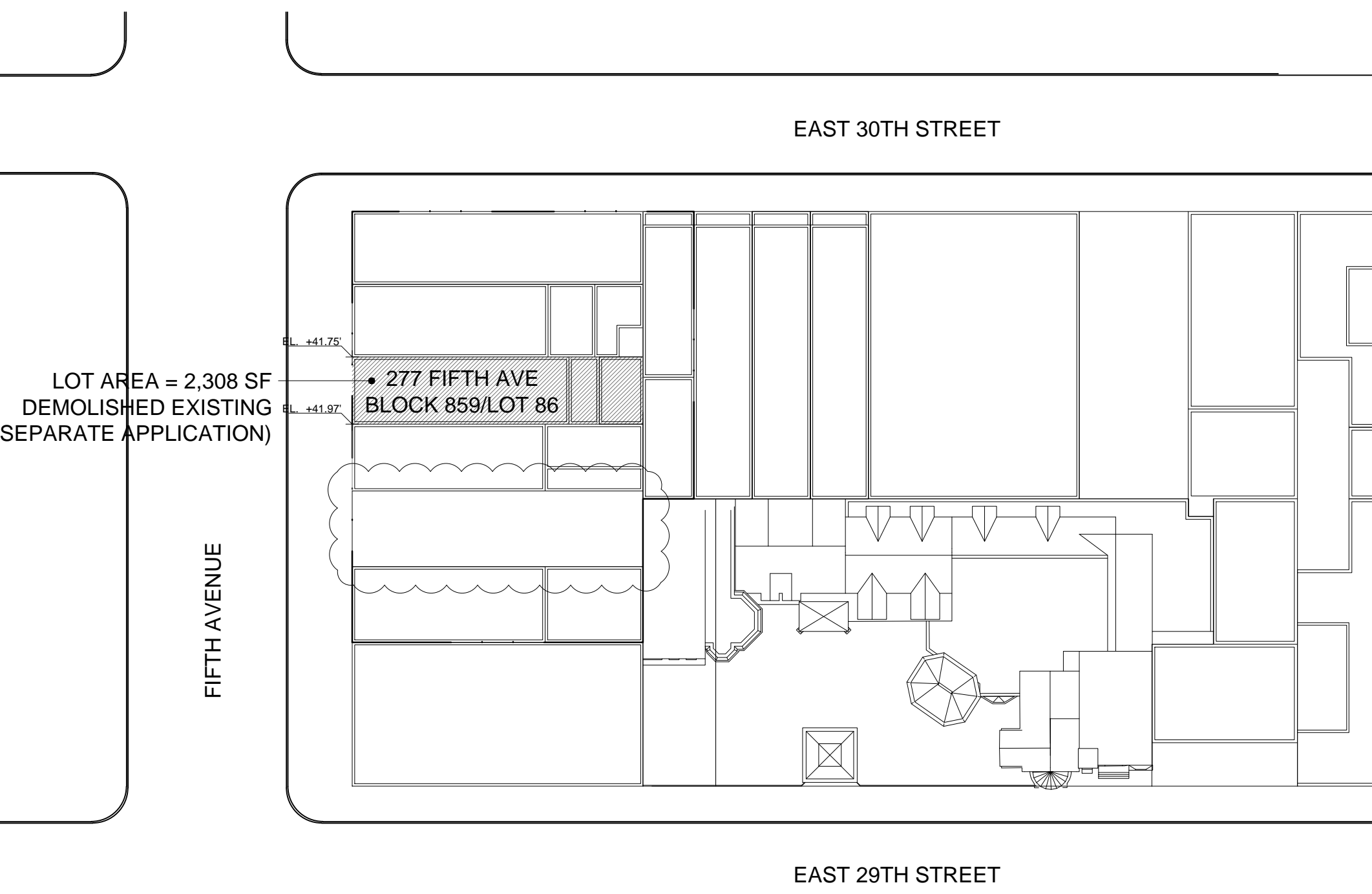
Commercial 1,380
Residential 4,338
Total Existing Floor Area = 5,718

EXISTING DWELLING UNITS

Dwelling Unit # 8

NOTE: SEE EXISTING FLOOR AREA SURVEYS ON 1/2-013.00

LOT 84 - 2 EAST 30TH STREET
SCALE 3/128" = 1' 01



ZONING CALCULATIONS

LOT 87	BASIC INFORMATION
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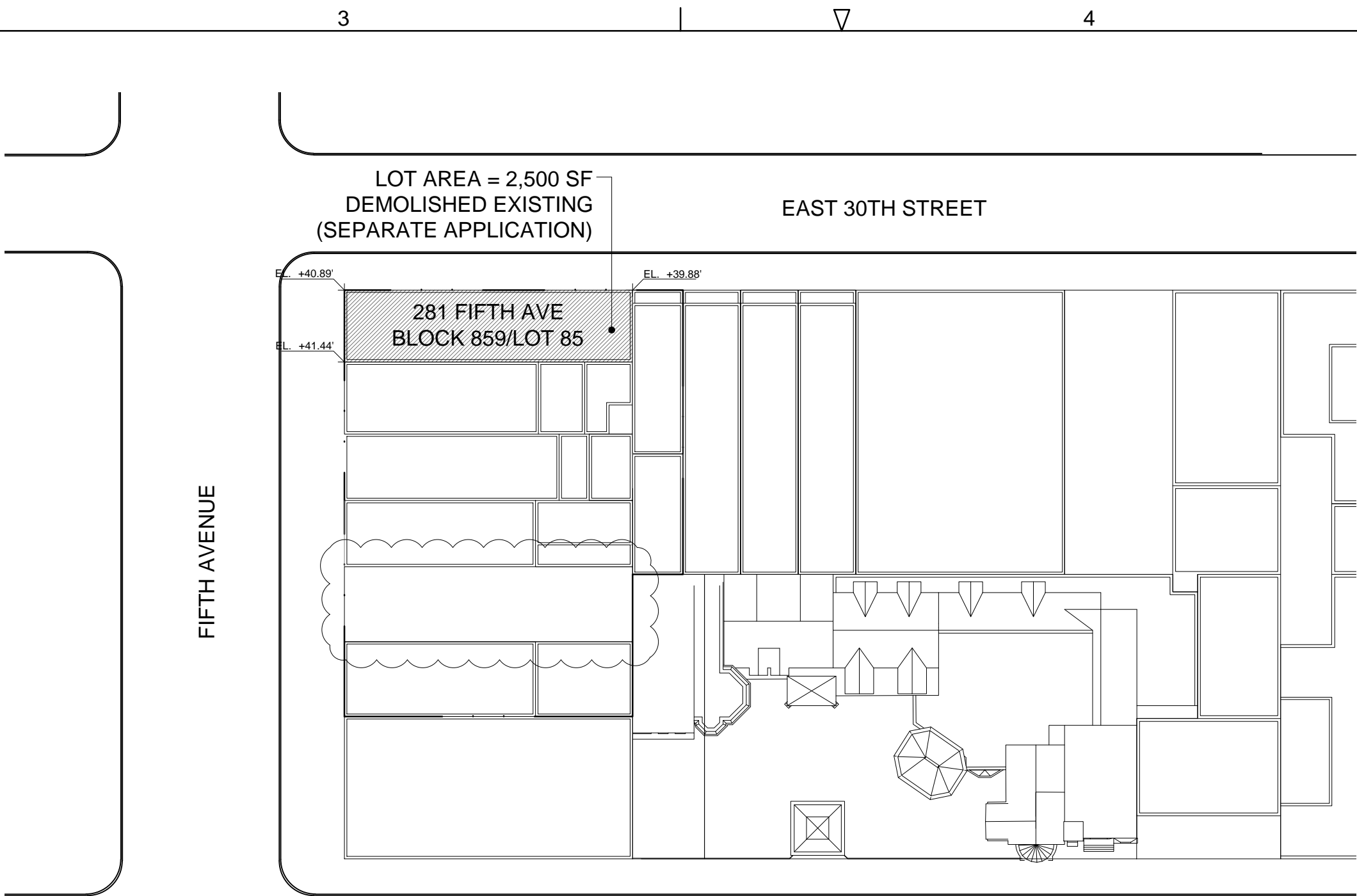
Address 277 Fifth Ave
Zoning District C5-2
Average Curb Level (41.75'+41.97')/2 41.59'

Lot Area (SF) 23'-1" x 100'-0" 2,308
Maximum F.A.R. x 10
Total Allowable ZFA = 23,080

IH Bonus F.A.R. 2
Allowable IH Bonus Floor Area (2,308 x 2) = 4,616
Total Allowable New ZFA (23,080 + 4,616) = 27,696

Minus Existing Floor Area Demolished -0
Total Allowed New ZFA (Max) = 27,696

LOT 87 - 277 FIFTH AVENUE
SCALE 3/128" = 1' 04



ZONING CALCULATIONS

LOT 85	BASIC INFORMATION
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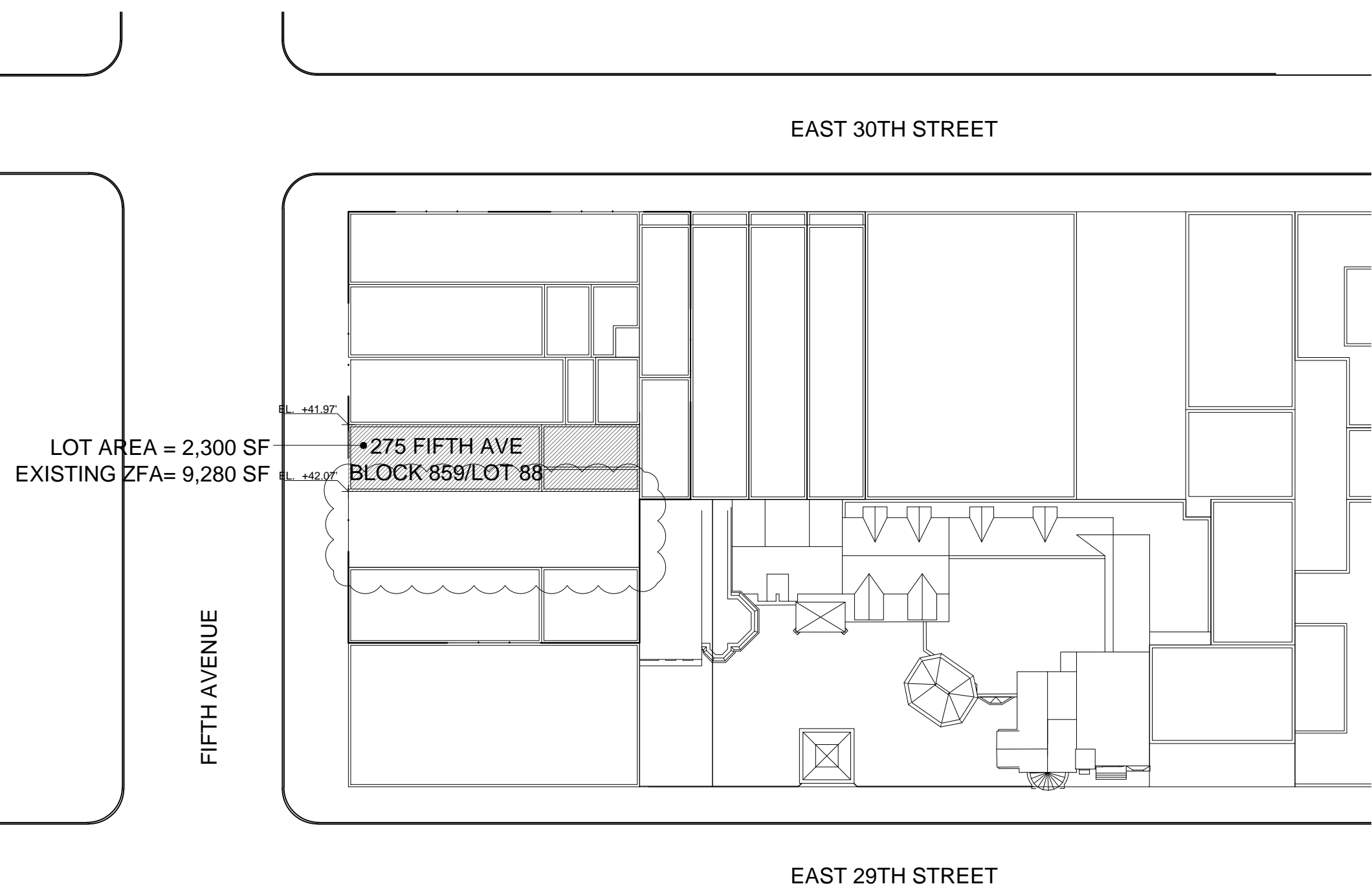
Address 281 Fifth Ave
Zoning District C5-2
Average Curb Level (40.03'+41.44')/2 40.74'

Lot Area (SF) 25'-0" x 100'-0" 2,500
Maximum F.A.R. x 10
Total Allowable ZFA = 25,000

IH Bonus F.A.R. 2
Allowable IH Bonus Floor Area (2,500 x 2) = 5,000
Total Allowable New ZFA (25,000 + 5,000) = 30,000

Minus Existing Floor Area Demolish -0
Total Allowed New ZFA (Max) = 30,000

LOT 85 - 281 FIFTH AVENUE
SCALE 3/128" = 1' 02



ZONING CALCULATIONS

LOT 88	BASIC INFORMATION
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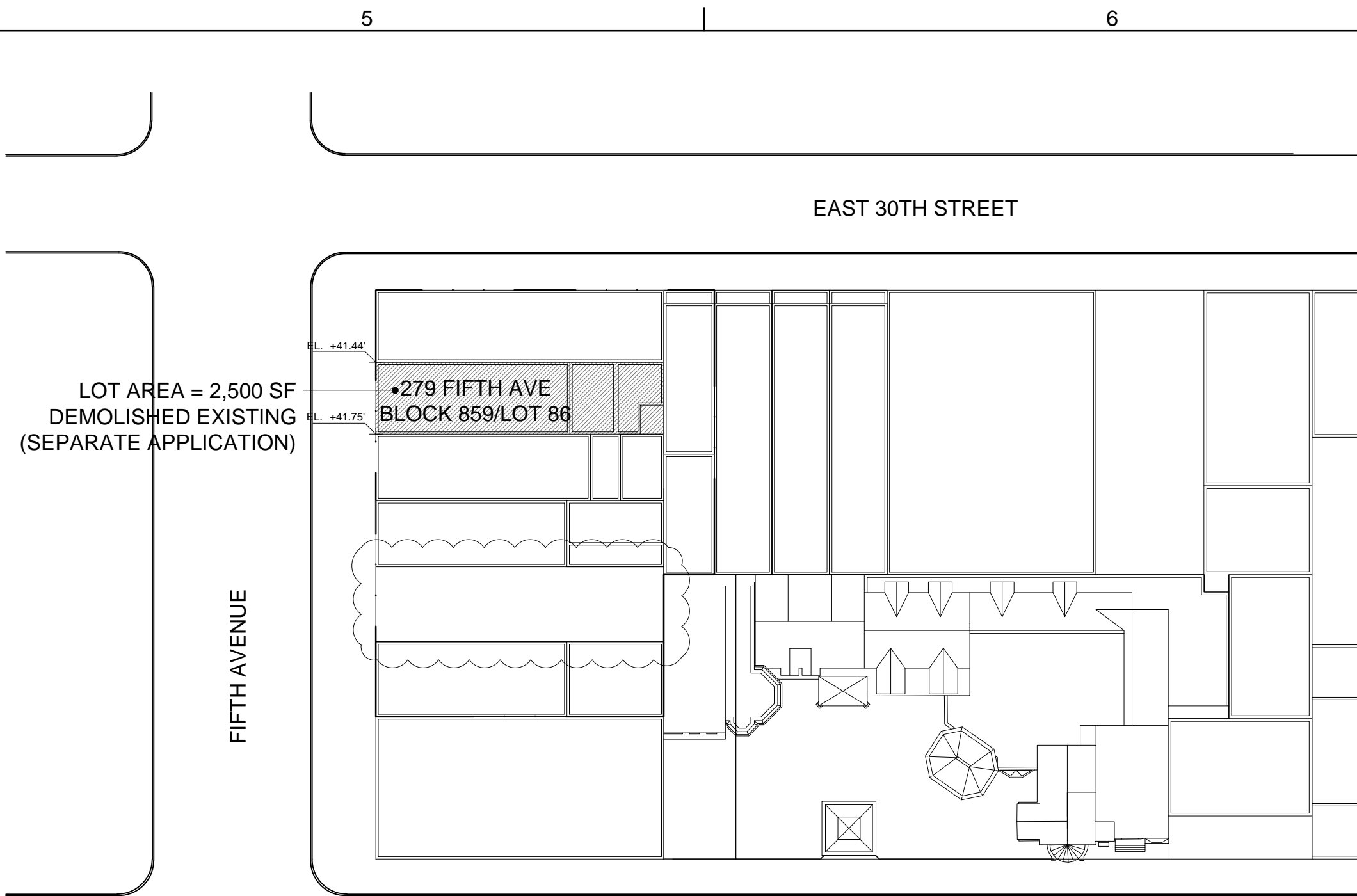
Address 275 Fifth Avenue
Zoning District C5-2
Average Curb Level (42.42'+41.97')/2 42.20'

Lot Area (SF) 23'-0" x 100'-0" 2,300
Maximum F.A.R. x 10
Total Allowable ZFA = 23,000

IH Bonus F.A.R. 2
Allowable IH Bonus Floor Area (2,300 x 2) = 4,600
Total Allowable New ZFA (23,000 + 4,600) = 27,600

Minus Existing Floor Area -9,280
Total Allowed New ZFA (Max) = 18,320

LOT 88 - 275 FIFTH AVENUE
SCALE 3/128" = 1' 05



ZONING CALCULATIONS

LOT 86	BASIC INFORMATION
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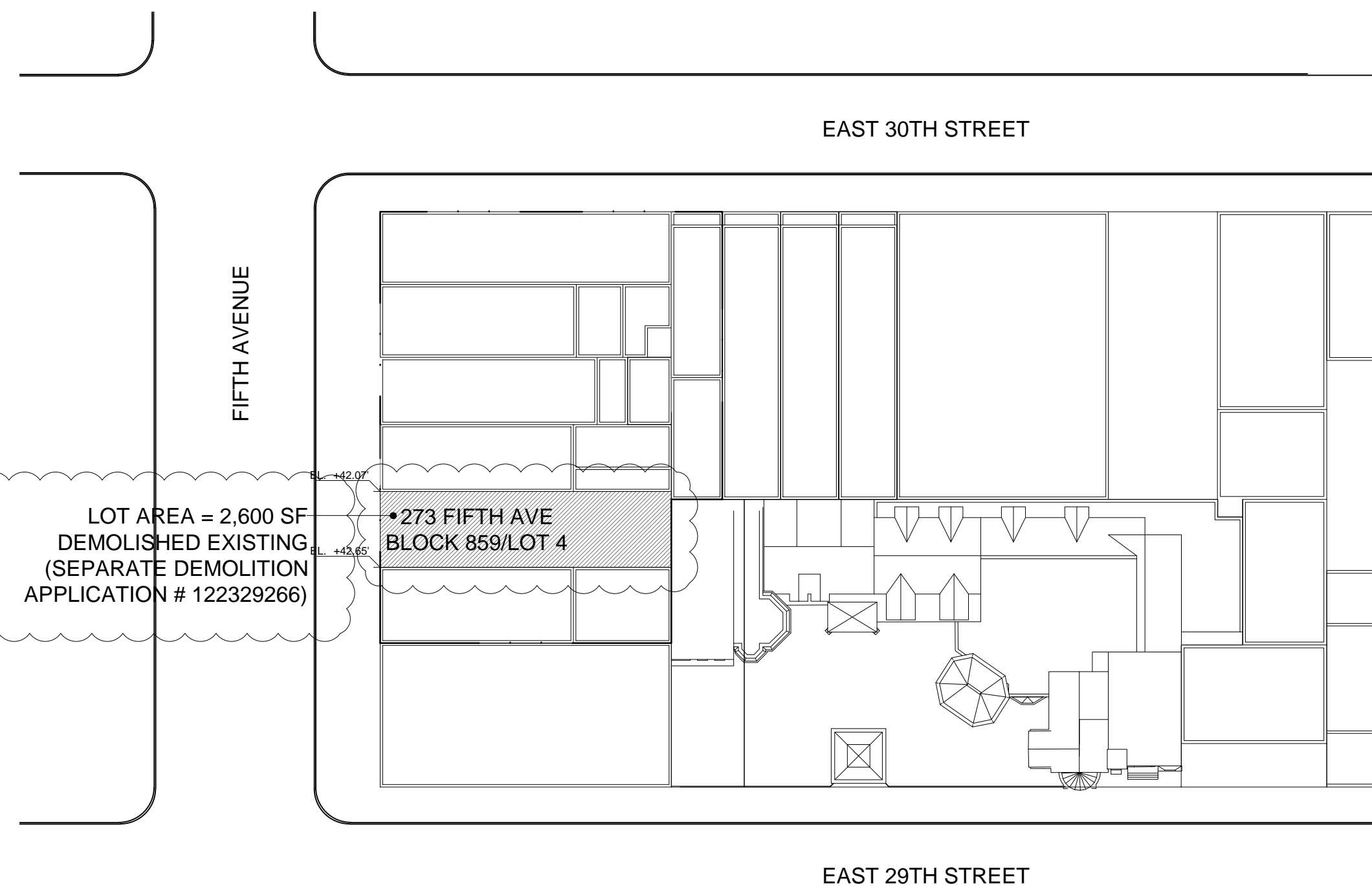
Address 279 Fifth Ave
Zoning District C5-2
Average Curb Level (41.75'+41.44')/2 41.59'

Lot Area (SF) 25'-0" x 100'-0" 2,500
Maximum F.A.R. x 10
Total Allowable ZFA = 25,000

IH Bonus F.A.R. 2
Allowable IH Bonus Floor Area (2,500 x 2) = 5,000
Total Allowable New ZFA (25,000 + 5,000) = 30,000

Minus Existing Floor Area Demolish -0
Total Allowed New ZFA (Max) = 30,000

LOT 86 - 279 FIFTH AVENUE
SCALE 3/128" = 1' 03



ZONING CALCULATIONS

LOT 4	BASIC INFORMATION
-------	-------------------

Address 273 Fifth Avenue
Zoning District C5-2
Average Curb Level (42.78'+42.42')/2 42.36'

Lot Area (SF) 26'-0" x 100'-0" 2,600
Maximum F.A.R. x 10
Total Allowable ZFA = 26,000

IH Bonus F.A.R. 2
Allowable IH Bonus Floor Area (2,600 x 2) = 5,200
Total Allowable New ZFA (26,000 + 5,200) = 31,200

Minus Existing Floor Area Demolish 0
Minus Unused Development Rights to Remain -4,500
Total Allowed New ZFA (Max) = 26,700

LOT 4 - 273 FIFTH AVENUE
SCALE 3/128" = 1' 06

277
Fifth Avenue

NEW YORK, NY

OWNER:
VICTOR NOMAD LLC

CONSTRUCTION MANAGER:
LEND LEASE
200 PARK AVENUE, 9TH FLOOR
NEW YORK, NY 10166
TEL: 212 592 6700

ARCHITECT :
RAFAEL VINOLY ARCHITECTS PC
50 VANDAM STREET
NEW YORK, NY 10013
TEL: 212 924 5060 FAX: 212 924 5858

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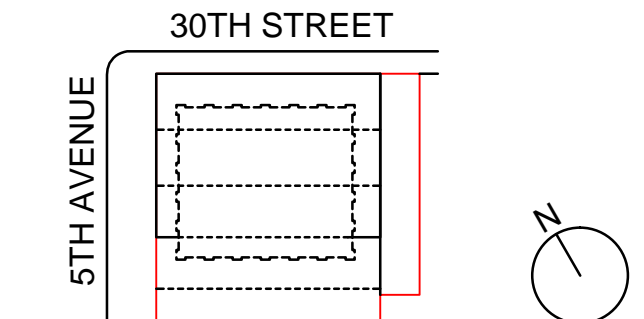
INTERIOR DESIGN CONSULTANT:
BEERS INTERIORS
156 5TH AVENUE, PENTHOUSE 2
NEW YORK, NY 10010
TEL: 212 352 2020

NYC DEPT. OF BUILDINGS
PAA #2

ARCHITECT'S SEAL

Areg Asatryan, RA
Under Directive of 2015
AMENDED APPLICATION
Date: 04/19/2016
NYC Development Hub

09/08/2017	PAA #2
02/24/2017	PAA #1
04/08/2016	DOB SUBMITTAL
01/18/2016	FOUNDATION BID
12/23/2015	SCHEMATIC DESIGN
ISSUE NO.	ISSUE DATE
	DESCRIPTION



KEY PLAN AND NORTH SIGN
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REFER TO GRAPHIC SCALE

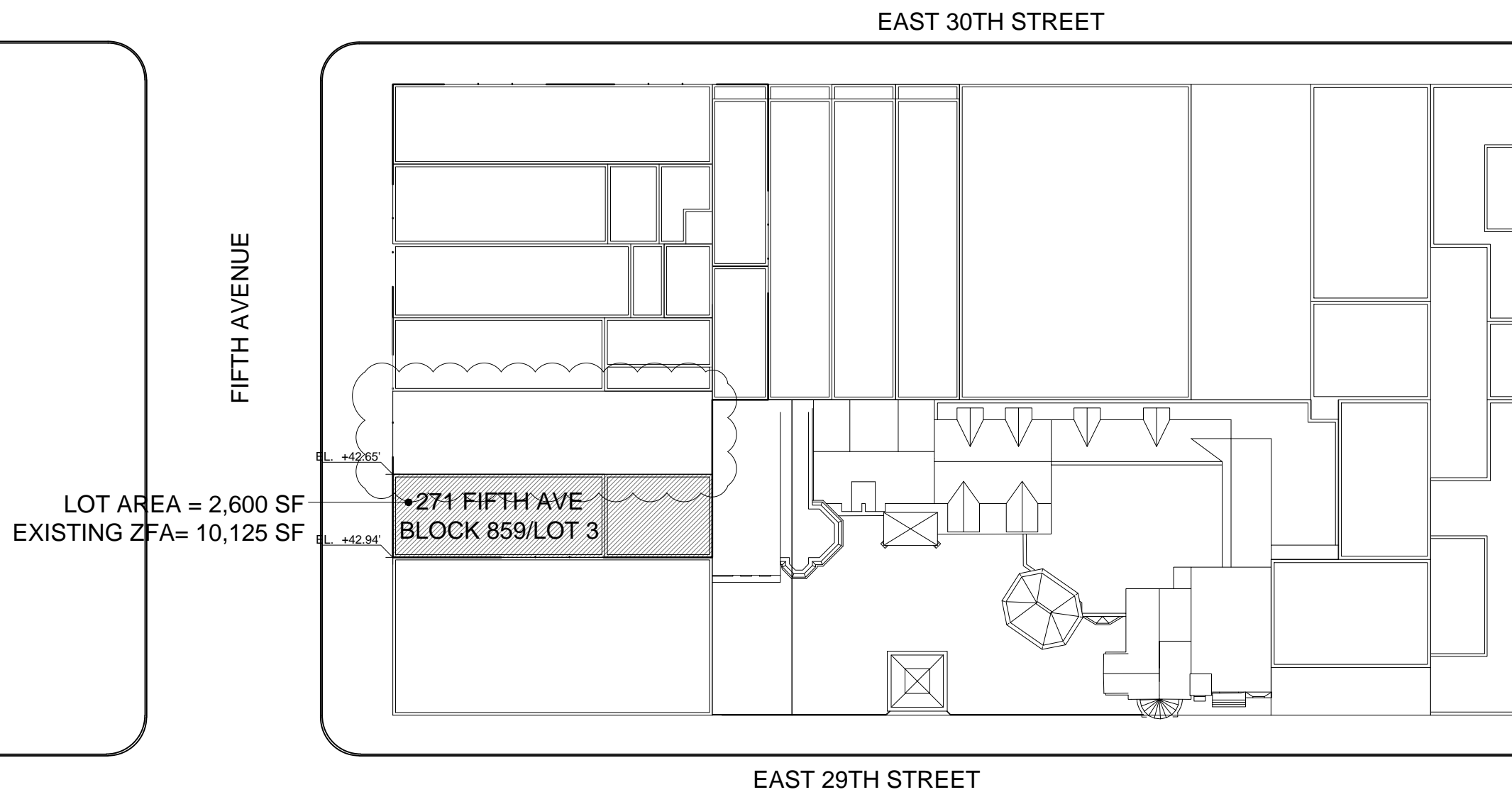
SCALE AS NOTED

ZONING
CALCULATIONS

SHEET TITLE :

Z-002.01

SHEET NUMBER :



ZONING CALCULATIONS

LOT 3	BASIC INFORMATION	
Address	271 Fifth Avenue	
Zoning District	C5-2	
Average Curb Level	(42.65'+42.94')/2	42.78'
Lot Area (SF)	26'-0" x 100'-0"	2,600
Maximum F.A.R.	x 10	
Total Allowable ZFA =		26,000
IH Bonus F.A.R.		2
Allowable IH Bonus Floor Area (2,600 x 2) =		5,200
Total Allowable New ZFA (26,000 + 5,200) =		31,200
Minus Existing Floor Area		-10,125
Minus Unused Development Rights to Remain		-250
Total Allowed New ZFA (Max) =		20,825

EXISTING ZONING FLOOR AREA

FLOOR	GFA	ZFA
Ground	2,599	
1st Mezzanine	2,322	
2nd Floor	1,713	
3rd Floor	1,713	
4th Floor	1,713	
Roof/Bulkhead	65	
Total Existing Floor Area =	10,125	
Commercial	4,561	
Residential	5,564	
Total Existing Floor Area =	10,125	
EXISTING DWELLING UNITS		
Dwelling Unit #		6

NOTE: SEE EXISTING FLOOR AREA SURVEYS ON 4/2-013.00

ZONING CALCULATIONS

LOT 5/6/1001-1140/9012		BASIC INFORMATION	
Address	Lot 5	1 East 29th Street	
	Lot 6	3-9 East 29th Street	
	Lot 1001-1140/9012	11 East 29th Street	
Zoning District			C5-2
Lot Area (SF)	Lot 5	2,469	
	Lot 6	15,814	
	Lot 1001-1140/9012	7,637	
Subtotal Lot Area (SF)		25,920	
Lot Area (SF)		25,920	
Maximum F.A.R.		x 10	
Total Allowable ZFA =		259,200	

IH Bonus F.A.R.	2
Allowable IH Bonus Floor Area Lot 5/6 (2,469 + 15,814 x	36,566
Allowable IH Bonus Floor Area Lot 1001-1140/9012 (7,637 x	15,274
Total Allowable New ZFA (259,200 + 36,566 + 15,274) =	311,040
Minus Existing Floor Area (Lots 5/6/1001-1140/9012)	-258,648
Total Allowed New ZFA (Max) =	52,392

EXISTING ZONING FLOOR AREA

Lots	GFA	ZFA
5/6	18,643	
1001-1140/9012	240,005	
Total Existing Floor Area =	258,648	
Commercial	26,280	
Residential	232,368	
Total Existing Floor Area =	258,648	
EXISTING DWELLING UNITS		
Dwelling Unit #		
Lot 5		0
Lot 6		0
Lot 1001-1140/9012		138
Total Existing Dwelling Units		138

* Refer to ZLDA recorded in the Office of the City Register of the City of New York.
Recorded: 04-11-2014 17:10
City Register File No. (CRFN): 2014000125809 Page 46 of 56

TOTAL EXISTING ZFA AREA SUMMARY

LOT	ZFA
84	5,718
85	0
86	0
87	0
88	9,280
04	0
03	10,125
05 / 06 *	18,643
1001-1140/9012 *	240,005
Existing ZFA Subtotal =	283,771

TOTAL EXISTING DWELLING UNITS SUMMARY

LOT	UNIT
84	8
85	0
86	0
87	0
88	14
04	0
03	6
05 / 06 *	0
1001-1140/9012 *	138
Existing DU Subtotal =	166

RESIDENTIAL AREA SUMMARY

LOT	LOT AREA
84	4,338
85	0
86	0
87	0
88	7,138
04	0
03	5,564
05 / 06 *	0
1001-1140/9012 *	232,368
Lot Area Subtotal =	249,408

DEVELOPMENT RIGHTS TO REMAIN

LOT	ZFA
84	0
85	0
86	0
87	0
88	0
04	4,500
03	250
05 / 06 *	0
1001-1140/9012 *	0
Unused Development Rights Subtotal =	4,750

TOTAL EXISTING COMMERCIAL AREA SUMMARY

LOT	LOT AREA
84	1,380
85	0
86	0
87	0
88	2,142
04	0
03	4,561
05 / 06 *	18,643
1001-1140/9012 *	7,637
Lot Area Subtotal =	34,363

TOTAL INCLUSIONARY HOUSING BONUS SUMMARY

LOT	IH BONUS
84	3,456
85	5,000
86	5,000
87	4,616
88	4,600
04	5,200
03	5,200
05 / 06 *	36,566
1001-1140/9012 *	15,274
Housing Bonus Subtotal =	84,912

TOTAL LOT AREA SUMMARY

LOT	LOT AREA
84	1,728
85	2,500
86	2,500
87	2,308
88	2,300
04	2,600
03	2,600
05 / 06 *	18,283
1001-1140/9012 *	7,637
Lot Area Subtotal =	42,456

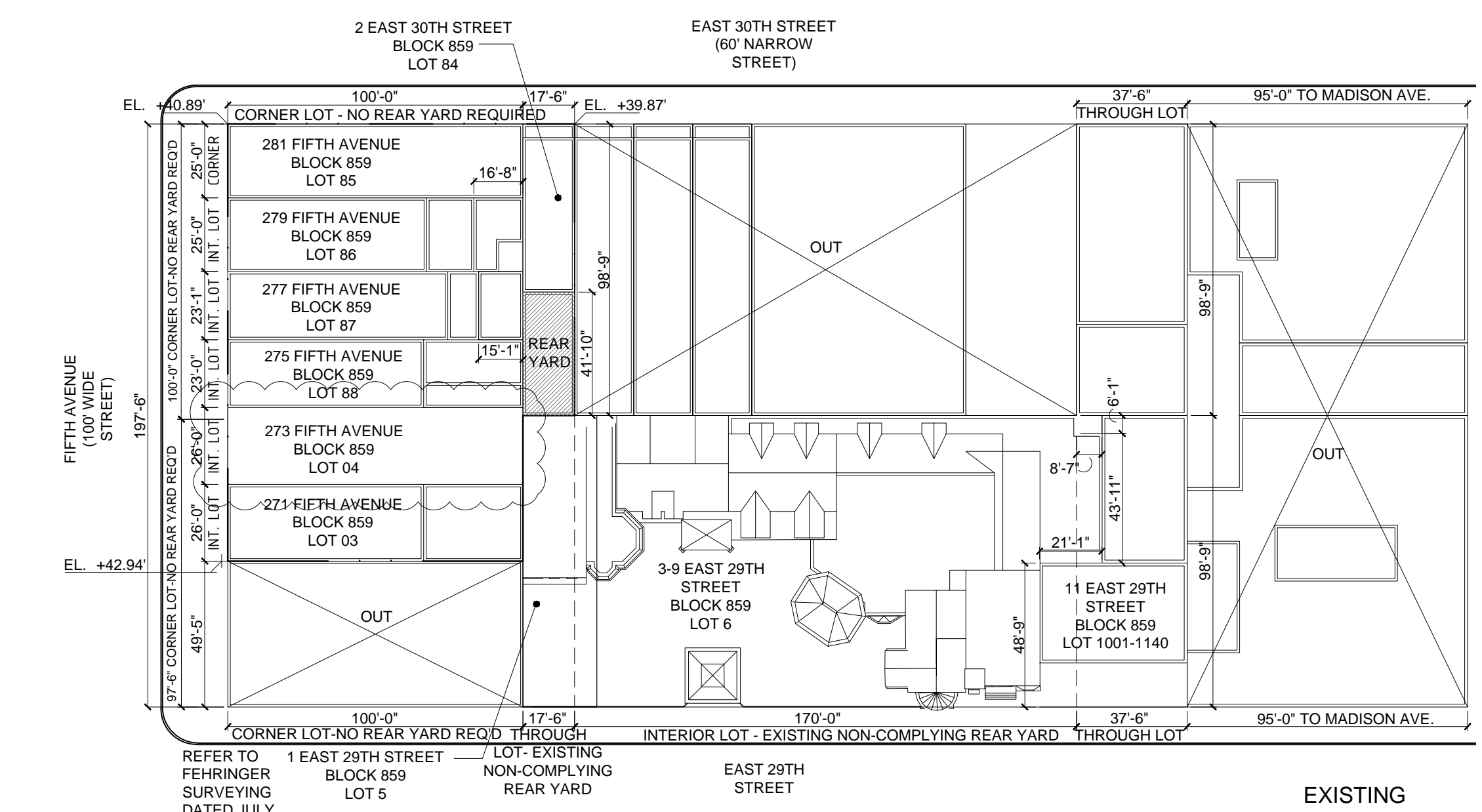
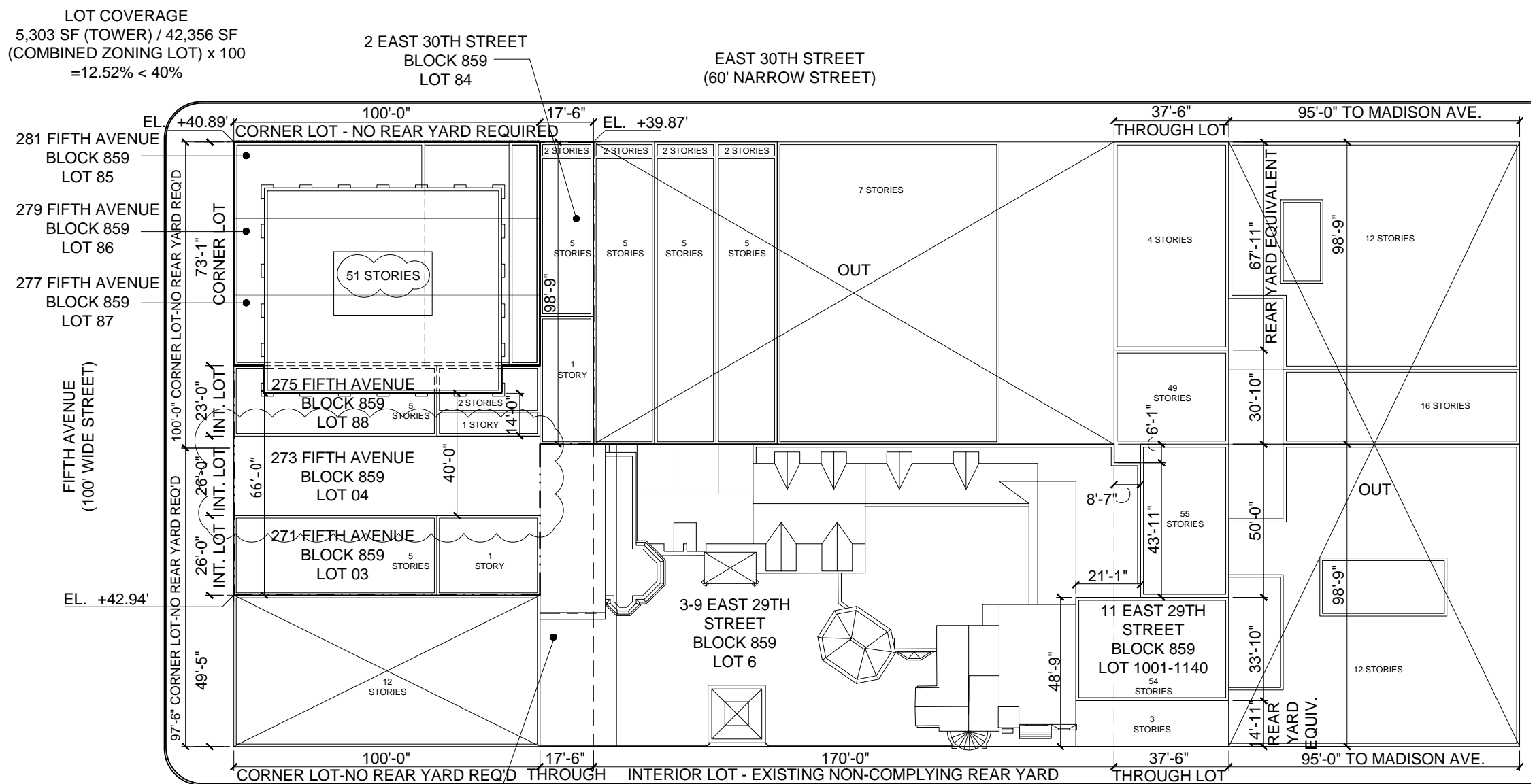
TOTAL ALLOWABLE ZONING FLOOR AREA SUMMARY

LOT	ZFA (10 FAR)	IH BONUS (2.5 FAR)	ALLOWABLE ZFA SUBTOTAL
84	17,280	3,456	20,736
85	25,000	5,000	30,000
86	25,000	5,000	30,000
87	23,080	4,616	27,696
88	23,000	4,600	27,600
04	26,000	5,200	31,200
03	26,000	5,200	31,200
05 / 06 *	182,830	36,566	219,396
1001-1140/9012 *	76,370	15,274	91,644
Allowable ZFA Subtotal	424,560	84,912	509,472

* Refer to ZLDA recorded in the Office of the City Register of the City of New York. Recorded: 04-11-2014 17:10
City Register File No. (CRFN): 2014000125809 Page 46 of 56

AREA SUMMARY CHART

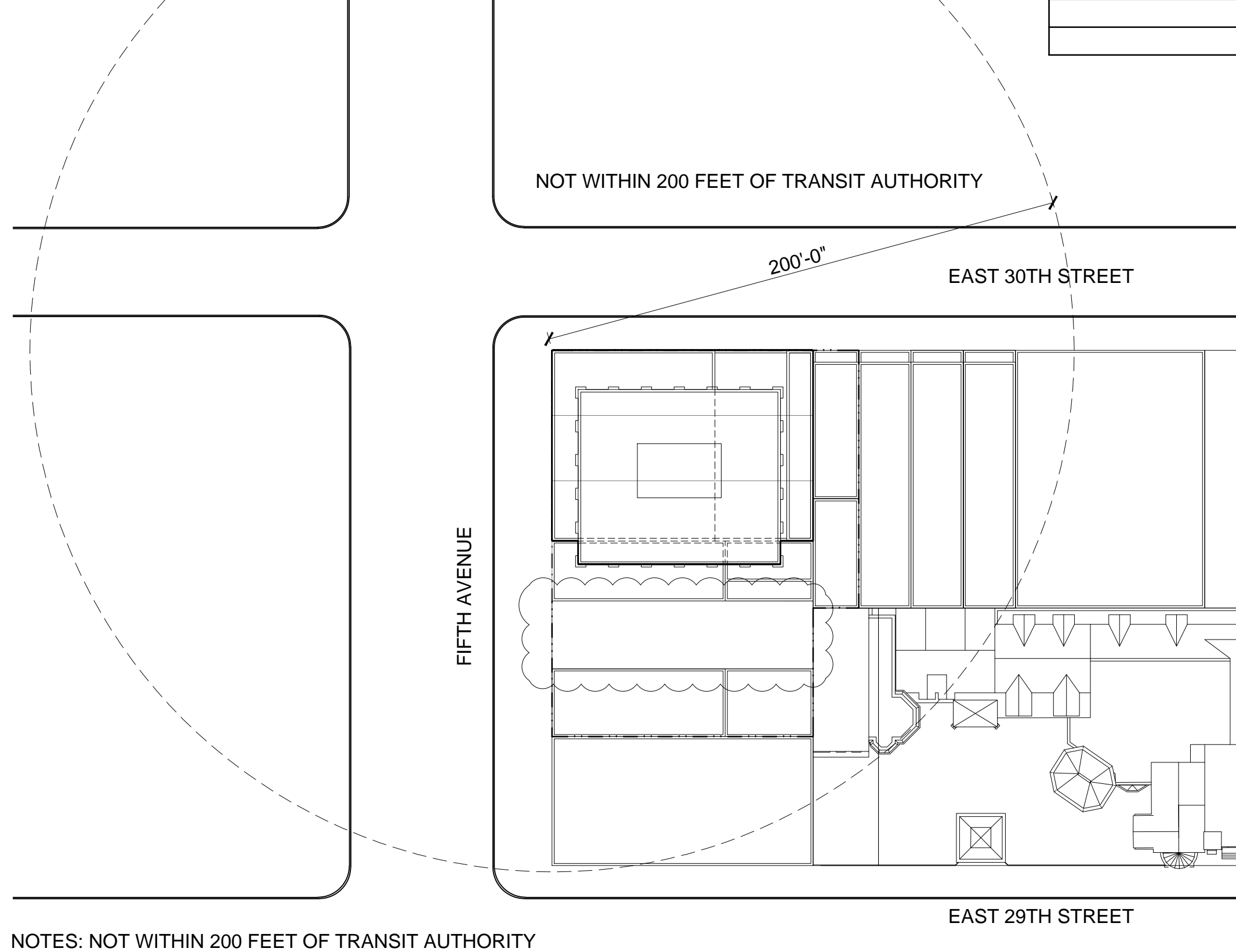
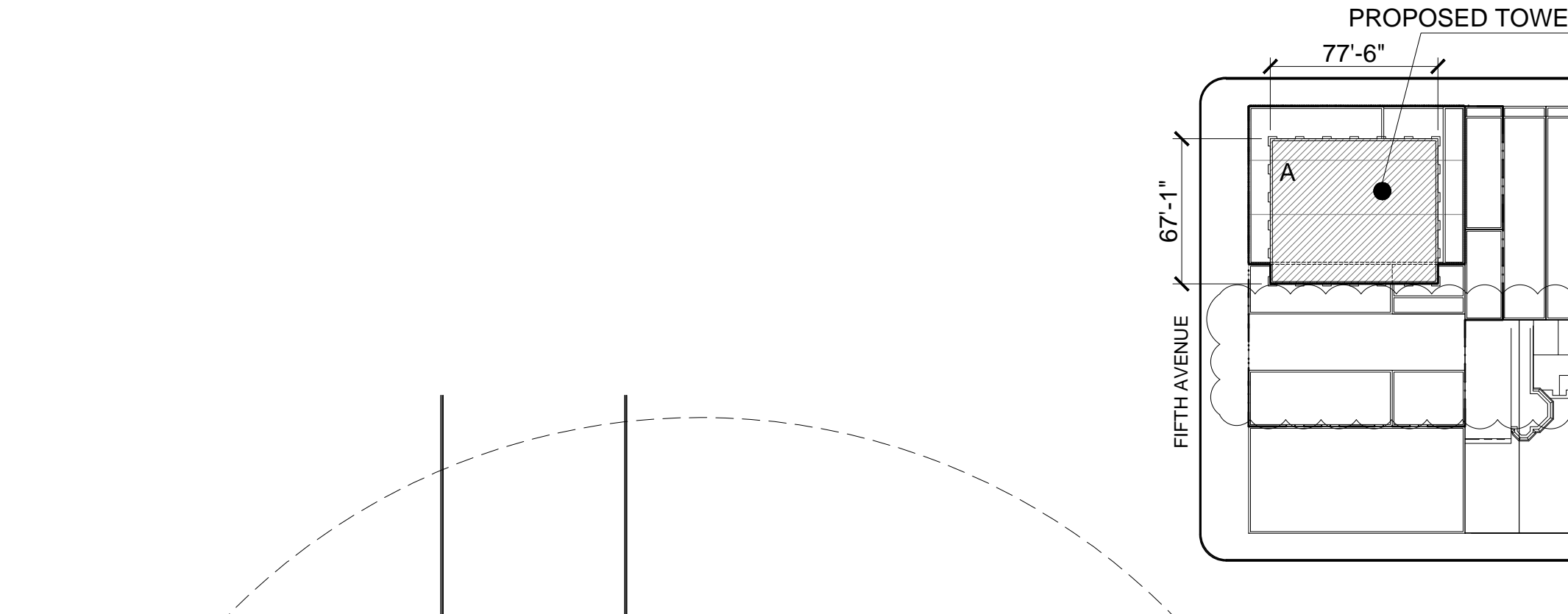
SCALE NTS



YARD REGULATION DIAGRAMS

SCALE 3/128" = 1"

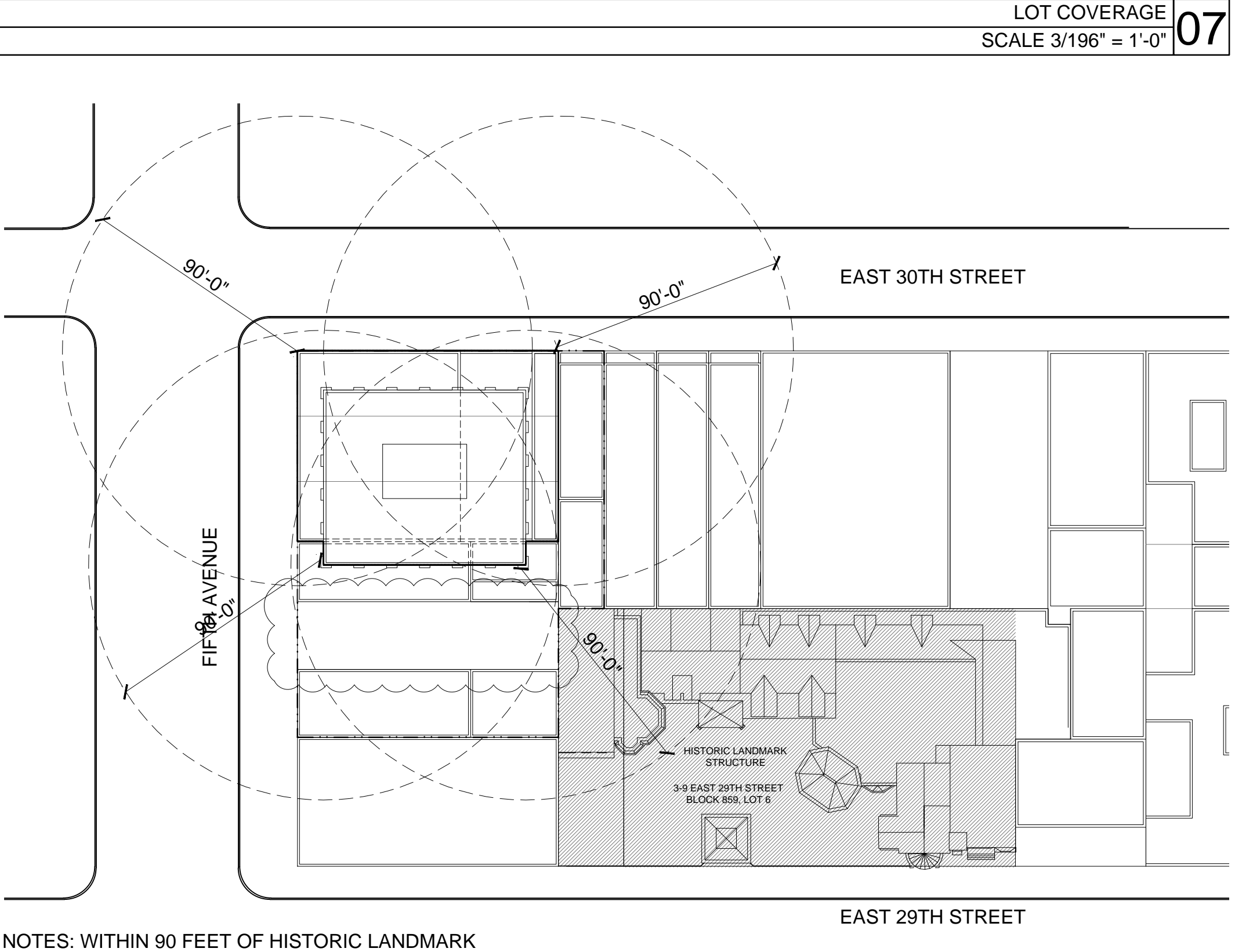
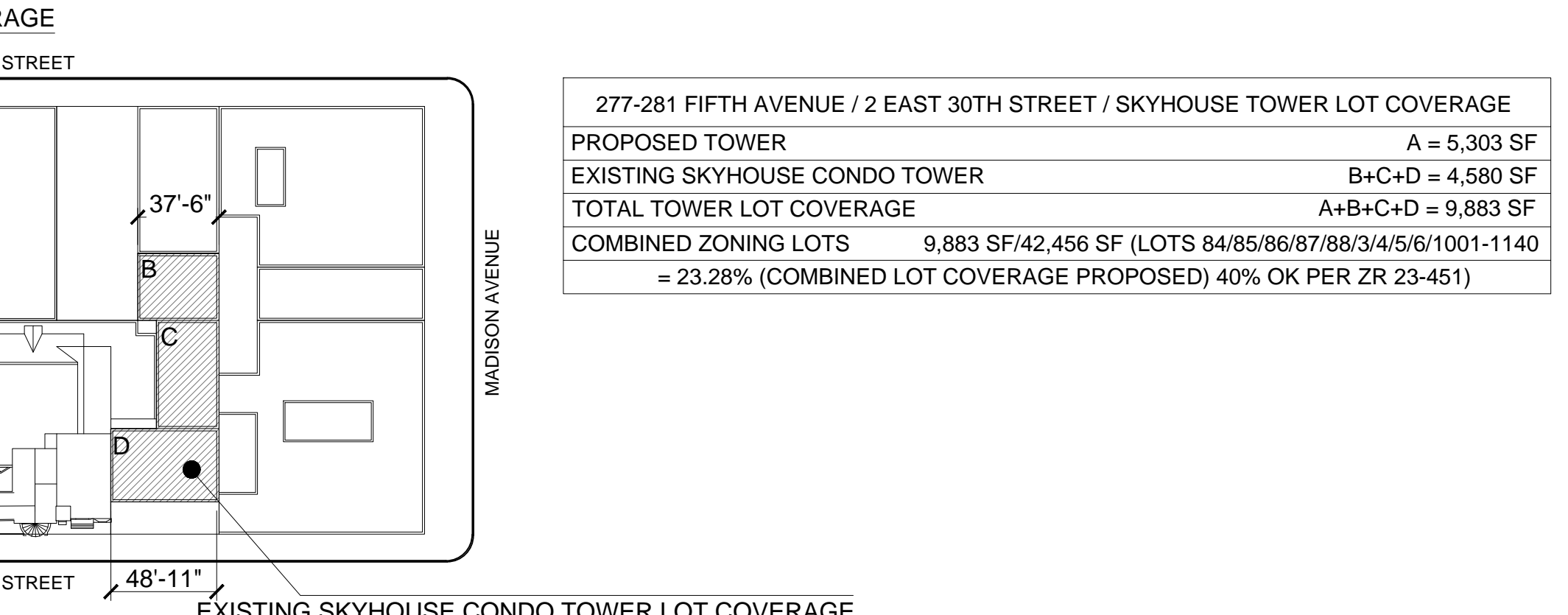
LOT 3 - 271 FIFTH AVENUE
SCALE 3/128" = 1"



DISTANCE TO TRANSIT AUTHORITY
SCALE 3/128" = 1"

NOTES: NOT WITHIN 200 FEET OF TRANSIT AUTHORITY

LOTS 5/6/1001/1140 - 1-11 EAST 29TH STREET
SCALE 3/128" = 1"



DISTANCE TO HISTORIC LANDMARK STRUCTURES
SCALE 3/128" = 1"

NOTES: WITHIN 90 FEET OF HISTORIC LANDMARK STRUCTURES. WILL COMPLY WITH TPN 10/88.

277 Fifth Avenue

NEW YORK, NY

OWNER:
VICTOR NOMAD LLC

CONSTRUCTION MANAGER:
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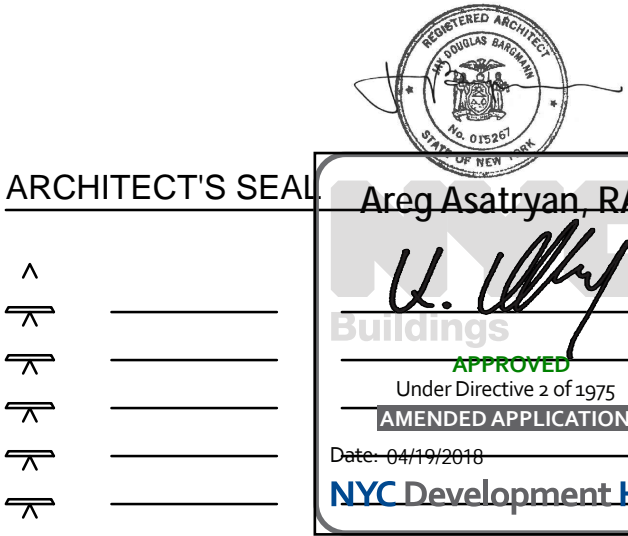
LIGHTING CONSULTANT:
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158 WEST 29TH STREET, 10TH FLOOR
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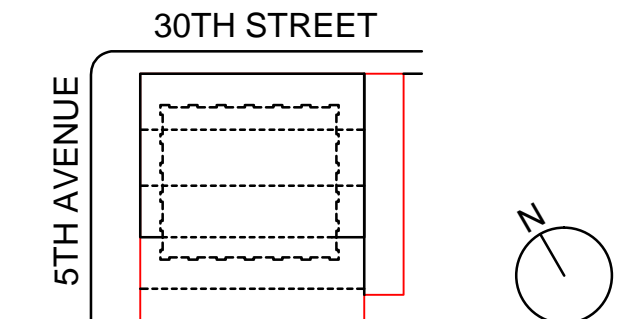
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INTERIOR DESIGN CONSULTANT:
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NEW YORK, NY, 10010
TEL: 212 352 2020

NYC DEPT. OF BUILDINGS
PAA #2



ISSUE NO.	ISSUE DATE	DESCRIPTION
09/08/2017	PAA #2	
02/24/2017	PAA #1	
04/08/2016	DOB SUBMITTAL	
01/18/2016	FOUNDATION BID	
12/23/2015	SCHEMATIC DESIGN	



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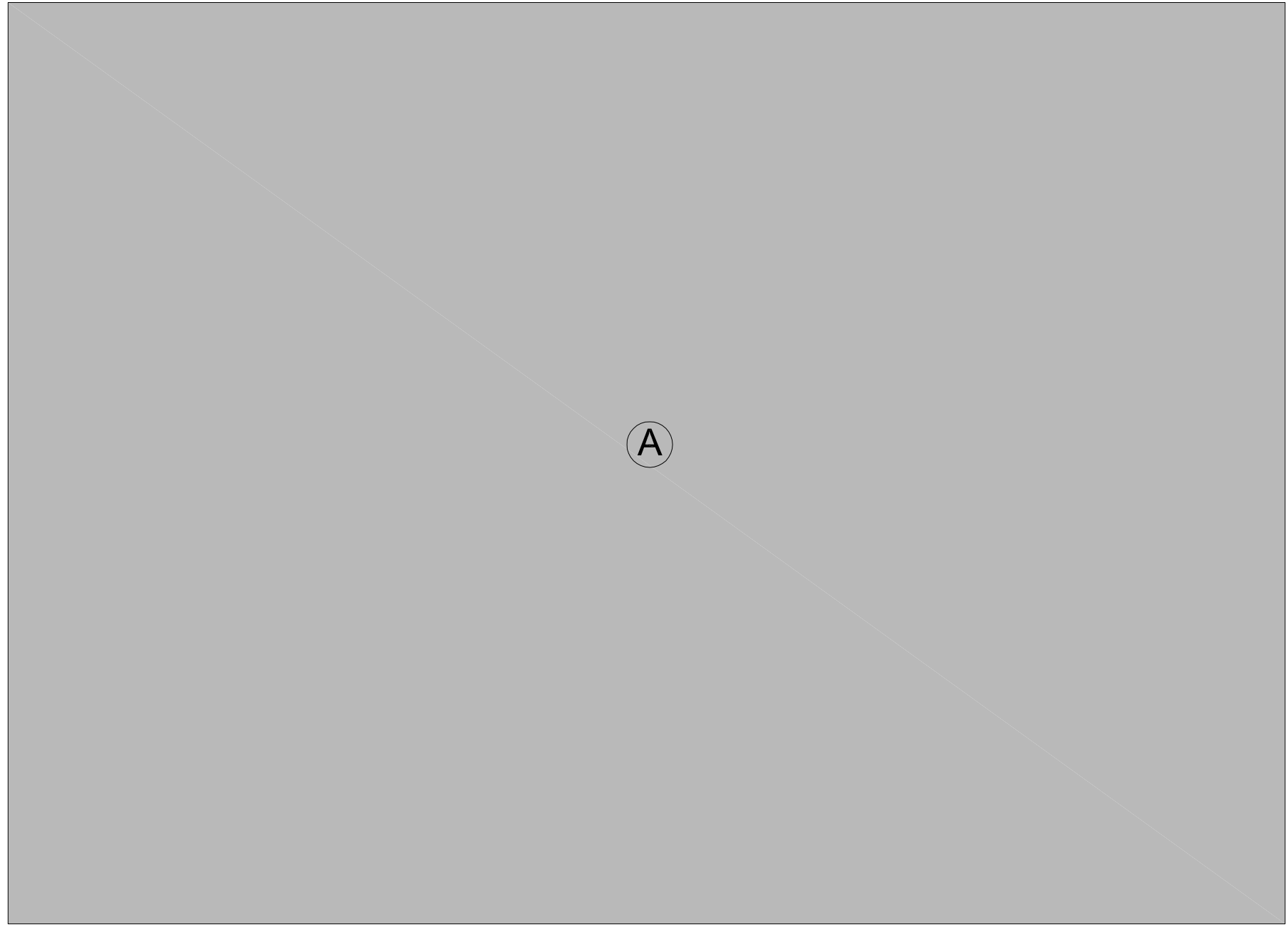
ZONING CALCULATIONS

SHEET TITLE :

Z-003.02

SHEET NUMBER :

1
2
3
4
5
6
A
B
C
D
E



CELLAR FLOOR GROSS AREA		
LOCATION	TYPE	AREA
A	MECHANICAL	7153.26 SQ.FT.
	TOTAL	7153.26 SQ.FT.

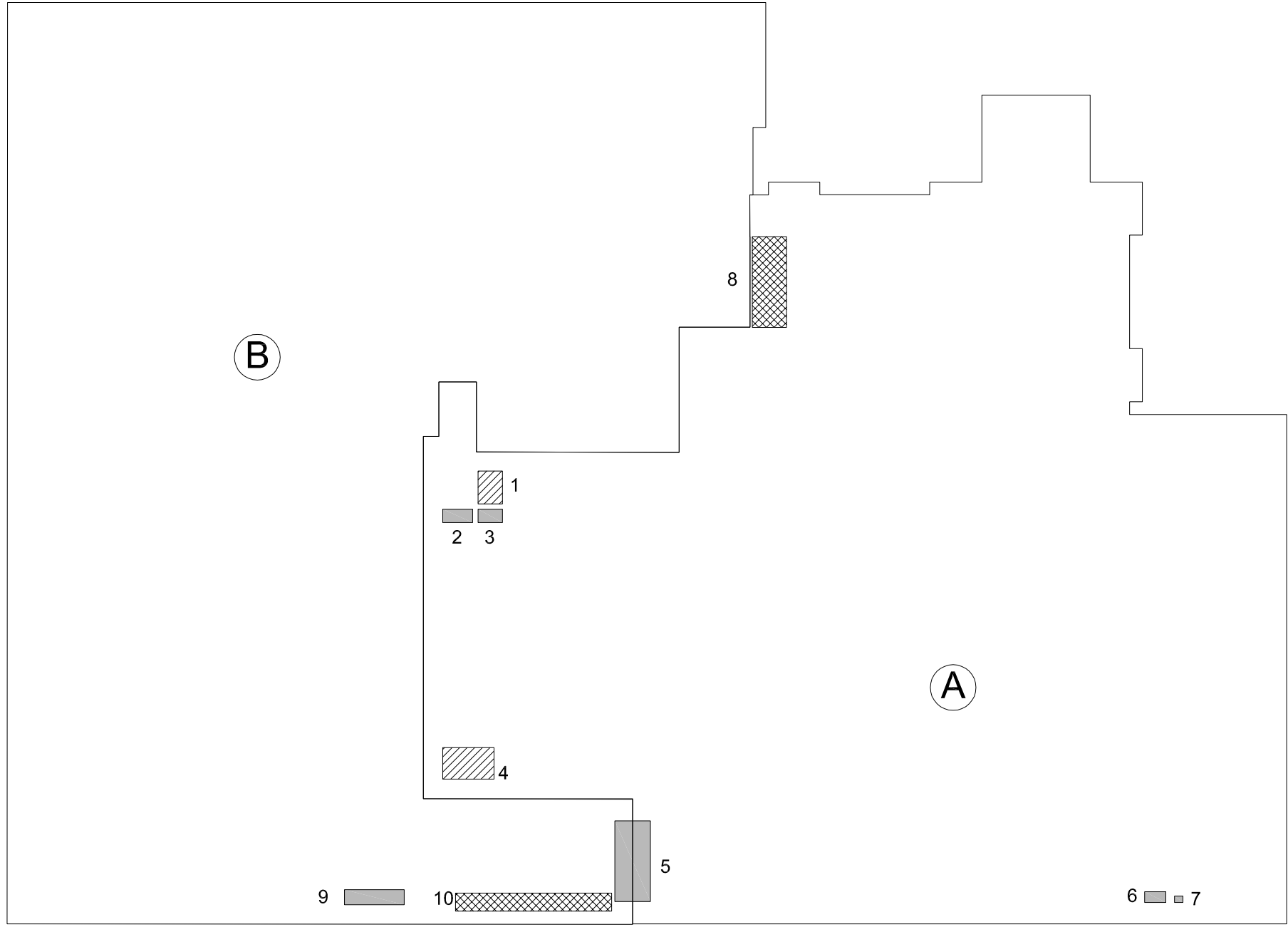
DEDUCTIONS	
FULL FLOOR	7153.26 SQ.FT.

- MECHANICAL DEDUCTION

PLUMBING DEDUCTION

ELECTRICAL DEDUCTION
- OPEN TO BELOW

STAIR DEDUCTION



1ST FLOOR GROSS AREA		
LOCATION	TYPE	AREA
A	RESIDENTIAL	3102.91 SQ.FT.
B	COMMERCIAL	3325.20 SQ.FT.
	TOTAL	6428.11 SQ.FT.

DEDUCTIONS		
RESIDENTIAL		
LOCATION	TYPE	AREA
1	E	4.90 SQ.FT.
2	M	2.43 SQ.FT.
3	M	2.00 SQ.FT.
4	E	9.84 SQ.FT.
5	M	17.41 SQ.FT.
6	M	1.39 SQ.FT.
7	M	0.33 SQ.FT.
8	P	18.86 SQ.FT.
	TOTAL	57.16 SQ.FT.
COMMERCIAL		
LOCATION	TYPE	AREA
9	M	5.44 SQ.FT.
10	P	17.10 SQ.FT.
	TOTAL	22.54 SQ.FT.

- MECHANICAL DEDUCTION

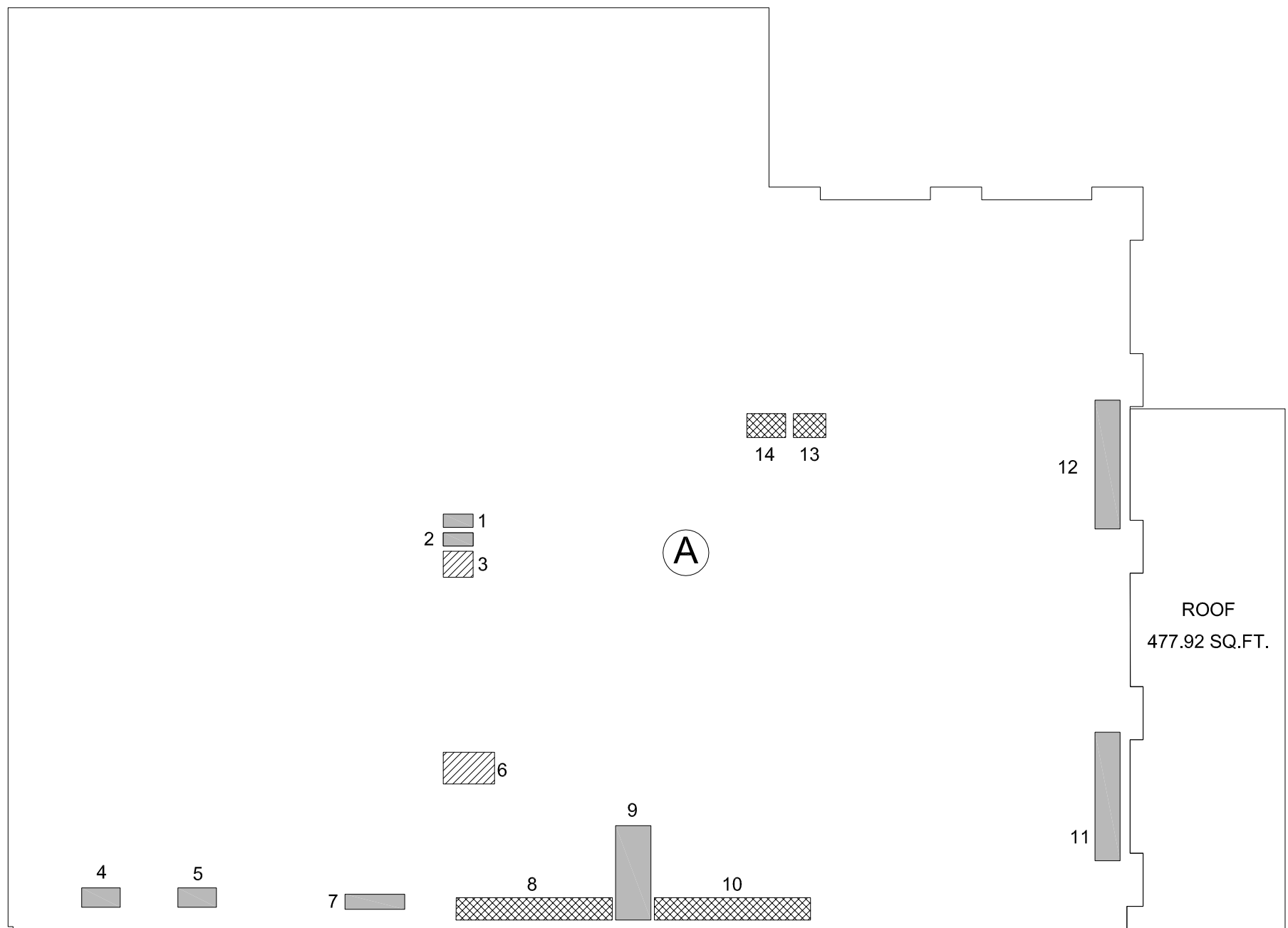
PLUMBING DEDUCTION

ELECTRICAL DEDUCTION
- OPEN TO BELOW

STAIR DEDUCTION

MECHANICAL DEDUCTION LEVEL -01 CELLAR
SCALE 1/32" = 1'-0" 01

MECHANICAL DEDUCTION LEVEL 01 GROUND
SCALE 1/32" = 1'-0" 02



2ND FLOOR GROSS AREA		
LOCATION	TYPE	AREA
A	COMMERCIAL	5893.70 SQ.FT.
	TOTAL	5893.70 SQ.FT.

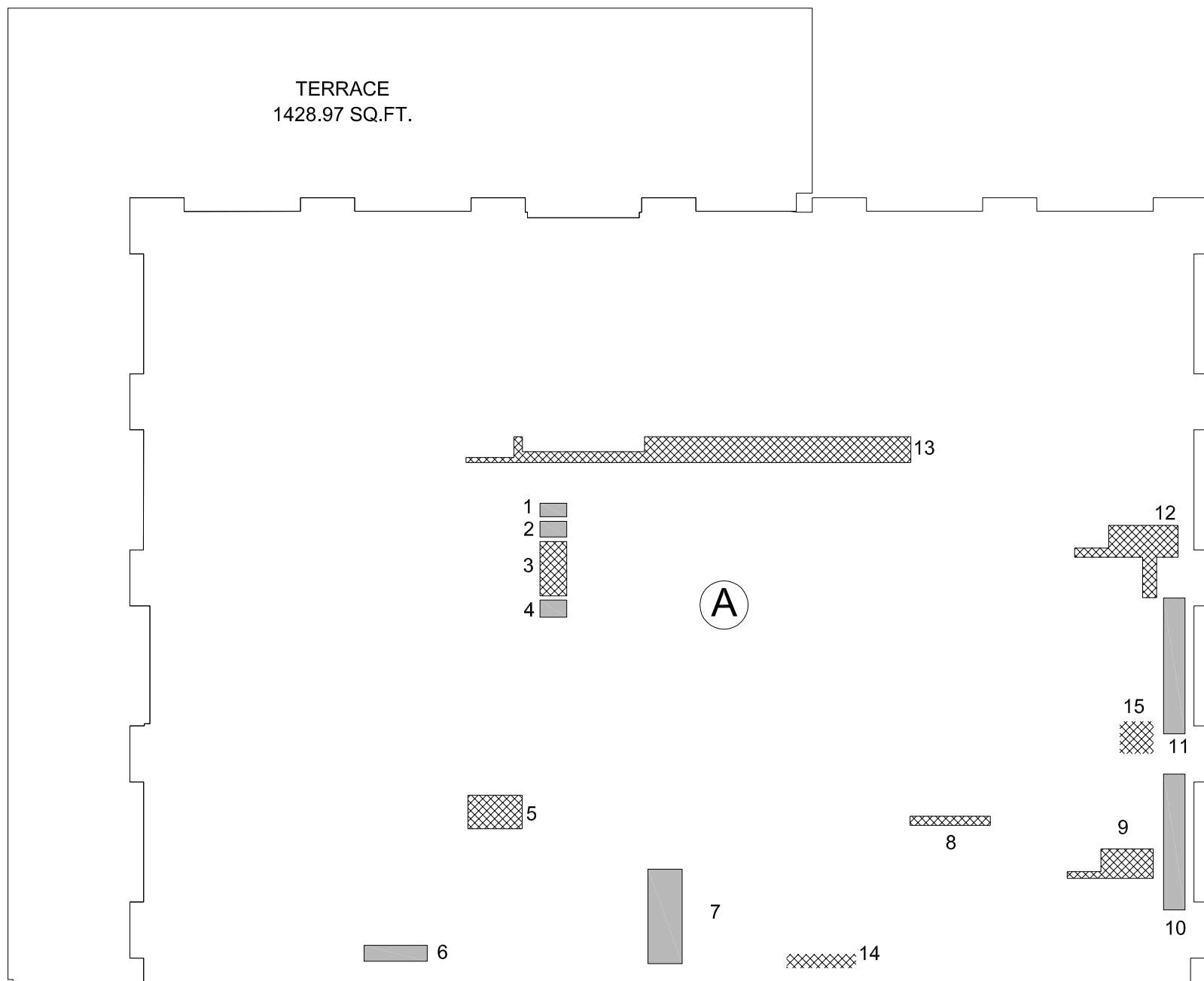
DEDUCTIONS		
RESIDENTIAL		
LOCATION	TYPE	AREA
1	M	2.43 SQ.FT.
2	M	2.38 SQ.FT.
3	E	4.73 SQ.FT.
4	M	4.50 SQ.FT.
5	M	4.50 SQ.FT.
6	E	9.84 SQ.FT.
7	M	5.44 SQ.FT.
8	P	21.19 SQ.FT.
9	M	20.38 SQ.FT.
10	P	21.19 SQ.FT.
11	M	19.64 SQ.FT.
12	M	19.64 SQ.FT.
13	P	4.70 SQ.FT.
14	P	5.60 SQ.FT.
	TOTAL	146.17 SQ.FT.

- MECHANICAL DEDUCTION

PLUMBING DEDUCTION

ELECTRICAL DEDUCTION
- OPEN TO BELOW

STAIR DEDUCTION



3RD FLOOR GROSS AREA		
LOCATION	TYPE	AREA
A	RESIDENTIAL	4463.10 SQ.FT.
	TOTAL	4463.10 SQ.FT.

DEDUCTIONS		
RESIDENTIAL		
LOCATION	TYPE	AREA
1	M	1.99 SQ.FT.
2	M	2.32 SQ.FT.
3	E	7.95 SQ.FT.
4	M	2.52 SQ.FT.
5	E	9.84 SQ.FT.
6	M	5.44 SQ.FT.
7	M	17.46 SQ.FT.
8	P	8.08 SQ.FT.
9	P	9.59 SQ.FT.
10	M	15.85 SQ.FT.
11	M	15.88 SQ.FT.
12	P	16.74 SQ.FT.
13	P	46.80 SQ.FT.
14	P	5.20 SQ.FT.
15	P	6.84 SQ.FT.
	TOTAL	172.50 SQ.FT.

- MECHANICAL DEDUCTION

PLUMBING DEDUCTION

ELECTRICAL DEDUCTION
- OPEN TO BELOW

STAIR DEDUCTION

MECHANICAL DEDUCTION LEVEL 02 COMMERCIAL
SCALE 1/32" = 1'-0" 03

MECHANICAL DEDUCTION LEVEL 03 FITNESS AND TERRACE
SCALE 1/32" = 1'-0" 04

277

Fifth Avenue

NEW YORK, NY

OWNER:
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NYC DEPT. OF BUILDINGS
PAA #1

ARCHITECT'S SEAL

AREG ASATRIAN, RA

U. Asatryan

APPROVED

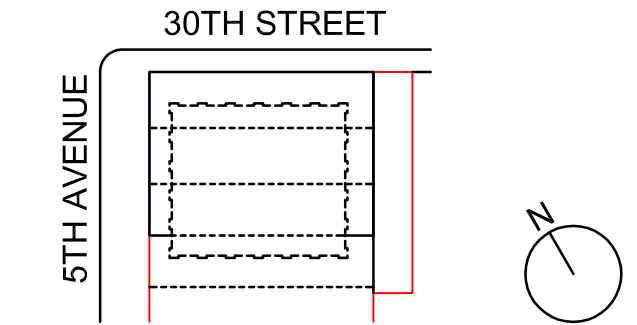
Under Observation until 02/27

AMENDED APPLICATION

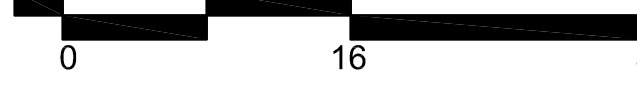
Date: 04/19/2018

NYC Development Hub

09/08/2017	PAA #2
02/24/2017	PAA #1
04/08/2016	DOB SUBMITTAL
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12/23/2015	SCHEMATIC DESIGN
ISSUE NO.	DATE
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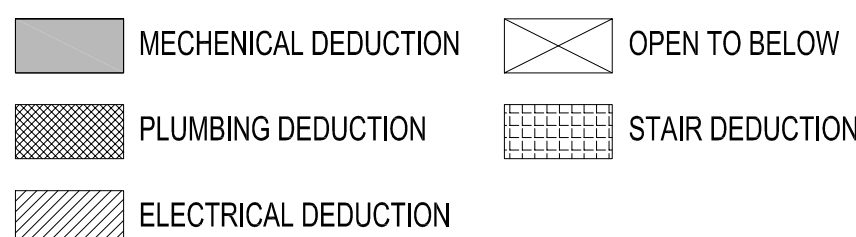
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MECHANICAL DEDUCTIONS LEVEL -01 TO 03

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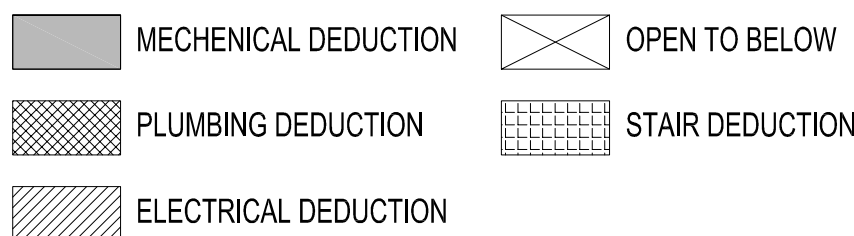
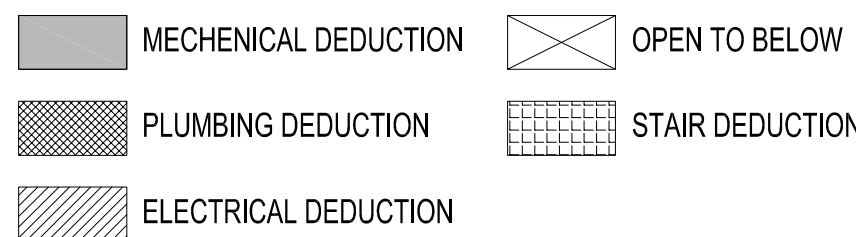
Z-004.02

SHEET NUMBER :



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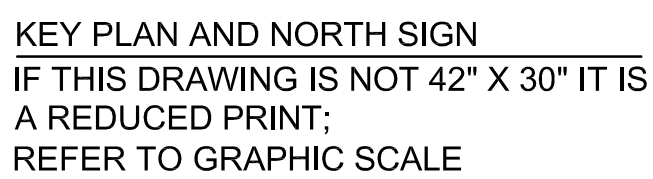
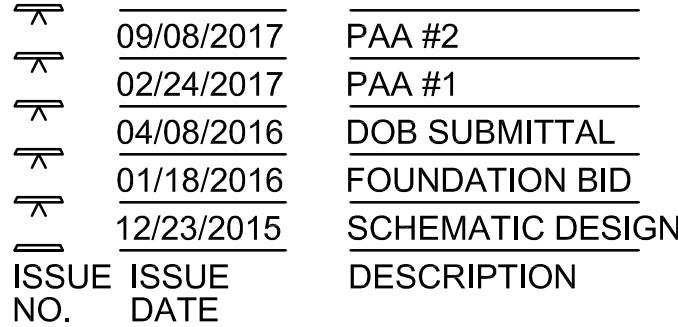
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LOCATION	TYPE	AREA
16	P	6.33 SQ.FT.
17	P	2.53 SQ.FT.
18	M	6.30 SQ.FT.
19	P	11.44 SQ.FT.
20	M	6.54 SQ.FT.
21	M	5.44 SQ.FT.
22	M	2.83 SQ.FT.
23	P	8.42 SQ.FT.
24	P	18.24 SQ.FT.
25	M	5.47 SQ.FT.
26	P	11.93 SQ.FT.
27	M	7.99 SQ.FT.
28	M	6.11 SQ.FT.
29	P	6.91 SQ.FT.
30	M	3.50 SQ.FT.
31	M	7.75 SQ.FT.
32	M	6.11 SQ.FT.
33	P	2.09 SQ.FT.
34	P	12.68 SQ.FT.
35	M	1.78 SQ.FT.
36	P	4.05 SQ.FT.
37	P	5.31 SQ.FT.
38	M	7.53 SQ.FT.
39	M	2.67 SQ.FT.
40	M	7.97 SQ.FT.

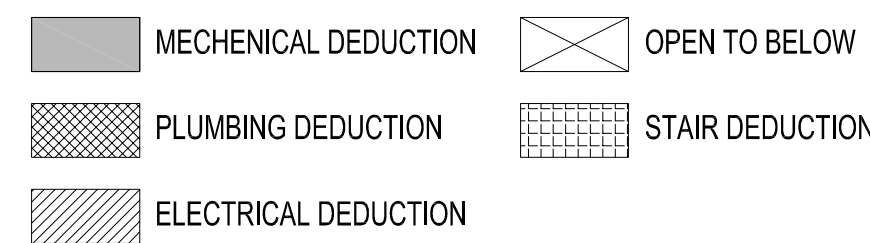
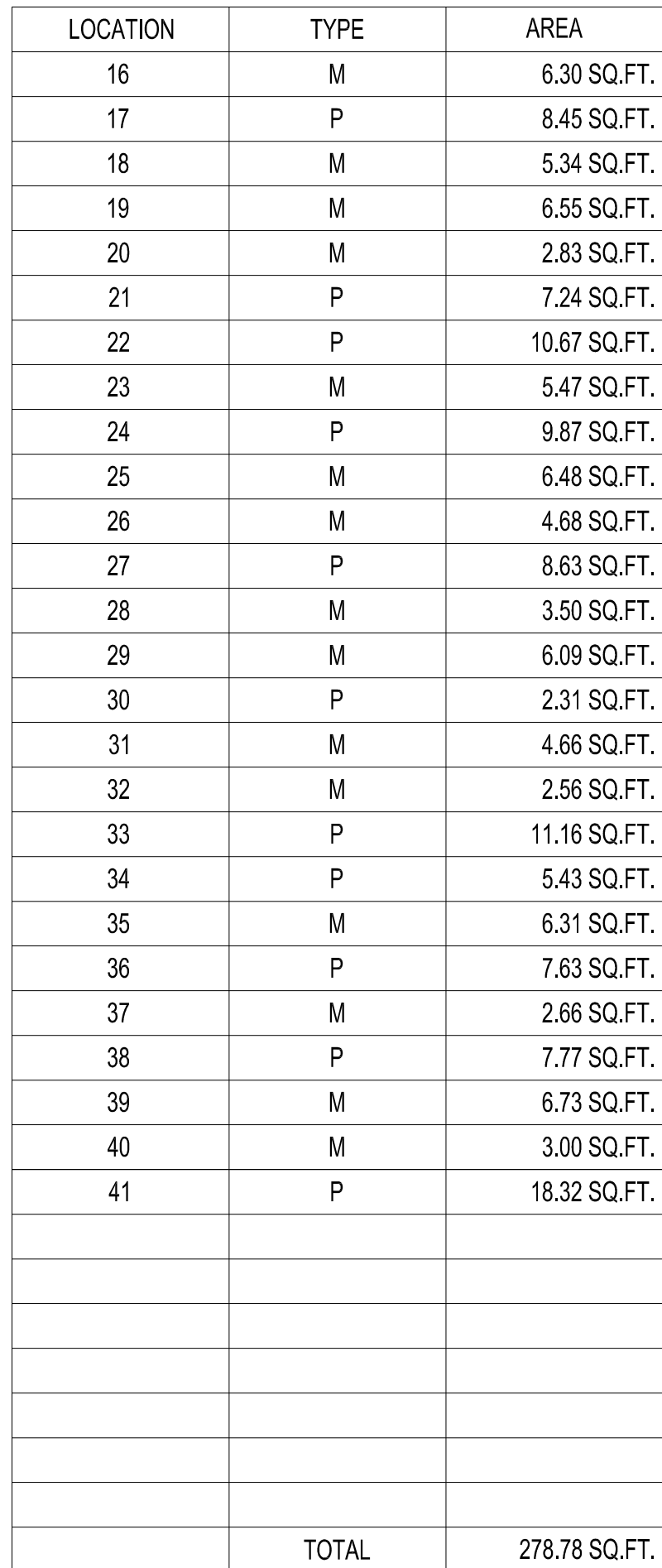
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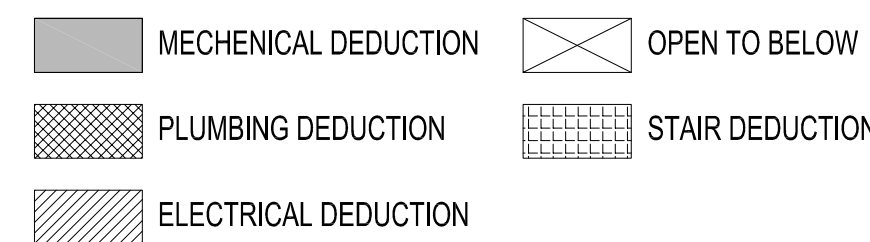
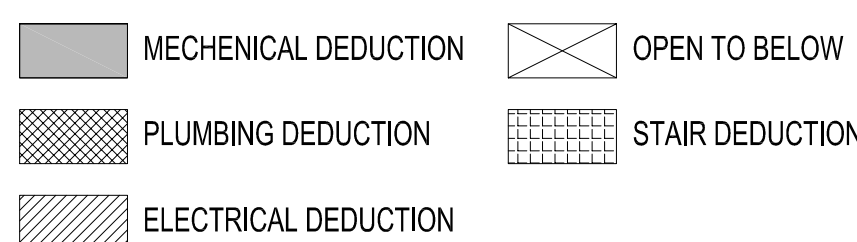


SCALE 3/32" = 1'-0"

SHEET NUMBER :



MECHANICAL DEDUCTION LEVEL 26 MECHANICAL		02
--	--	----



LOCATION	TYPE	AREA
16	M	6.41 SQ.FT.
17	P	12.47 SQ.FT.
18	M	6.49 SQ.FT.
19	M	12.48 SQ.FT.
20	P	3.77 SQ.FT.
21	P	9.55 SQ.FT.
22	M	7.69 SQ.FT.
23	P	5.15 SQ.FT.
24	M	4.99 SQ.FT.
25	M	4.28 SQ.FT.
26	P	8.34 SQ.FT.
27	P	7.51 SQ.FT.
28	M	10.75 SQ.FT.
29	M	8.83 SQ.FT.
30	P	6.64 SQ.FT.
31	P	9.16 SQ.FT.
32	M	4.28 SQ.FT.
33	P	5.74 SQ.FT.
34	M	8.10 SQ.FT.
35	P	1.92 SQ.FT.
36	M	5.83 SQ.FT.
37	M	2.67 SQ.FT.
38	P	13.24 SQ.FT.
39	M	5.92 SQ.FT.
40	P	6.54 SQ.FT.
41	M	2.53 SQ.FT.
42	P	4.13 SQ.FT.
	TOTAL	302.7 SQ.FT.

MECHANICAL DEDUCTION LEVEL 28-35 RESIDENTIAL 04

SHEET NUMBER :

2016 RAFAEL VINOLY ARCHITECTS

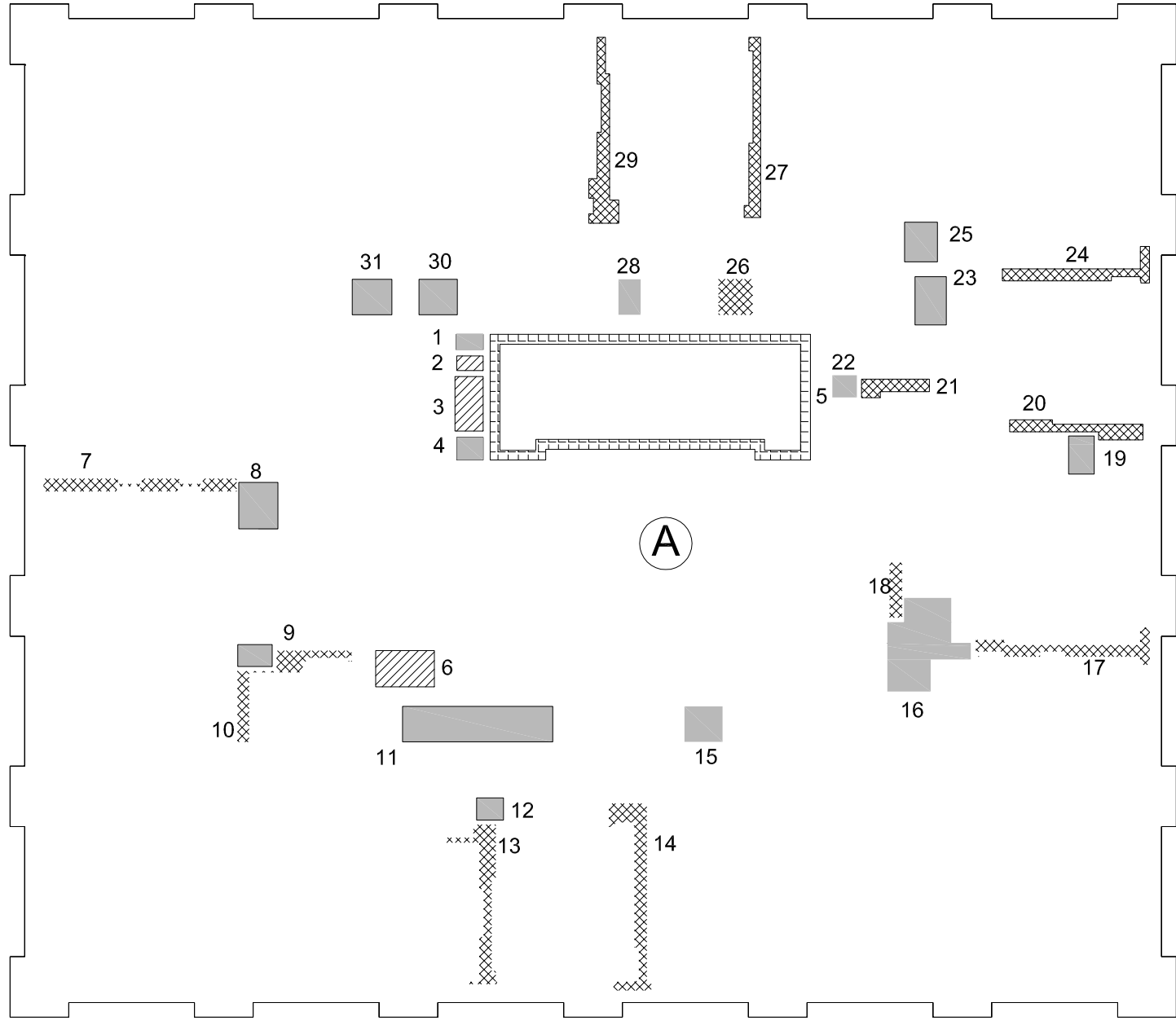
B

C

D

E

E

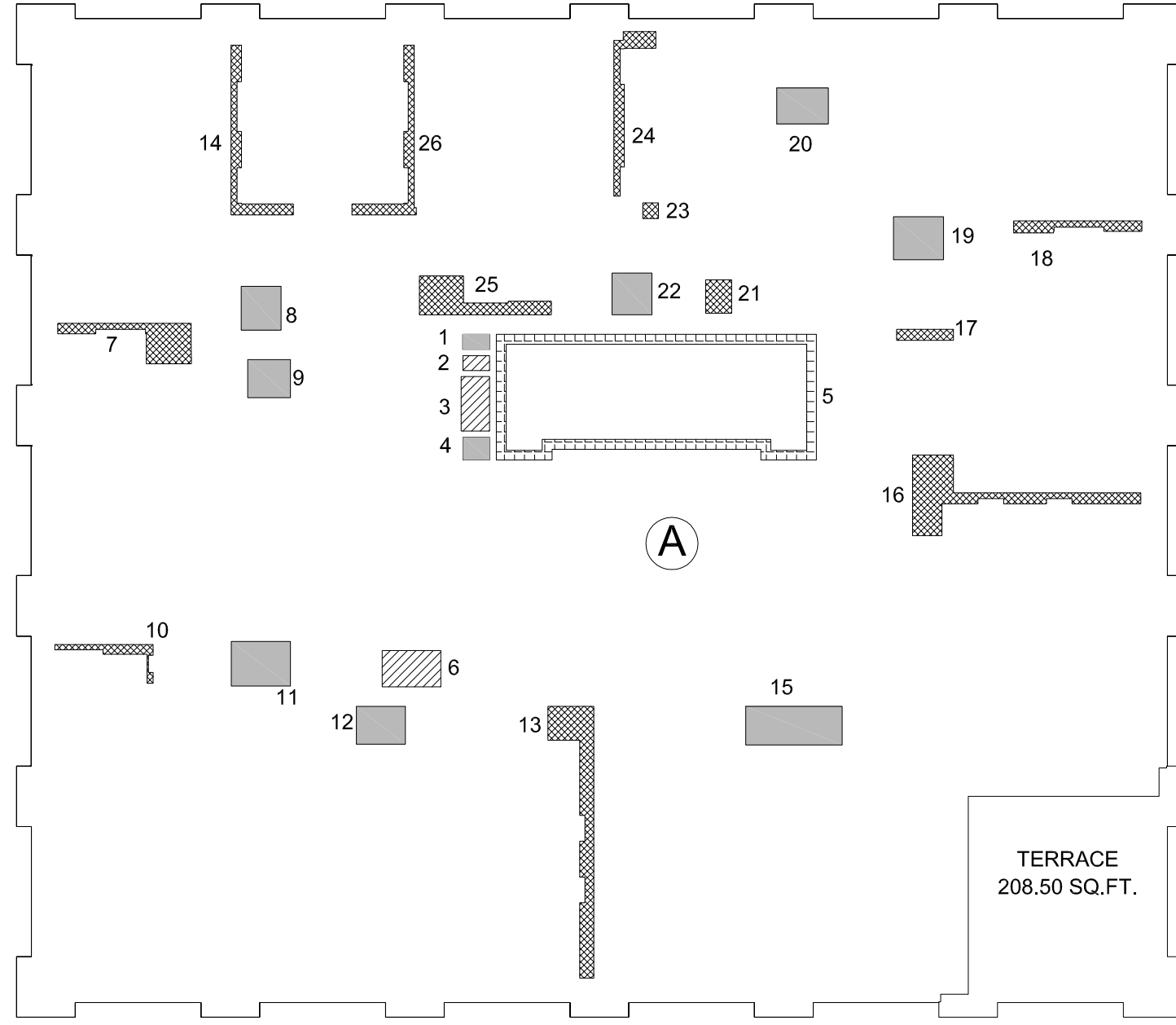


36-39TH FLOOR GROSS AREA		
LOCATION	TYPE	AREA
A	RESIDENTIAL	5300.16 SQ.FT.
	TOTAL	5300.16 SQ.FT.

DEDUCTIONS		
RESIDENTIAL		
LOCATION	TYPE	AREA
1	M	1.99 SQ.FT.
2	M	2.32 SQ.FT.
3	E	7.95 SQ.FT.
4	M	2.52 SQ.FT.
5	STAIR	39.34 SQ.FT.
6	E	9.84 SQ.FT.
7	P	8.89 SQ.FT.
8	M	8.44 SQ.FT.
9	M	3.50 SQ.FT.
10	P	8.10 SQ.FT.
11	M	24.89 SQ.FT.
12	M	2.75 SQ.FT.
13	P	10.45 SQ.FT.
14	P	13.02 SQ.FT.
15	M	6.28 SQ.FT.

	MECHANICAL DEDUCTION		OPEN TO BELOW
	PLUMBING DEDUCTION		STAIR DEDUCTION
	ELECTRICAL DEDUCTION		

LOCATION	TYPE	AREA
16	M	24.30 SQ.FT.
17	P	9.44 SQ.FT.
18	P	3.06 SQ.FT.
19	M	4.52 SQ.FT.
20	P	7.24 SQ.FT.
21	P	4.46 SQ.FT.
22	M	2.55 SQ.FT.
23	M	7.04 SQ.FT.
24	P	8.60 SQ.FT.
25	M	6.09 SQ.FT.
26	P	5.55 SQ.FT.
27	P	8.40 SQ.FT.
28	M	3.69 SQ.FT.
29	P	11.57 SQ.FT.
30	M	6.32 SQ.FT.
31	M	6.52 SQ.FT.
	TOTAL	275.91 SQ.FT.



40TH FLOOR GROSS AREA		
LOCATION	TYPE	AREA
A	RESIDENTIAL	5091.83 SQ.FT.
	TOTAL	5091.83 SQ.FT.

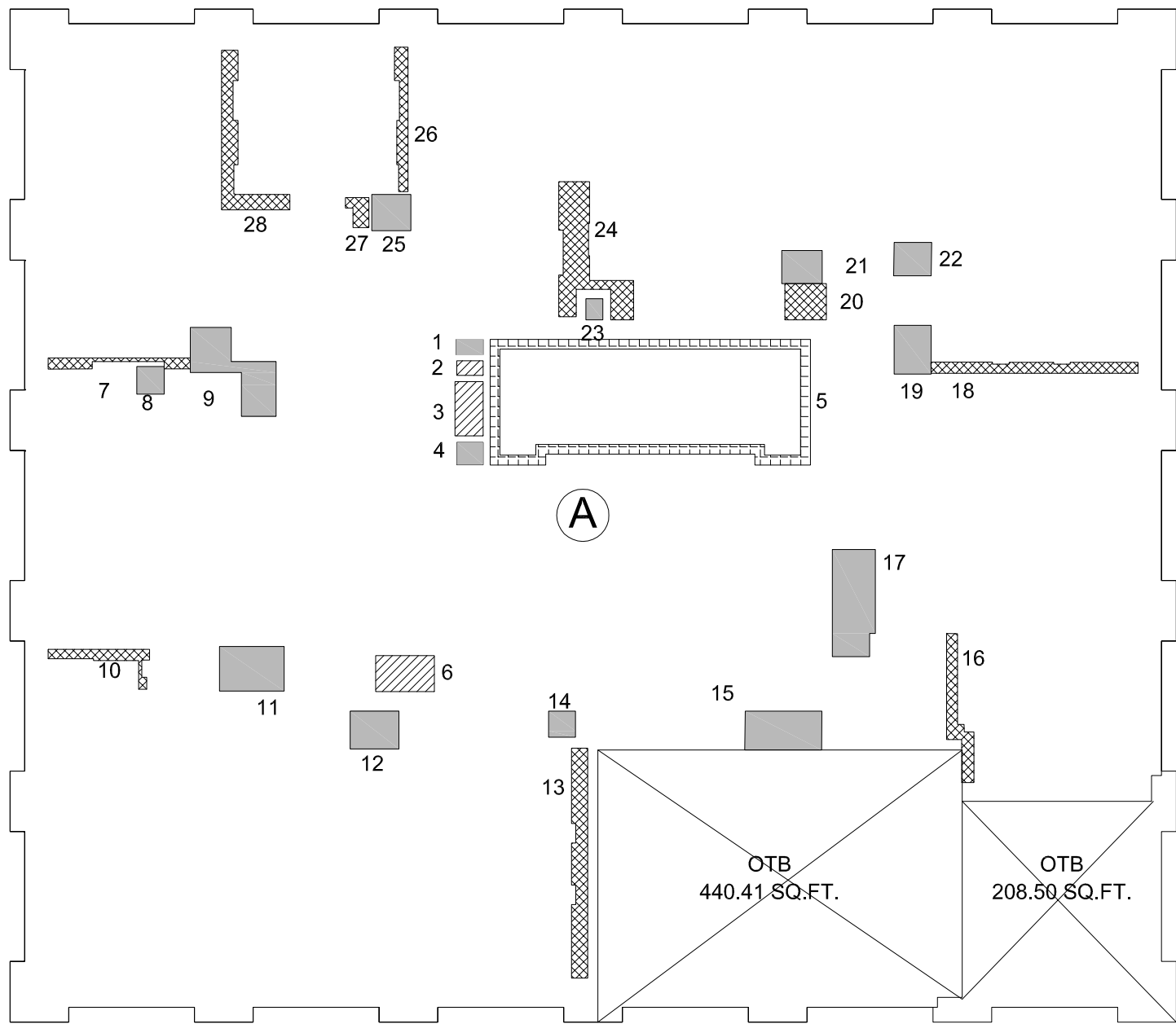
DEDUCTIONS		
RESIDENTIAL		
LOCATION	TYPE	AREA
1	M	1.99 SQ.FT.
2	M	2.32 SQ.FT.
3	E	7.95 SQ.FT.
4	M	2.52 SQ.FT.
5	STAIR	39.34 SQ.FT.
6	E	9.84 SQ.FT.
7	P	11.72 SQ.FT.
8	M	8.13 SQ.FT.
9	M	7.52 SQ.FT.
10	P	3.85 SQ.FT.
11	M	12.30 SQ.FT.
12	M	8.61 SQ.FT.
13	P	21.63 SQ.FT.
14	P	9.15 SQ.FT.
15	M	17.40 SQ.FT.

	MECHANICAL DEDUCTION		OPEN TO BELOW
	PLUMBING DEDUCTION		STAIR DEDUCTION
	ELECTRICAL DEDUCTION		

LOCATION	TYPE	AREA
16	P	21.98 SQ.FT.
17	P	2.91 SQ.FT.
18	P	8.88 SQ.FT.
19	M	10.02 SQ.FT.
20	M	8.68 SQ.FT.
21	P	4.05 SQ.FT.
22	M	7.76 SQ.FT.
23	P	1.13 SQ.FT.
24	P	8.73 SQ.FT.
25	P	13.21 SQ.FT.
26	P	9.23 SQ.FT.
	TOTAL	260.85 SQ.FT.

MECHANICAL DEDUCTION LEVEL 36-39 RESIDENTIAL	01
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MECHANICAL DEDUCTION LEVEL 40 DUPLEX LOWER	02
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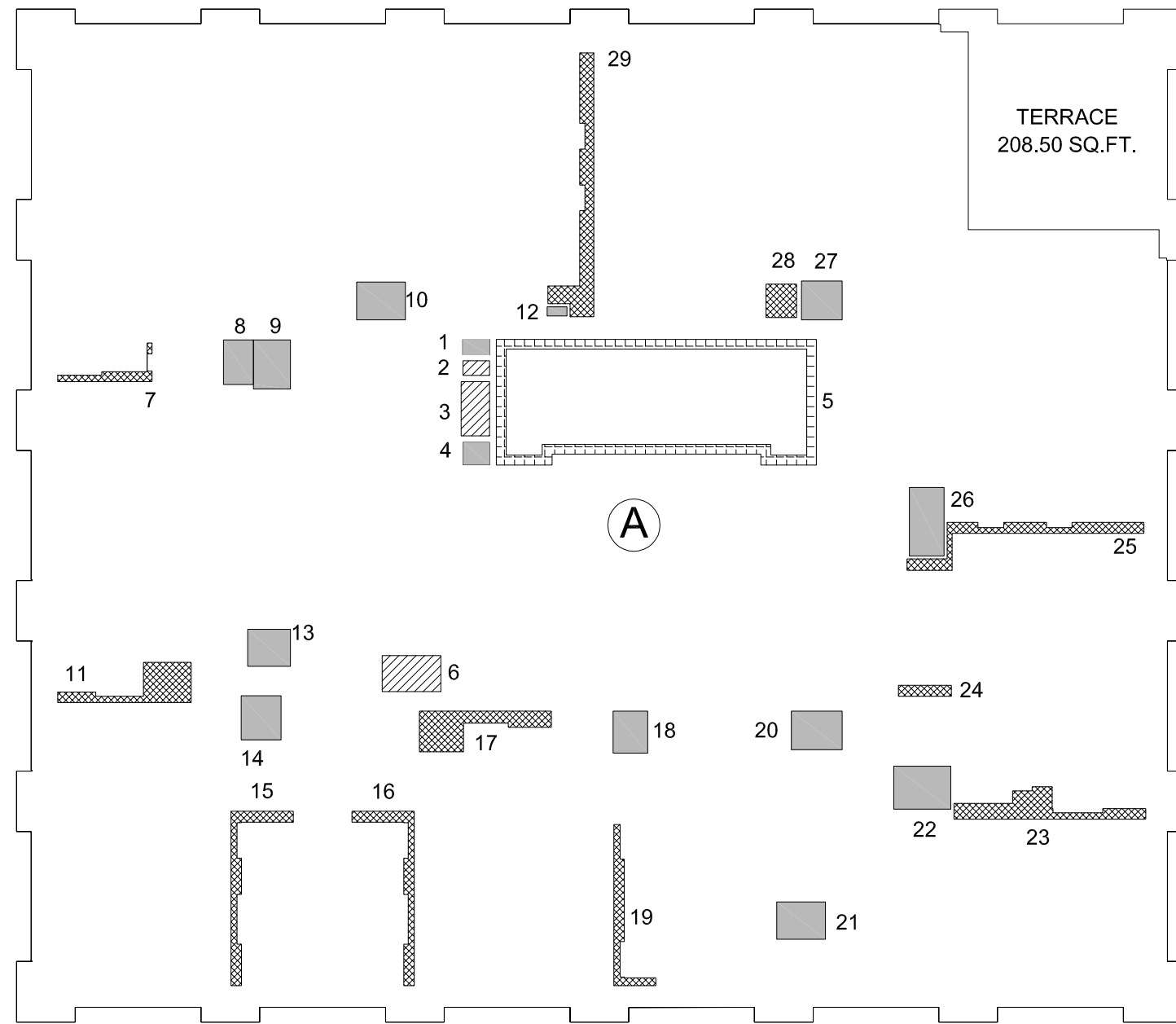


41TH FLOOR GROSS AREA		
LOCATION	TYPE	AREA
A	RESIDENTIAL	4651.35 SQ.FT.
	TOTAL	4651.35 SQ.FT.

DEDUCTIONS		
RESIDENTIAL		
LOCATION	TYPE	AREA
1	M	1.99 SQ.FT.
2	M	2.32 SQ.FT.
3	E	7.95 SQ.FT.
4	M	2.52 SQ.FT.
5	STAIR	39.34 SQ.FT.
6	E	9.84 SQ.FT.
7	P	4.82 SQ.FT.
8	M	5.13 SQ.FT.
9	M	17.93 SQ.FT.
10	P	5.47 SQ.FT.
11	M	13.40 SQ.FT.
12	M	8.61 SQ.FT.
13	P	16.35 SQ.FT.
14	M	3.24 SQ.FT.
15	M	13.86 SQ.FT.

	MECHANICAL DEDUCTION		OPEN TO BELOW
	PLUMBING DEDUCTION		STAIR DEDUCTION
	ELECTRICAL DEDUCTION		

LOCATION	TYPE	AREA
16	P	8.70 SQ.FT.
17	M	20.80 SQ.FT.
18	P	10.41 SQ.FT.
19	M	8.43 SQ.FT.
20	P	7.00 SQ.FT.
21	M	6.22 SQ.FT.
22	M	5.86 SQ.FT.
23	M	1.67 SQ.FT.
24	P	21.58 SQ.FT.
25	M	6.55 SQ.FT.
26	P	7.04 SQ.FT.
27	P	2.55 SQ.FT.
28	P	14.40 SQ.FT.
	TOTAL	273.98 SQ.FT.



42TH FLOOR GROSS AREA		
LOCATION	TYPE	AREA
A	RESIDENTIAL	5091.83 SQ.FT.
	TOTAL	5091.83 SQ.FT.

DEDUCTIONS		
RESIDENTIAL		
LOCATION	TYPE	AREA
1	M	1.99 SQ.FT.
2	M	2.32 SQ.FT.
3	E	7.95 SQ.FT.
4	M	2.52 SQ.FT.
5	STAIR	39.34 SQ.FT.
6	E	9.84 SQ.FT.
7	P	3.86 SQ.FT.
8	M	6.21 SQ.FT.
9	M	8.44 SQ.FT.
10	M	8.61 SQ.FT.
11	P	12.12 SQ.FT.
12	M	0.84 SQ.FT.
13	M	7.36 SQ.FT.
14	M	8.13 SQ.FT.
15	P	9.39 SQ.FT.

	MECHANICAL DEDUCTION		OPEN TO BELOW
	PLUMBING DEDUCTION		STAIR DEDUCTION
	ELECTRICAL DEDUCTION		

LOCATION	TYPE	AREA
16	P	9.37 SQ.FT.
17	P	14.06 SQ.FT.
18	M	6.75 SQ.FT.
19	P	7.56 SQ.FT.
20	M	9.10 SQ.FT.
21	M	8.43 SQ.FT.
22	M	11.41 SQ.FT.
23	P	13.37 SQ.FT.
24	P	2.70 SQ.FT.
25	P	11.79 SQ.FT.
26	M	11.08 SQ.FT.
27	M	7.34 SQ.FT.
28	P	4.71 SQ.FT.
29	P	19.22 SQ.FT.
	TOTAL	265.81 SQ.FT.

MECHANICAL DEDUCTION LEVEL 41 DUPLEX UPPER	03
--	----

MECHANICAL DEDUCTION LEVEL 42 DUPLEX LOWER	04
--	----

277
Fifth Avenue
NEW YORK, NY

OWNER:
VICTOR NOMAD LLC

CONSTRUCTION MANAGER:
LEND LEASE
200 PARK AVENUE, 9TH FLOOR
NEW YORK, NY 10166
TEL: 212 592 6700

ARCHITECT :
RAFAEL VINOLY ARCHITECTS PC
50 VANDAM STREET
NEW YORK, NY 10013
TEL: 212 924 5060 FAX: 212 924 5858

STRUCTURAL ENGINEER:
WSP PARSONS BRINCKERHOFF
ONE PENN PLAZA, 4TH FLOOR
NEW YORK, NY 10119
TEL: 212 687 9888

MEP/FP/IT ENGINEER:
MGE ENGINEERING
116 WEST 32ND STREET, 12TH FLOOR
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TEL: 212 643 9055

GEOTECH CIVIL ENGINEER:
LANGAN ENGINEERING
300 KIMBALL DRIVE, 4TH FLOOR
PARSIPPANY, NJ, 07054
TEL: 973 560 4900

VERTICAL TRANSPORT, CONSULTANT:
VAN DEUSEN & ASSOCIATES
120 EAGLE ROCK AVENUE, SUITE 310
EAST HANOVER, NJ, 07936
TEL: 973 994 9220

ENCLOSURE CONSULTANT:
VIDARIS, INC.
360 PARK AVENUE SOUTH, 15TH FLOOR
NEW YORK, NY, 10010
TEL: 212 689 5389

FACADE MAINTENANCE CONSULTANT:
ENITEK ENGINEERING LLC
166 AMES STREET
HACKENSACK, NJ, 07601
TEL: 201 820 2801

ACOUSTICAL CONSULTANT:
CERAMI & ASSOCIATES
404 FIFTH AVENUE
NEW YORK, NY, 10018
TEL: 212 616 4179

LIGHTING CONSULTANT:
ONE LUX STUDIO
158 WEST 29TH STREET, 10TH FLOOR
NEW YORK, NY, 10001
TEL: 212 201 5790

SPECIFICATIONS CONSULTANT:
ROBERT SCHWARTZ & ASSOCIATES
589 EIGHTH AVENUE, 17TH FLOOR
NEW YORK, NY, 10018
TEL: 212 691 3248

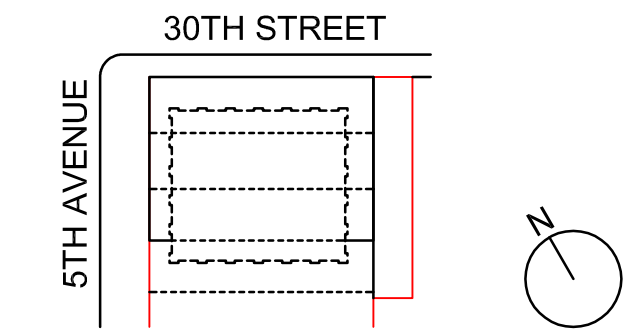
ENERGY MODELING CONSULTANT:
STEVEN WINTER ASSOCIATES, INC
307 SEVENTH AVENUE, SUITE 1701
NEW YORK, NY, 10001
TEL: 212 564 5800

INTERIOR DESIGN CONSULTANT:
BEERS INTERIORS
156 5TH AVENUE, PENTHOUSE 2
NEW YORK, NY, 10010
TEL: 212 352 2020

NYC DEPT. OF BUILDINGS
PAA #1

ARCHITECT'S SEAL
Areg Asatryan, RA
U. Asatryan
APPROVED
Under the provisions of the
AMENDED APPLICATION
Date: 04/19/2018
NYC Development Hub

09/08/2017	PAA #2
02/24/2017	PAA #1
04/08/2016	DOB SUBMITTAL
01/18/2016	FOUNDATION BID
12/23/2015	SCHEMATIC DESIGN
ISSUE NO.	ISSUE DATE DESCRIPTION



KEY PLAN AND NORTH SIGN
IF THIS DRAWING IS NOT 42" X 30" IT IS
A REDUCED PRINT;
REFER TO GRAPHIC SCALE

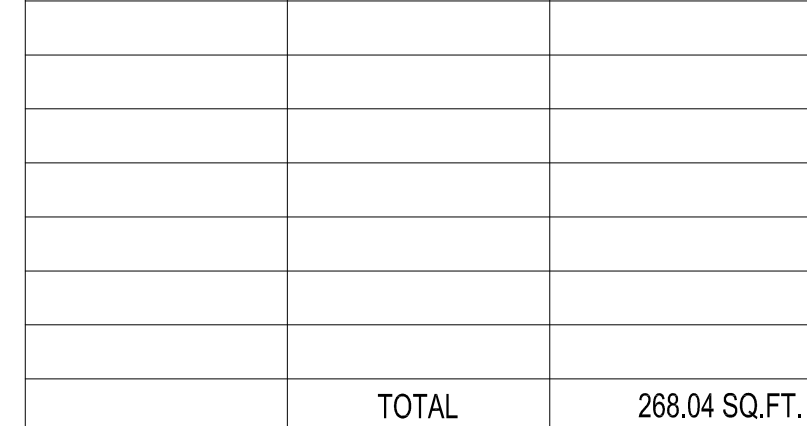
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MECHANICAL
DEDUCTIONS
LEVEL 36 TO 42

SHEET TITLE :

Z-007.02

SHEET NUMBER :



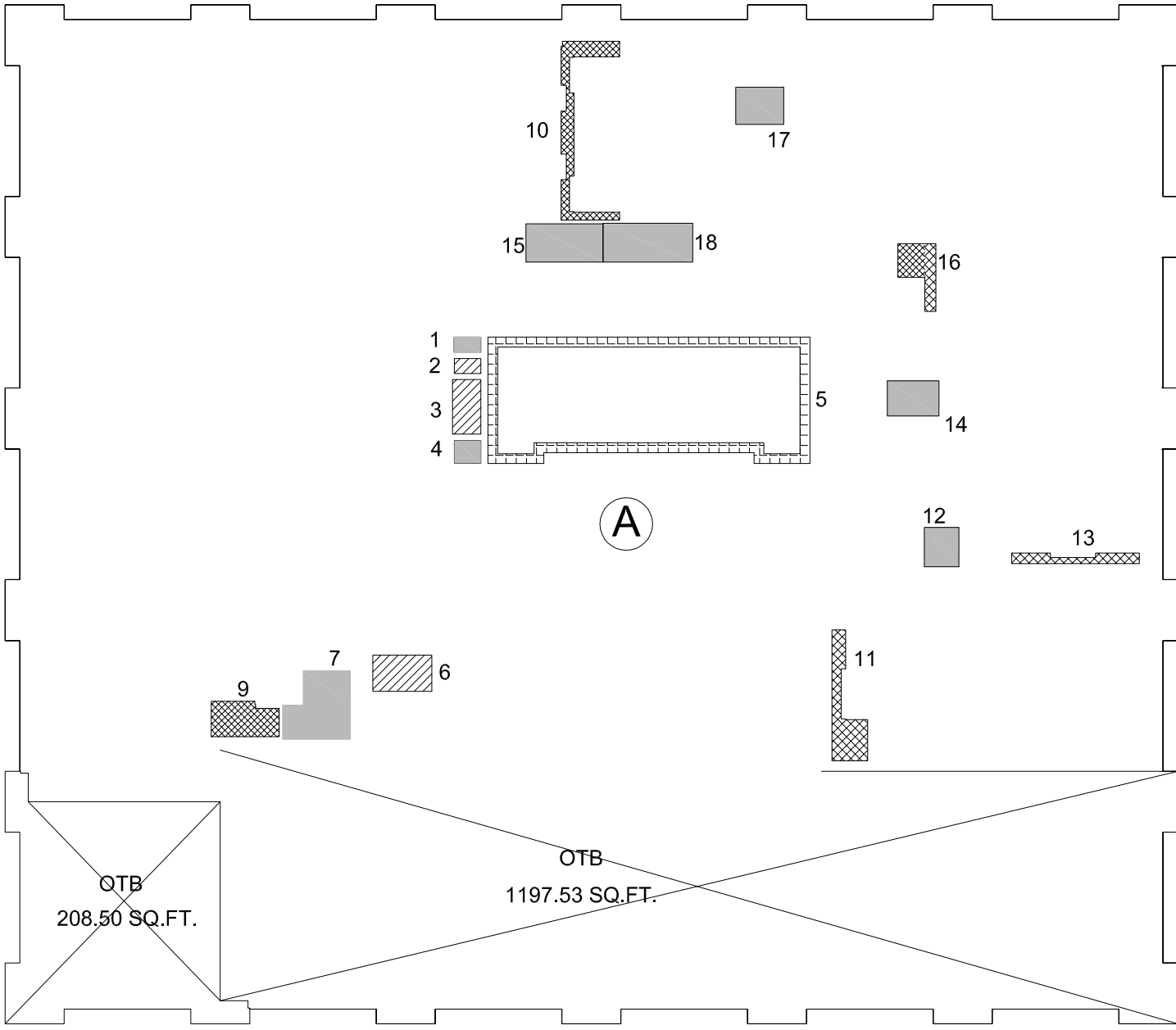
MECHANICAL DEDUCTION LEVEL 44 DUPLEX LOWER	02
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MECHANICAL DEDUCTION LEVEL 46 DUPLEX LOWER	04
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SHEET NUMBER :

1 2 3 4 5 6
A B C D E
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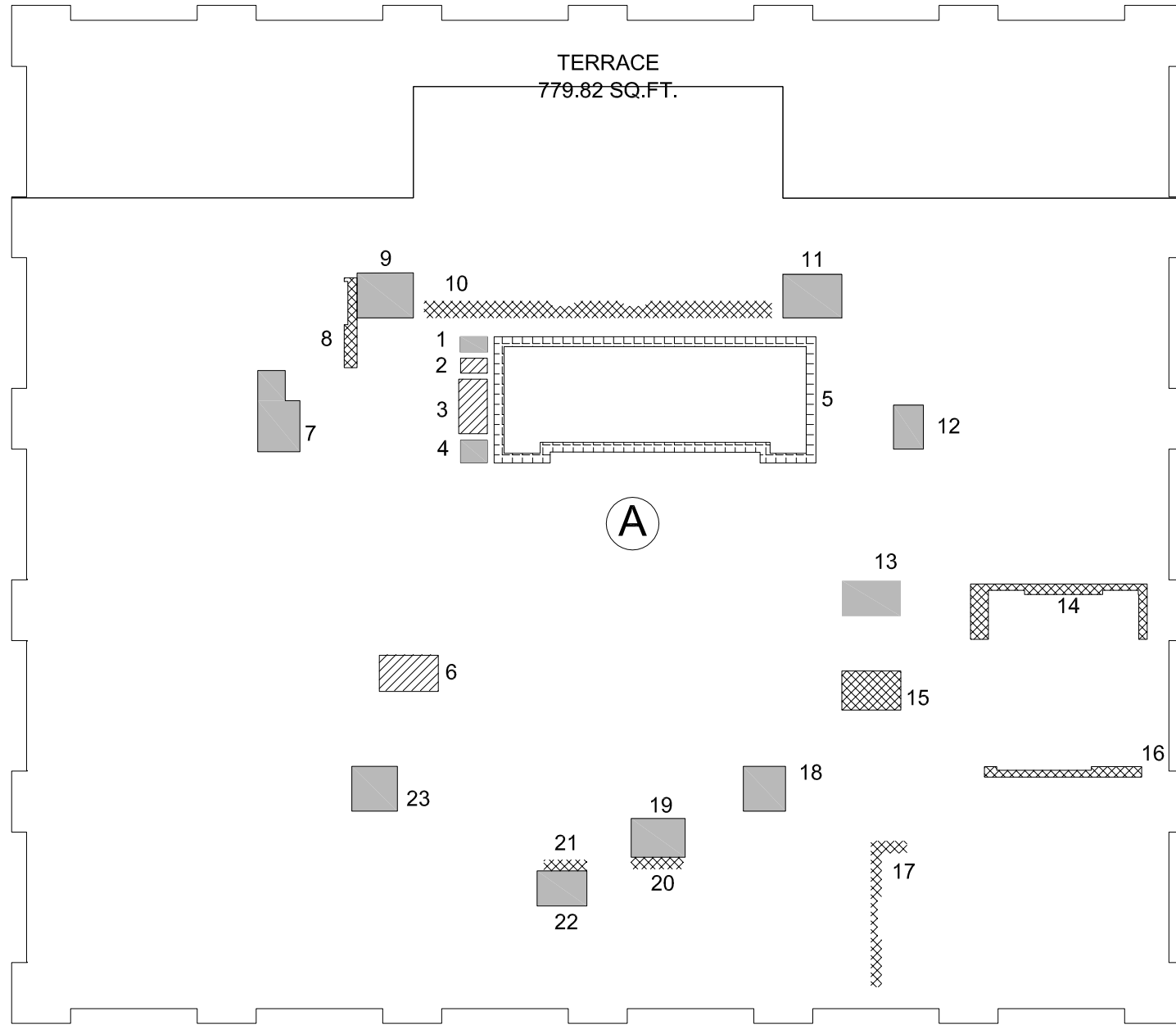


47TH FLOOR GROSS AREA		
LOCATION	TYPE	AREA
A	RESIDENTIAL	3894.13 SQ.FT.
TOTAL		3894.13 SQ.FT.

DEDUCTIONS RESIDENTIAL		
LOCATION	TYPE	AREA
1	M	1.99 SQ.FT.
2	M	2.32 SQ.FT.
3	E	7.95 SQ.FT.
4	M	2.52 SQ.FT.
5	STAIR	39.34 SQ.FT.
6	E	9.84 SQ.FT.
7	M	18.55 SQ.FT.
10	P	12.84 SQ.FT.
9	P	10.26 SQ.FT.
10	M	2.92 SQ.FT.
11	P	11.33 SQ.FT.
12	M	6.28 SQ.FT.
13	P	5.25 SQ.FT.
14	M	8.37 SQ.FT.
15	M	13.61 SQ.FT.

MECHANICAL DEDUCTION OPEN TO BELOW
PLUMBING DEDUCTION STAIR DEDUCTION
ELECTRICAL DEDUCTION

LOCATION	TYPE	AREA
16	P	7.57 SQ.FT.
17	M	8.23 SQ.FT.
18	M	16.03 SQ.FT.
TOTAL		185.20 SQ.FT.



48TH FLOOR GROSS AREA		
LOCATION	TYPE	AREA
A	RESIDENTIAL	4520.34 SQ.FT.
TOTAL		4520.34 SQ.FT.

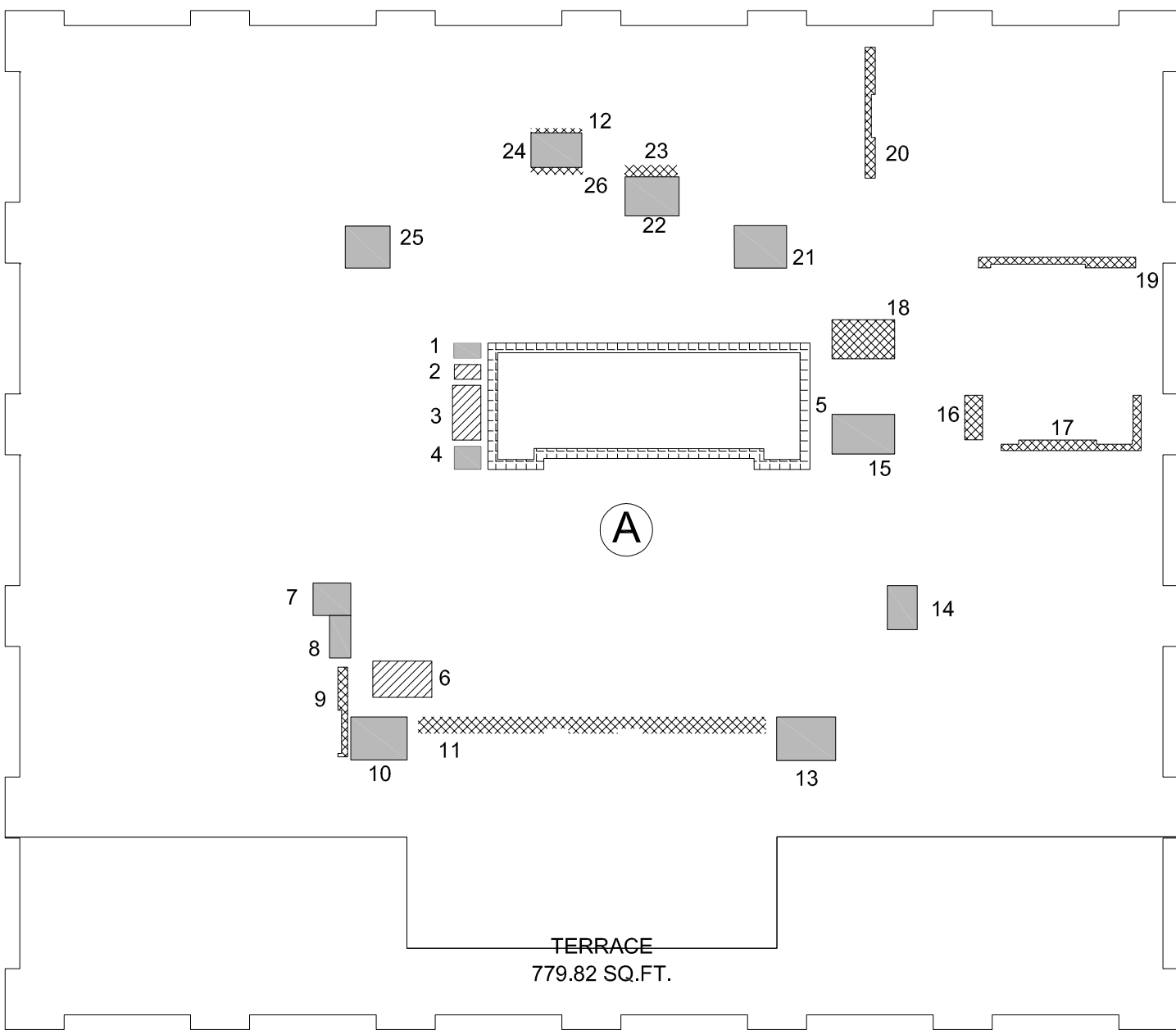
DEDUCTIONS RESIDENTIAL		
LOCATION	TYPE	AREA
1	M	1.99 SQ.FT.
2	M	2.32 SQ.FT.
3	E	7.95 SQ.FT.
4	M	2.52 SQ.FT.
5	STAIR	39.34 SQ.FT.
6	E	9.84 SQ.FT.
7	M	13.76 SQ.FT.
8	P	4.59 SQ.FT.
9	M	11.63 SQ.FT.
10	P	25.56 SQ.FT.
11	M	11.81 SQ.FT.
12	M	6.03 SQ.FT.
13	M	9.71 SQ.FT.
14	P	12.41 SQ.FT.
15	P	10.58 SQ.FT.

MECHANICAL DEDUCTION OPEN TO BELOW
PLUMBING DEDUCTION STAIR DEDUCTION
ELECTRICAL DEDUCTION

LOCATION	TYPE	AREA
16	P	5.94 SQ.FT.
17	P	7.67 SQ.FT.
18	M	8.74 SQ.FT.
19	M	9.65 SQ.FT.
20	P	2.79 SQ.FT.
21	P	2.19 SQ.FT.
22	M	8.00 SQ.FT.
23	M	9.43 SQ.FT.
TOTAL		224.45 SQ.FT.

MECHANICAL DEDUCTION LEVEL 47 DUPLEX UPPER 01

MECHANICAL DEDUCTION LEVEL 48 PENTHOUSE 02

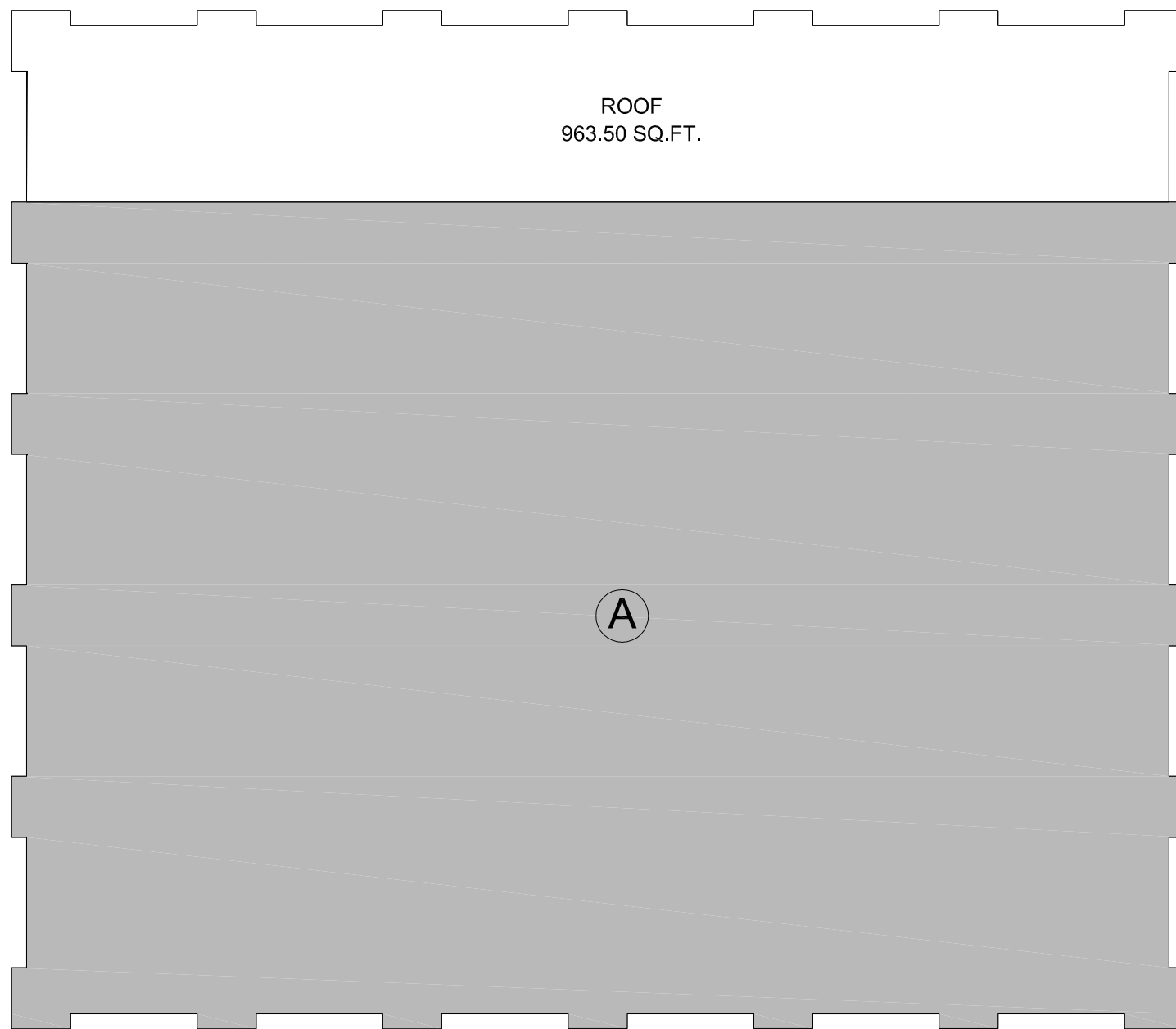


48TH FLOOR GROSS AREA		
LOCATION	TYPE	AREA
A	RESIDENTIAL	4520.34 SQ.FT.
TOTAL		4520.34 SQ.FT.

DEDUCTIONS RESIDENTIAL		
LOCATION	TYPE	AREA
1	M	1.99 SQ.FT.
2	M	2.32 SQ.FT.
3	E	7.95 SQ.FT.
4	M	2.52 SQ.FT.
5	STAIR	39.34 SQ.FT.
6	E	9.84 SQ.FT.
7	M	5.61 SQ.FT.
8	M	4.14 SQ.FT.
9	P	3.32 SQ.FT.
10	M	11.16 SQ.FT.
11	P	25.56 SQ.FT.
12	P	1.05 SQ.FT.
13	M	11.81 SQ.FT.
14	M	6.03 SQ.FT.
15	M	11.38 SQ.FT.

MECHANICAL DEDUCTION OPEN TO BELOW
PLUMBING DEDUCTION STAIR DEDUCTION
ELECTRICAL DEDUCTION

LOCATION	TYPE	AREA
16	P	3.63 SQ.FT.
17	P	7.37 SQ.FT.
18	P	11.25 SQ.FT.
19	P	5.94 SQ.FT.
20	P	5.49 SQ.FT.
21	M	10.18 SQ.FT.
22	M	9.65 SQ.FT.
23	P	2.79 SQ.FT.
24	M	8.06 SQ.FT.
25	M	8.62 SQ.FT.
26	P	1.70 SQ.FT.
TOTAL		218.70 SQ.FT.



49TH FLOOR GROSS AREA		
LOCATION	TYPE	AREA
A	MECHANICAL	4336.66 SQ.FT.
TOTAL		4336.66 SQ.FT.

DEDUCTIONS	
FULL FLOOR	4336.66 SQ.FT.

MECHANICAL DEDUCTION OPEN TO BELOW
PLUMBING DEDUCTION STAIR DEDUCTION
ELECTRICAL DEDUCTION

MECHANICAL DEDUCTION LEVEL 49 PENTHOUSE 03

MECHANICAL DEDUCTION LEVEL 50 MECHANICAL 04

277

Fifth Avenue

NEW YORK, NY

OWNER:
VICTOR NOMAD LLC

CONSTRUCTION MANAGER:
LEND LEASE
200 PARK AVENUE, 9TH FLOOR
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TEL: 212 592 6700

ARCHITECT :
RAFAEL VINOLY ARCHITECTS PC
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NEW YORK, NY 10013
TEL: 212 924 5060 FAX: 212 924 5858

STRUCTURAL ENGINEER:
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NEW YORK, NY 10119
TEL: 212 687 9888

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GEOTECH CIVIL ENGINEER:
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300 KIMBALL DRIVE, 4TH FLOOR
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TEL: 973 560 4900

VERTICAL TRANSPORT, CONSULTANT:
VAN DEUSEN & ASSOCIATES
120 EAGLE ROCK AVENUE, SUITE 310
EAST HANOVER, NJ 07936
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NEW YORK, NY, 10001
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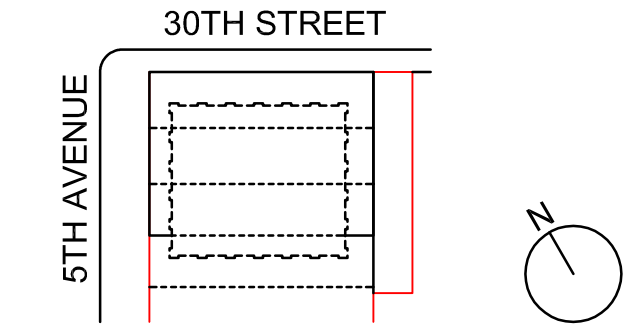
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INTERIOR DESIGN CONSULTANT:
BEERS INTERIORS
156 5TH AVENUE, PENTHOUSE 2
NEW YORK, NY, 10010
TEL: 212 352 2020

NYC DEPT. OF BUILDINGS
PAA #1

ARCHITECT'S SEAL
Areg Asatryan, RA
U. Asatryan
APPROVED
Amended Application
Date: 04/19/2018
NYC Development Hub

09/08/2017 PAA #2
02/24/2017 PAA #1
04/08/2016 DOB SUBMITTAL
01/18/2016 FOUNDATION BID
12/23/2015 SCHEMATIC DESIGN
ISSUE NO. DATE DESCRIPTION



KEY PLAN AND NORTH SIGN
IF THIS DRAWING IS NOT 42" X 30" IT IS
A REDUCED PRINT;
REFER TO GRAPHIC SCALE

SCALE 3/32" = 1'-0"

MECHANICAL DEDUCTIONS LEVEL 47 TO 50

SHEET TITLE :

Z-009.02

SHEET NUMBER :

2016 RAFAEL VINOLY ARCHITECTS

B

C

D

E

1

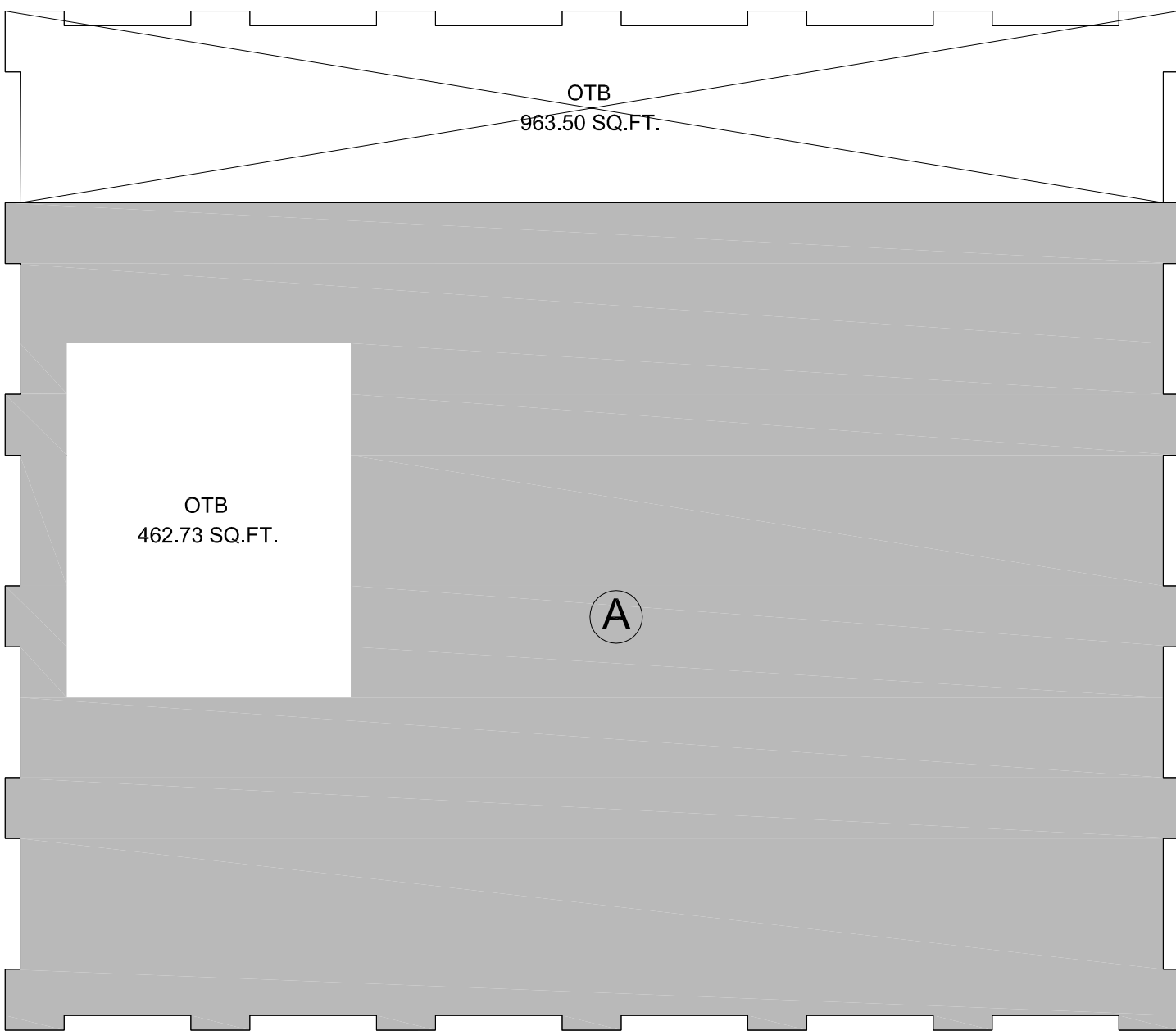
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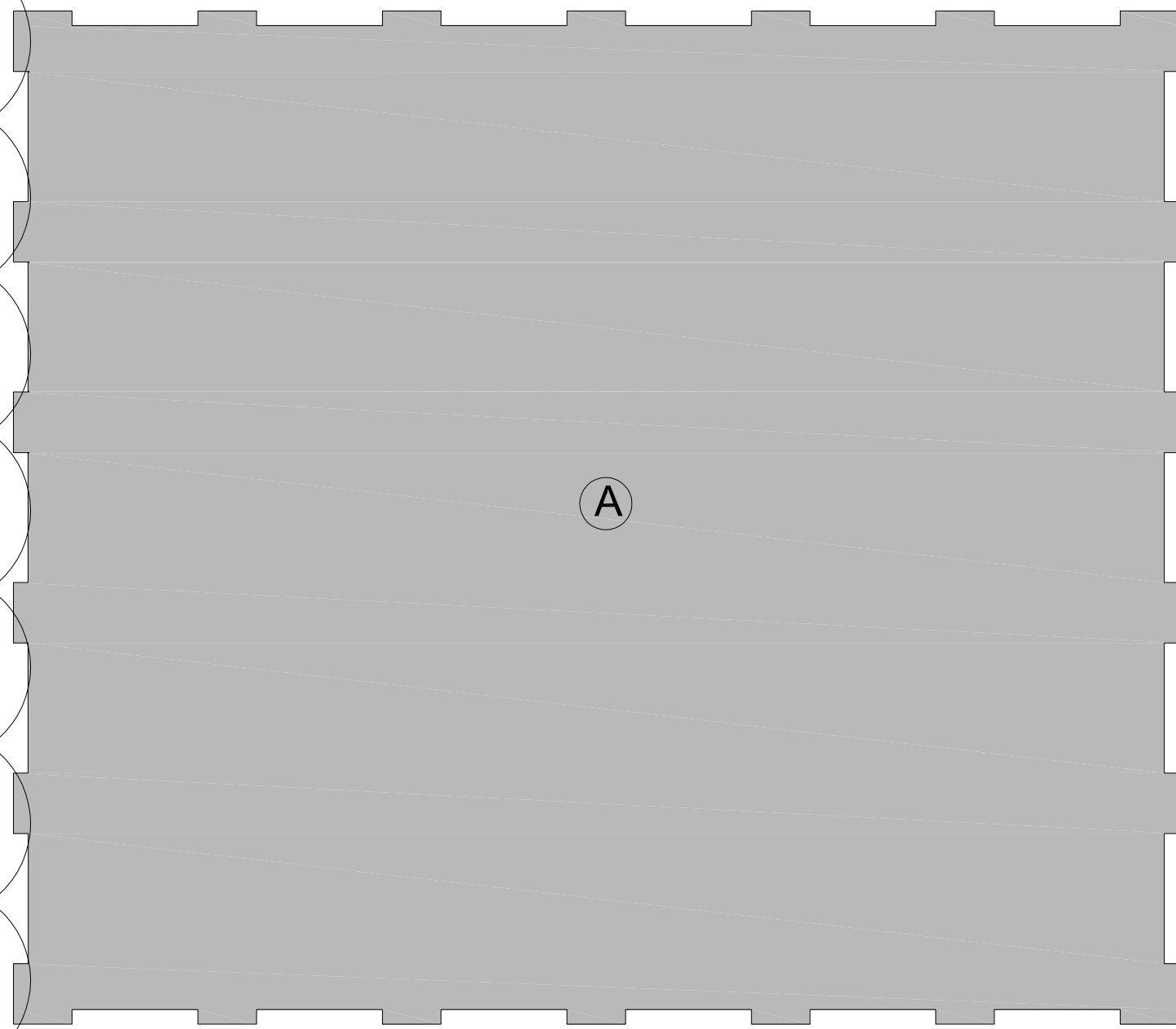
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50TH FLOOR GROSS AREA		
LOCATION	TYPE	AREA
A	MECHANICAL	3873.93 SQ.FT.
	TOTAL	3873.93 SQ.FT.

DEDUCTIONS	
FULL FLOOR	3873.93 SQ.FT.

- MECHANICAL DEDUCTION
- OPEN TO BELOW
- PLUMBING DEDUCTION
- STAIR DEDUCTION
- ELECTRICAL DEDUCTION



EMR/SLOSH TANK GROSS AREA		
LOCATION	TYPE	AREA
A	MECHANICAL	5300.16 SQ.FT.
	TOTAL	5300.16 SQ.FT.

DEDUCTIONS	
FULL FLOOR	5300.16 SQ.FT.

- MECHANICAL DEDUCTION
- OPEN TO BELOW
- PLUMBING DEDUCTION
- STAIR DEDUCTION
- ELECTRICAL DEDUCTION

MECHANICAL DEDUCTION LEVEL 51 MECHANICAL 01

MECHANICAL DEDUCTION LEVEL 52 EMR/SLOSH TANK 02

277
Fifth Avenue
NEW YORK, NY

OWNER:
VICTOR NOMAD LLC

CONSTRUCTION MANAGER:
LEND LEASE
200 PARK AVENUE, 9TH FLOOR
NEW YORK, NY 10166
TEL: 212 592 6700

ARCHITECT :
RAFAEL VINOLY ARCHITECTS PC
50 VANDAM STREET
NEW YORK, NY 10013
TEL: 212 924 5060 FAX: 212 924 5858

STRUCTURAL ENGINEER:
WSP PARSONS BRINCKERHOFF
ONE PENN PLAZA, 4TH FLOOR
NEW YORK, NY 10119
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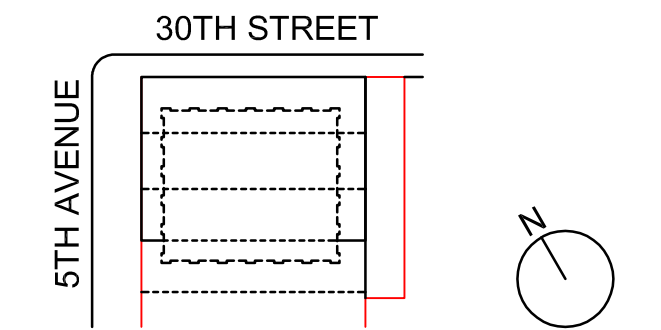
INTERIOR DESIGN CONSULTANT:
BEERS INTERIORS
156 5TH AVENUE, PENTHOUSE 2
NEW YORK, NY, 10010
TEL: 212 352 2020

NYC DEPT. OF BUILDINGS
PAA #1

ARCHITECT'S SEAL

Areg Asatryan, RA
U. Asatryan
APPROVED
Amended Application
Date: 04/19/2018
NYC Development Hub

09/08/2017	PAA #2
02/24/2017	PAA #1
04/08/2016	DOB SUBMITTAL
01/18/2016	FOUNDATION BID
12/23/2015	SCHEMATIC DESIGN
ISSUE NO.	ISSUE DATE DESCRIPTION



KEY PLAN AND NORTH SIGN
IF THIS DRAWING IS NOT 42" X 30" IT IS
A REDUCED PRINT;
REFER TO GRAPHIC SCALE

0 16 32

SCALE 3/32" = 1'-0"

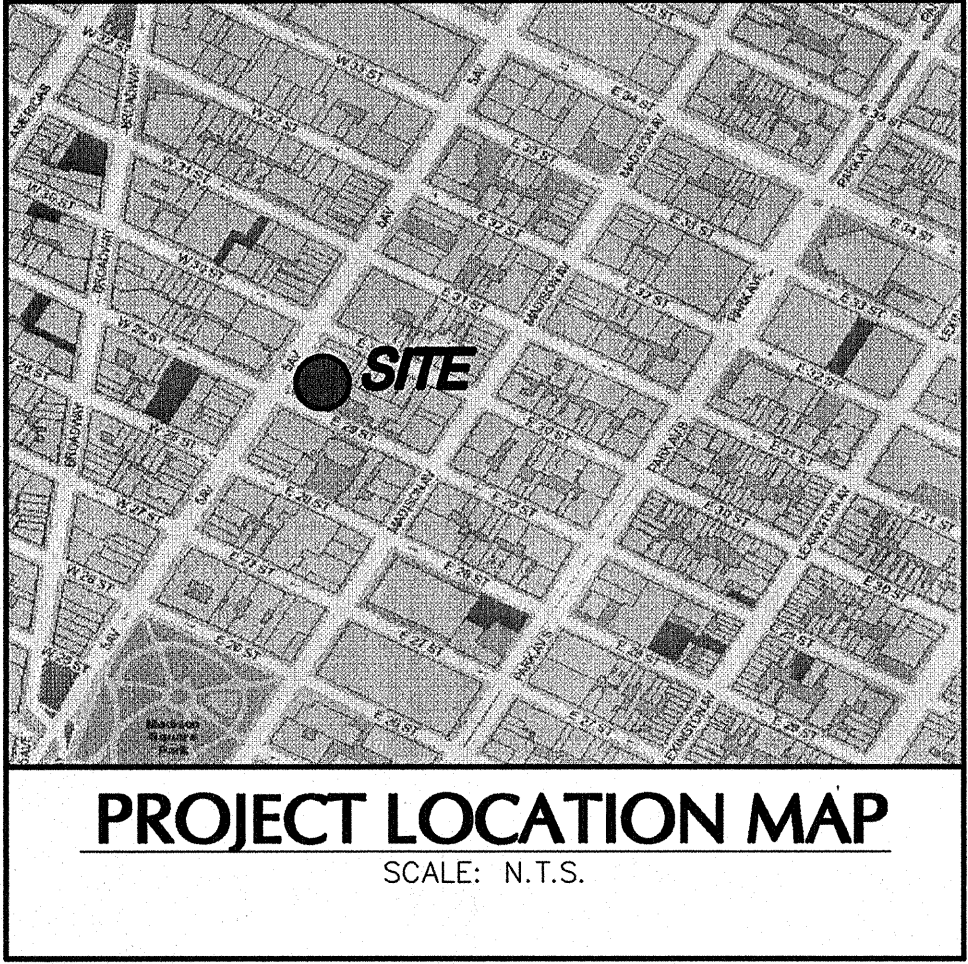
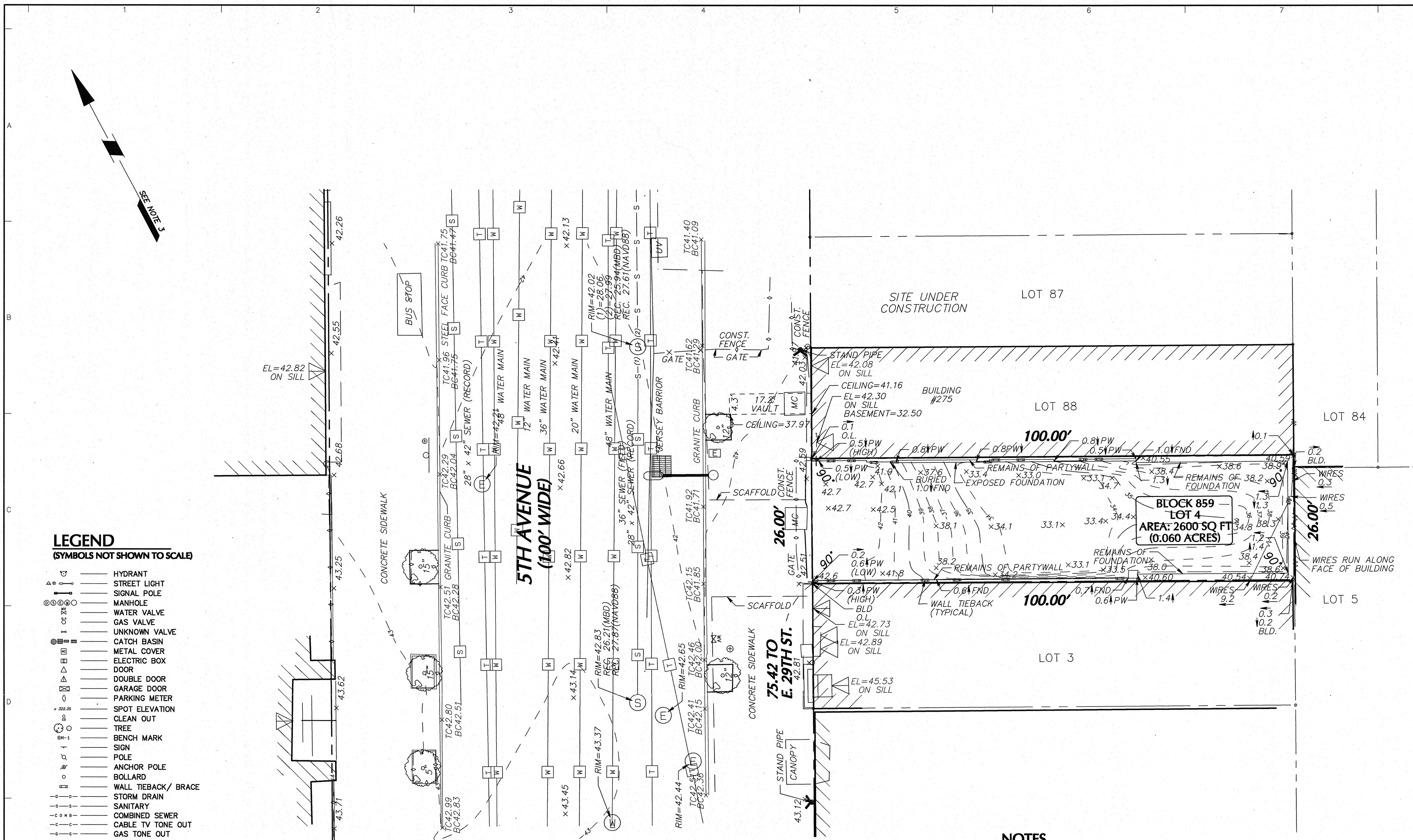
MECHANICAL
DEDUCTIONS
LEVEL 51 TO 52

SHEET TITLE :

Z-010.02

SHEET NUMBER :

2016 RAFAEL VINOLY ARCHITECTS



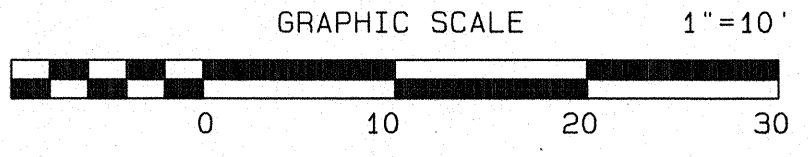
DATUM CONVERSION CHART

0.00' MANHATTAN BOROUGH DATUM	2.752'	1.668'
0.00' NAVD 88		
0.00' NGVD 29		

NOTES

- THIS SURVEY IS BASED UPON EXISTING PHYSICAL CONDITIONS FOUND AT THE SUBJECT SITE, AND THE FOLLOWING REFERENCES:
 - CURRENT TAX MAP
 - BOROUGH OF MANHATTAN FINAL SECTION MAP 42
 - DEED OF RECORD 201400000229 RECORDED 10-26-2014
 - SURVEY NO. 10-10 PROJECT 100464201 OF BLOCK 859 LOTS 85, 88 & 87 PREPARED BY LANGAN DATED 03-04-2015, REVISED 05-07-2015
- THE SURVEYED PROPERTY IS SUBJECT BUT NOT LIMITED TO THE FOLLOWING FACTS AS REVEALED BY THE HEREIN REFERENCED INFORMATION. THE INFORMATION SHOWN HEREON DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. ALL INFORMATION THAT MAY AFFECT THE QUALITY OF TITLE TO BOTH THE SUBJECT AND ADJACENT PARCELS SHOULD BE VERIFIED BY AN ACCURATE AND CURRENT TITLE REPORT.
- ADJACENT PROVIDED
- THE MERIDIAN OF THIS SURVEY IS REFERENCED TO APPROXIMATE NORTH (SEE NOTE 18).
- ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) BASED UPON MANHATTAN BOROUGH BENCHMARKS #868 & #74 CONVERTED USING METHODS CITED IN THE ADMINISTRATIVE CODE OF NYC SECTION 28-104.7 & LOCAL LAW 98 OF 2013 TABLE 104.7.3 AND VERTICAL PROGRAM AS PROVIDED BY THE NATIONAL GEODETIC SURVEY.
- USING THIS METHOD 0.00' NAVD88 IS EQUAL TO -1.668' MANHATTAN BOROUGH DATUM (SEE DATUM CHART)
- STREET NAMES AND R.O.W. WIDTHS, BLOCK AND LOT NUMBERS AS PER MAPS REFERENCED IN NOTE 1A AND 1B.
- PLANNING INFORMATION SHOWN HEREON HAS BEEN OBTAINED FROM GROUND SURVEYS BY LANGAN ENGINEERING, ENVIRONMENTAL SURVEYING AND LANDSCAPE ARCHITECTURE, D.P.C. DURING JANUARY 2016.
- OFFSETS (IF SHOWN) ARE FOR SURVEY REFERENCES ONLY AND ARE NOT TO BE USED IN CONSTRUCTION OF ANY TYPE.
- WELLHEADS, ENVIRONMENTAL AND/OR HAZARDOUS MATERIALS LOCATION, IF ANY, NOT COVERED UNDER THIS CONTRACT.
- UNLESS SPECIFICALLY NOTED HEREON, STORM AND SANITARY SEWER INFORMATION (INCLUDING PIPE INVERT, PIPE MATERIAL, AND PIPE SIZE) WAS OBSERVED AND MEASURED AT FIELD LOCATED STRUCTURES (MANHOLE/CATCH BASINS, ETC.). CONDITIONS CAN VARY FROM THOSE ENCOUNTERED AT THE TIMES WHEN AND LOCATIONS WHERE DATA WAS OBTAINED. DESPITE MEETING THE REQUIRED STANDARD OF CARE, THE SURVEYOR CANNOT AND DOES NOT WARRANT THAT PIPE MATERIAL AND/OR PIPE SIZE THROUGHOUT THE PIPE RUN ARE THE SAME AS THOSE OBSERVED AT EACH STRUCTURE, OR THAT THE PIPE RUN IS STRAIGHT BETWEEN THE LOCATED STRUCTURES.
- ADDITIONAL UTILITY (WATER, GAS, ELECTRIC ETC.) DATA MAY BE SHOWN FROM FIELD LOCATED SURFACE MARKINGS (BY OTHERS), EXISTING STRUCTURES, AND/OR FROM EXISTING DRAWINGS.
- UNLESS SPECIFICALLY NOTED HEREON THE SURVEYOR HAS NOT EXCAVATED TO PHYSICALLY LOCATE THE UNDERGROUND UTILITIES. THE SURVEYOR MAKES NO GUARANTEE THAT THE SHOWN UNDERGROUND UTILITIES ARE EITHER IN SERVICE, ABANDONED OR SUITABLE FOR USE. NOR ARE IN THE EXACT LOCATION OR CONFIGURATION INDICATED HEREON.
- PRIOR TO ANY DESIGN OR CONSTRUCTION THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
- UNLESS NOTED BELOW SUPPLEMENTAL DOCUMENTS WERE NOT USED TO COMPLETE THE SUBSURFACE UTILITY INFORMATION SHOWN HEREON
- WATER AND SEWER PLAN PROVIDED BY NYC DEP
- TELEPHONE INFORMATION PROVIDED BY EDS AND AT&T
- INFORMATION PROVIDED BY AT&T WAS NOT PLOTTABLE DUE TO NOT TO SCALE AND/OR SCHEMATIC PLANS BEING PROVIDED.
- THIS IS TO CERTIFY THAT THERE ARE NO STREAMS NOR NATURAL WATERCOURSES ON THE PROPERTY AS SHOWN ON THIS SURVEY.
- UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 2209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.
- WELLHEADS, ENVIRONMENTAL AND/OR HAZARDOUS MATERIALS LOCATION, IF ANY, NOT COVERED UNDER THIS CONTRACT.

THE FOLLOWING REQUESTS FOR UTILITY INFORMATION HAVE BEEN MADE.	
UTILITY	RECEIVED
WATER	01-19-2018
SEWER	01-19-2018
GAS	N/A
ELECTRIC	N/A
STEAM	N/A
COMM./OTHER	01-17-2018



Date	Description	No.
REVISIONS		
1. I hereby state that this plan is based on a field survey made by me or under my immediate supervision in accordance with the NYS Code of Practice for Professional Engineers and Surveyors, and to the best of my professional knowledge, belief, and in my professional opinion, the conditions shown on this plan are true and correct.		
SIGNATURE	DATE SIGNED	
PAUL J. LANGAN	03/04/2015	
PROFESSIONAL LAND SURVEYOR NY LIC. NO. 050784-1		
LANGAN 21 Penn Plaza, 300 West 31st Street, 8th Floor, New York, NY 10001 T: 212-470-8800 F: 212-470-8844 www.langan.com NEW JERSEY NEW YORK VIRGINIA CALIFORNIA PENNSYLVANIA CONNECTICUT FLORIDA ARIZONA ARKANSAS IOWA DUBAI ISTANBUL Langan Engineering and Environmental Services, D.P.C. Langan International LLC Globally known as Langan		
Project 273 5TH AVENUE BLOCK NO. 859, LOT NO. 4 MANHATTAN CITY OF NEW YORK NEW YORK COUNTY NEW YORK		
Drawing Title TOPOGRAPHIC BOUNDARY & UTILITY SURVEY		
Project No. 100464201	Drawing No. VT-102	
Date 1-26-2018		
Scale 1"=10'		
Drawn By JM		
Checked By PDF	Sheet 01 of 01	

277

Fifth Avenue

NEW YORK, NY

OWNER:
VICTOR NOMAD LLC

CONSTRUCTION MANAGER:
LEND LEASE
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ARCHITECT:
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NYC DEPT. OF BUILDINGS
PAA #2

ARCHITECT'S SEAL
Areg Asatryan, R.A.
U. Asatryan
APPROVED
Langan Engineering and Environmental Services, D.P.C.
AMENDED APPLICATION
Date: 04/19/2018
NYC Development Hub

09/08/2017 PAA #2
04/08/2016 DOB SUBMITTAL
01/18/2016 FOUNDATION BID
12/23/2015 SCHEMATIC DESIGN
ISSUE ISSUE DESCRIPTION
NO. DATE

30TH STREET
5TH AVENUE
KEY PLAN AND NORTH SIGN
IF THIS DRAWING IS NOT 42" X 30" IT IS
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REFER TO GRAPHIC SCALE

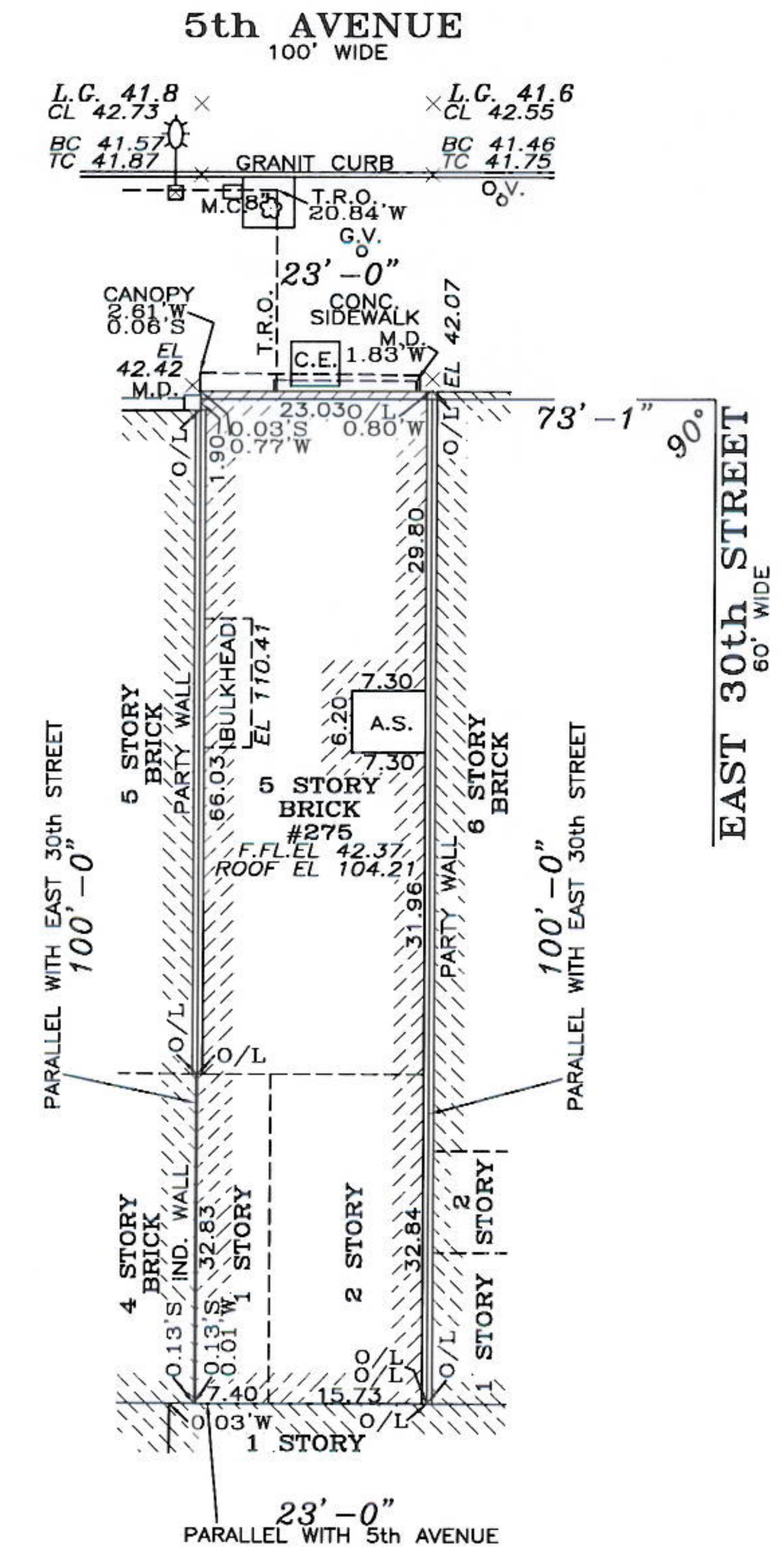
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SURVEYS

SHEET TITLE:
Z-012.01

SHEET NUMBER:

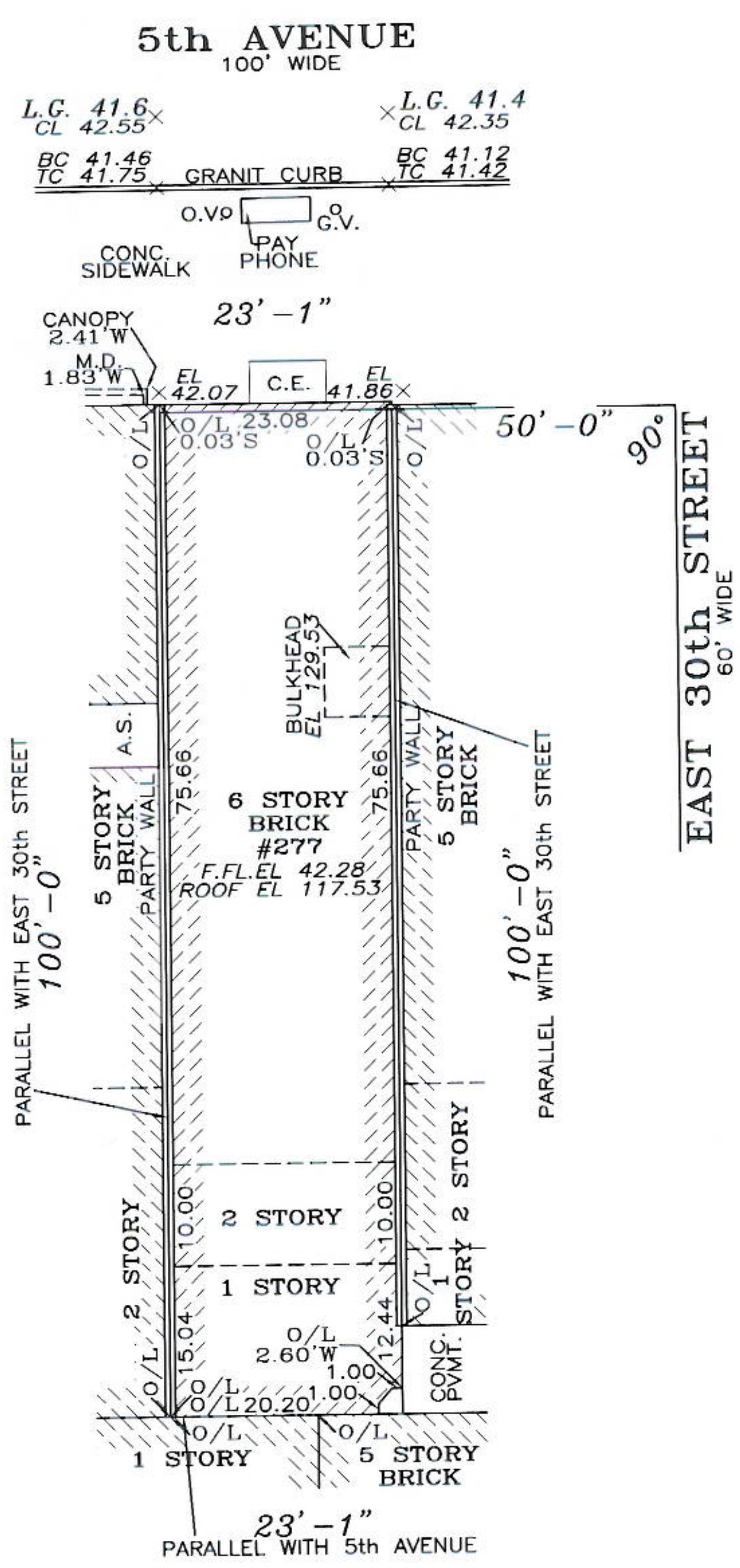
2016 RAFAEL VINOLY ARCHITECTS



PRECISION SURVEYS
TITLE: ARCHITECTURAL-BOUNDARY-CONSTRUCTION
40 FRANKLIN AVE. FRANKLIN SQUARE, N.Y. 11010
PH: (718) 472-1571 • (516) 488-1608
CHRISTOPHER M. BUCKLEY
PROFESSIONAL LAND SURVEYOR

SURVEY OF: Described Property
LOCATED AT: 275 5th Avenue
Borough of Manhattan
City, County and State of New York
TAX DESIG: Block 859, Lot 88

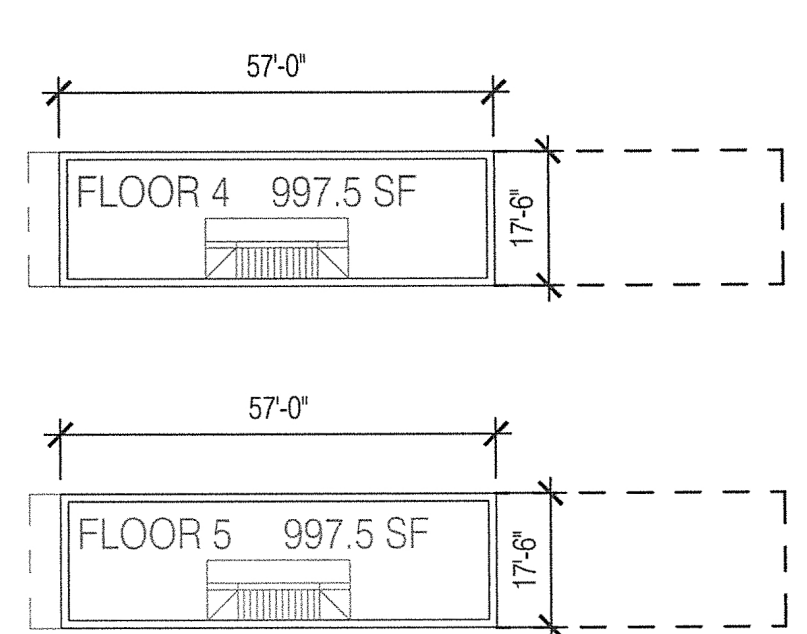
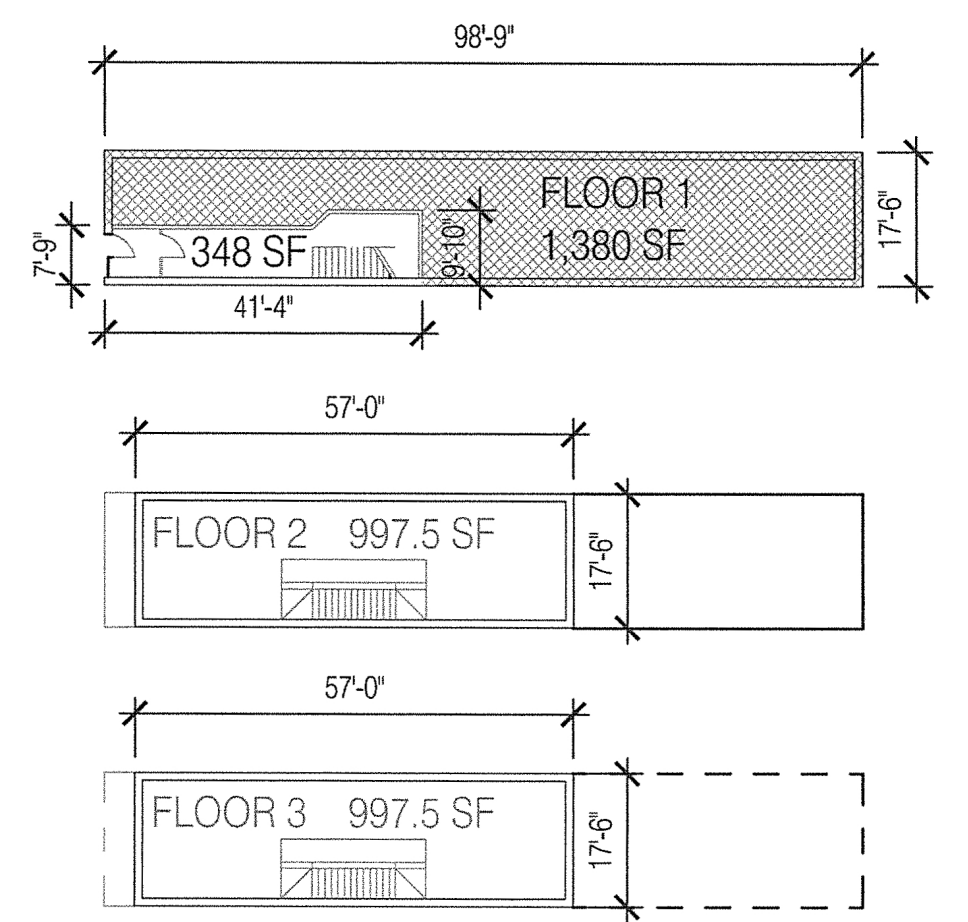
CERTIFIED TO: Victor Nomad LLC
DATE: November 20, 2014
SCALE: 1"=20'



PRECISION SURVEY
TITLE: ARCHITECTURAL-BOUNDARY-CONSTRUCTION
40 FRANKLIN AVE. FRANKLIN SQUARE, N.Y. 11010
PH: (718) 472-1571 • (516) 488-1608
CHRISTOPHER M. BUCKLEY
PROFESSIONAL LAND SURVEYOR

SURVEY OF: Described Property
LOCATED AT: 277 5th Avenue
Borough of Manhattan
City, County and State of New York
TAX DESIG: Block 859, Lot 87

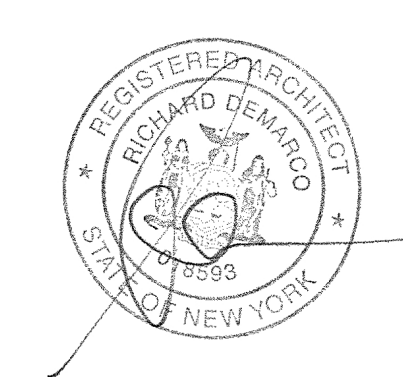
CERTIFIED TO: Victor Nomad LLC
DATE: November 20, 2014
SCALE: 1"=20'



2 EAST 30TH STREET
BLOCK: 859
LOT 84
YEAR BUILT: 1925
5 FLOORS
G.F.A.: 5,718 SF

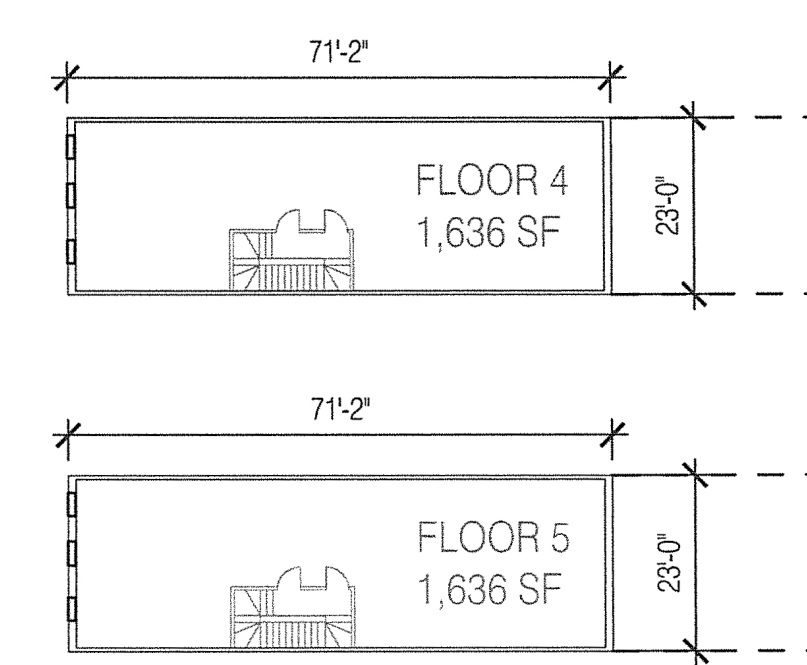
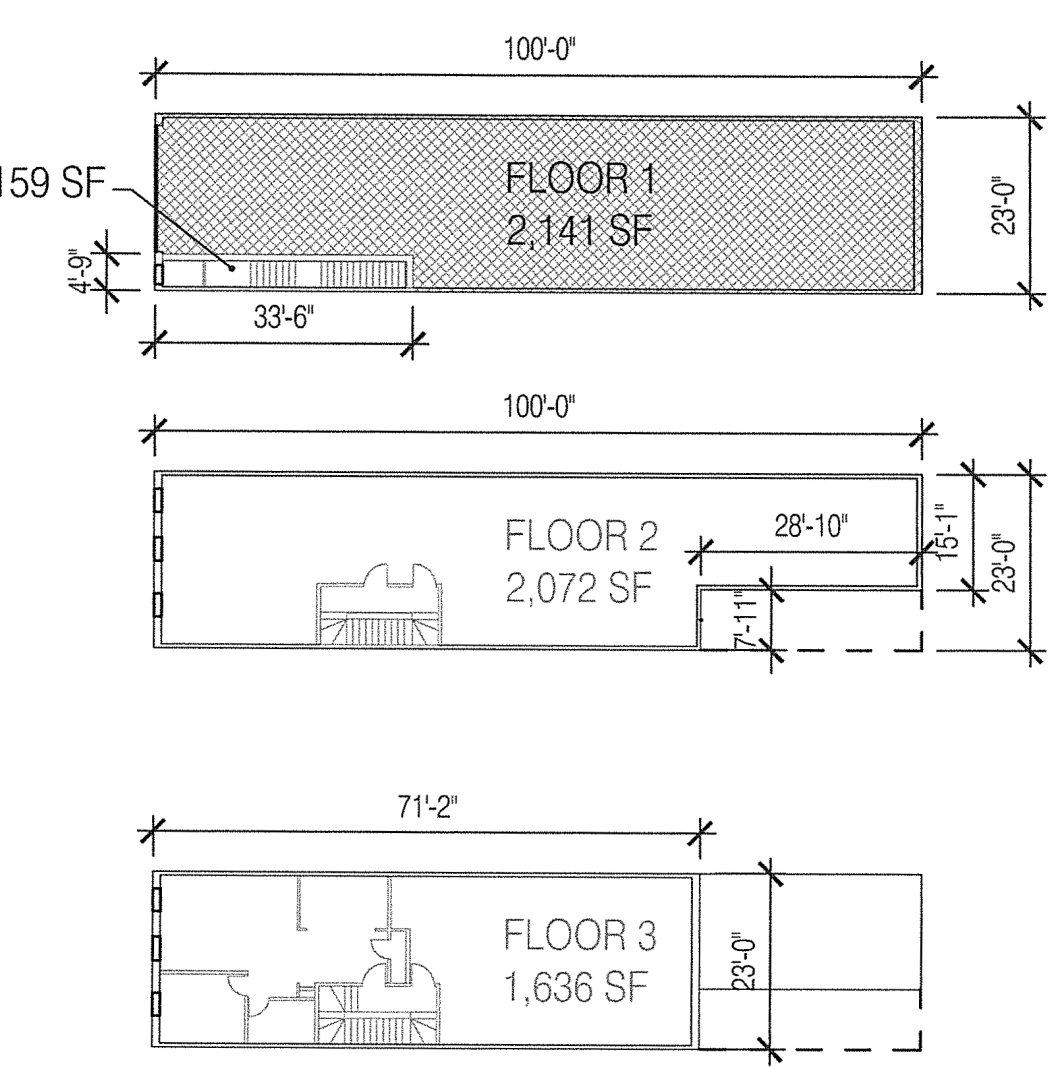
EXISTING FLOOR AREA:
RESIDENTIAL 4,338 SQFT
COMMERCIAL 1,380 SQFT
TOTAL 5,718 SQFT

FLOOR AREA TYPES:
RESIDENTIAL
COMMERCIAL



FIFTH AVENUE ZONING STUDY
EXISTING FLOOR AREA
APRIL 13, 2015

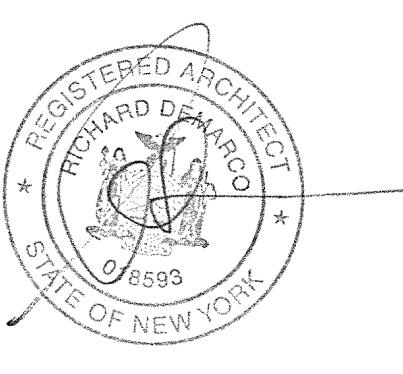
EXISTING FLOOR AREA - LOT 84 - 2 EAST 30TH STREET
NTS 03



275 5TH AVE.
BLOCK: 859
LOT 88
YEAR BUILT: 1925
5 FLOORS
G.F.A.: 9,280 SF

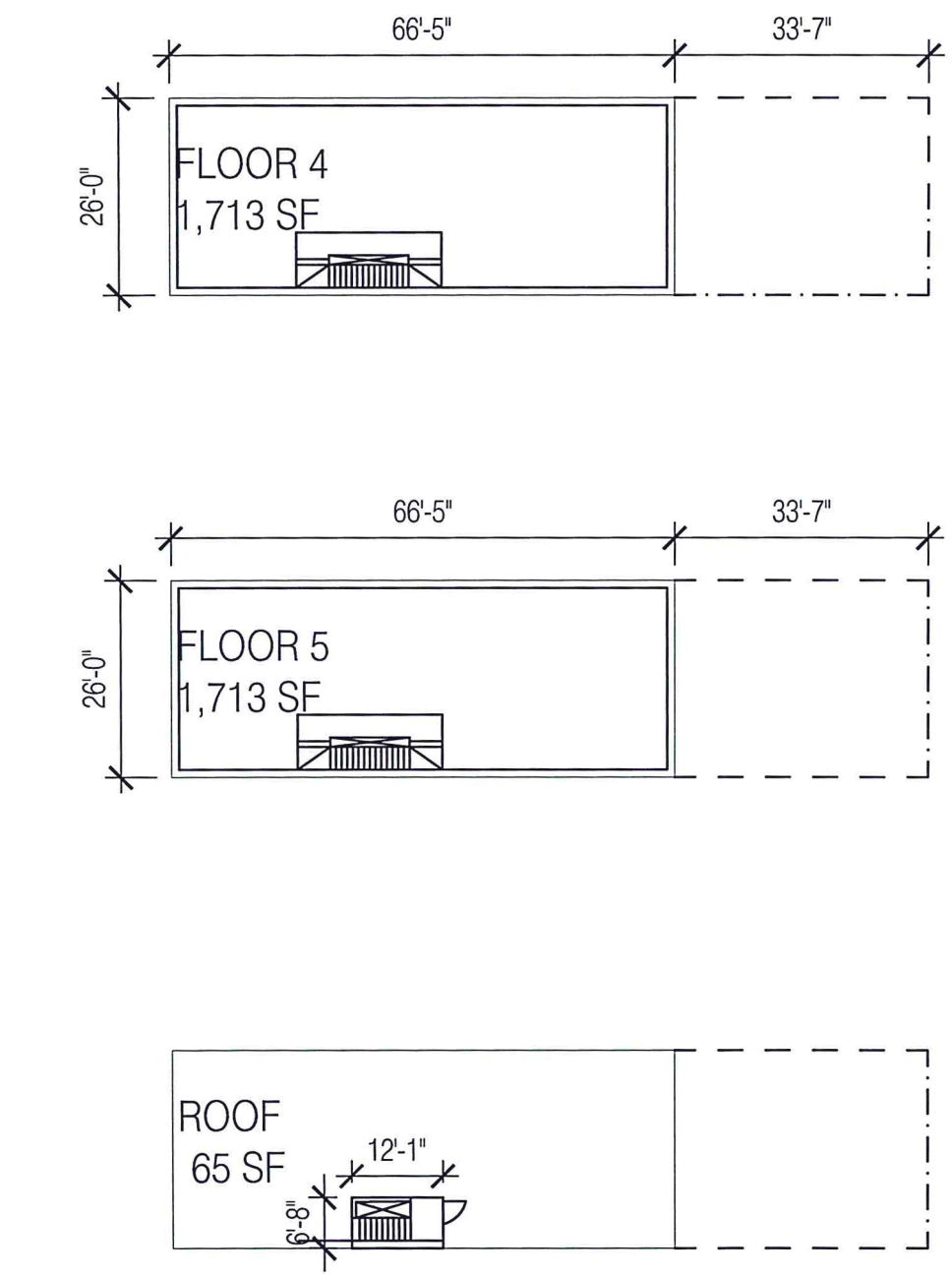
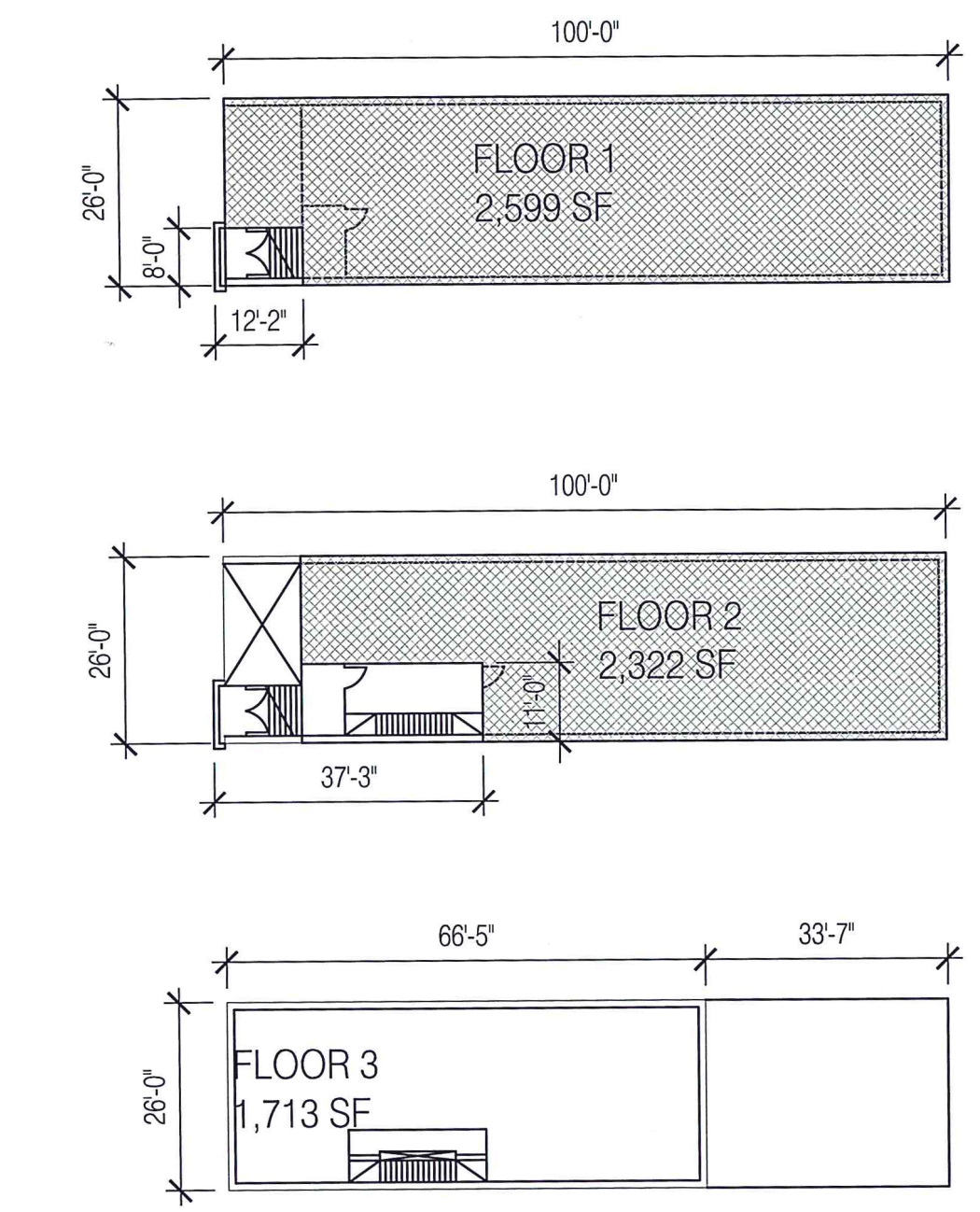
EXISTING FLOOR AREA:
RESIDENTIAL 7,138 SQFT
COMMERCIAL 2,142 SQFT
TOTAL 9,280 SQFT

FLOOR AREA TYPES:
RESIDENTIAL
COMMERCIAL



FIFTH AVENUE ZONING STUDY
EXISTING FLOOR AREA
APRIL 13, 2015

EXISTING FLOOR AREA - LOT 88 - 275 FIFTH AVENUE
NTS 04



271 5TH AVE.
BLOCK: 859
LOT 3
YEAR BUILT: 1925
5 FLOORS
G.F.A.: 10,125 SF

EXISTING FLOOR AREA:
RESIDENTIAL 5,564 SQFT
COMMERCIAL 4,561 SQFT
TOTAL 10,125 SQFT

FLOOR AREA TYPES:
RESIDENTIAL
COMMERCIAL



FIFTH AVENUE ZONING STUDY
EXISTING FLOOR AREA
MAY 05, 2015

EXISTING FLOOR AREA - LOT 03 - 271 FIFTH AVENUE
NTS 05

277
Fifth Avenue
NEW YORK, NY

OWNER:
VICTOR NOMAD LLC

CONSTRUCTION MANAGER:
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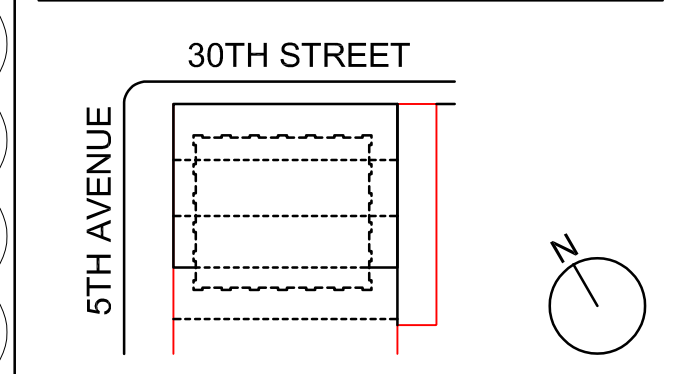
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NYC DEPT. OF BUILDINGS
PAA #2

ARCHITECT'S SEAL
Areg Asatryan, RA
U. Asatryan
APPROVED
Under the provisions of the
AMENDED APPLICATION
Date: 04/19/2018
NYC Development Hub

NO.	DATE	DESCRIPTION
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01/18/2016	FOUNDATION BID	
12/23/2015	SCHEMATIC DESIGN	



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REFER TO GRAPHIC SCALE

SCALE NTS

EXISTING FLOOR
AREA
SURVEYS

SHEET TITLE:

Z-013.01
SHEET NUMBER:

OWNER:
VICTOR NOMAD LLC

CONSTRUCTION MANAGER:
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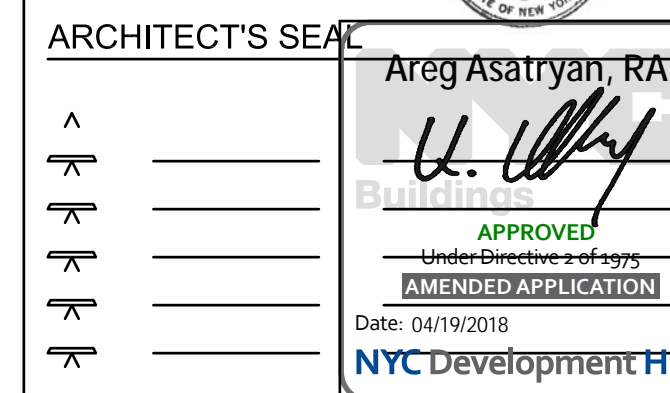
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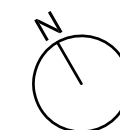
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TEL: 212 564 5800

INTERIOR DESIGN CONSULTANT:
BEERS INTERIORS
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NYC DEPT. OF BUILDINGS
PAA #2

ISSUE NO.	ISSUE DATE	DESCRIPTION
	09/08/2017	PAA #2
	02/24/2017	PAA #1
	04/08/2016	DOB SUBMITTAL
	01/18/2016	FOUNDATION BID
	12/23/2015	SCHEMATIC DESIGN



KEY PLAN AND NORTH SIGN
IF THIS DRAWING IS NOT 42" X 30" IT IS
A REDUCED PRINT;
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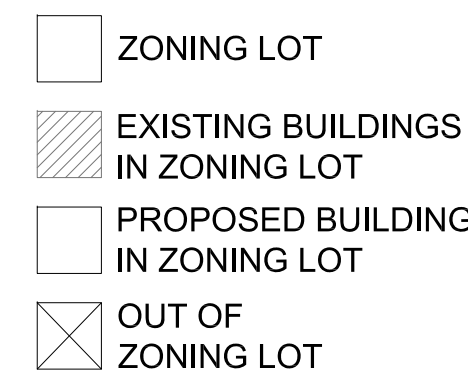
SCALE AS NOTED

PERMITTED
OBSTRUCTIONS

SHEET TITLE :

Z-016.02

SHEET NUMBER :



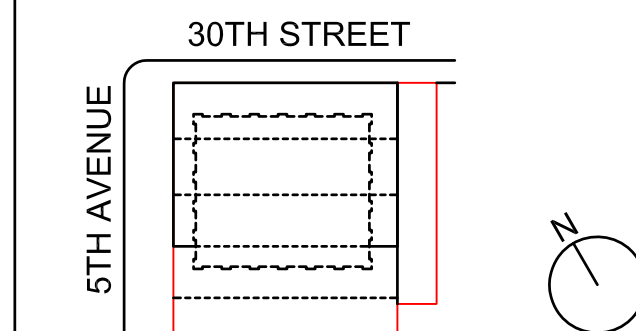
MAXIMUM ALLOWABLE COLUMN WIDTH PER ZR 33-42

30TH STREET
ALLOWABLE (155'-0" X .20) = 31'-0"
PROPOSED = 28'-0" (COMPLIES)

5TH AVENUE
ALLOWABLE (140'-1" X .20) = 20'-7"
PROPOSED = 26'2 1/4" (COMPLIES)

COLUMNS EXTEND 1'-0" BEYOND SETBACK DISTANCE.
PERMITTED OBSTRUCTION PER ZR 33-42 (COMPLIES)

PERMITTED OBSTRUCTIONS	0.
SCALE 3/64" = 1'-0"	



1 2 3 4 5 6

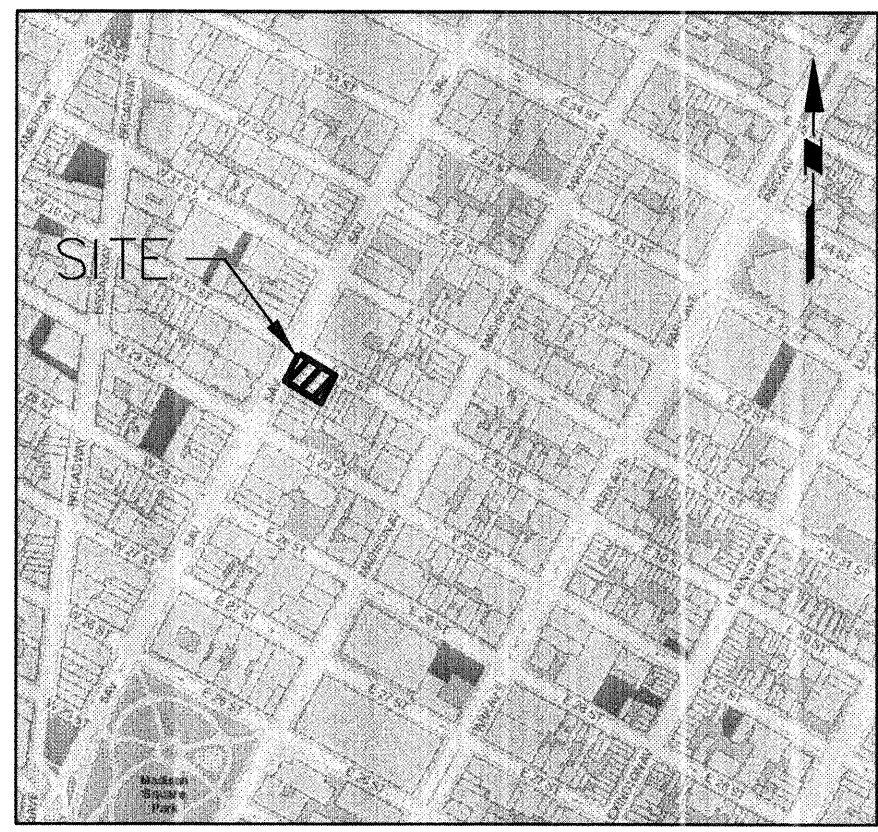
B

C

D

E

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AREA MAP
NOT TO SCALE

BUILDERS PAVEMENT PLAN FOR: 277 FIFTH AVENUE MANHATTAN, NEW YORK 10016

277 FIFTH AVENUE
MANHATTAN, NEW YORK
NYCDOB NB# 121 193 136
BLOCK 859 LOT 85, 86, & 87

INSPECTION/FINAL SIGN-OFF

- THE CONTRACTOR IS RESPONSIBLE TO PROCURE OR PROVIDE ALL ITEMS NECESSARY FOR FINAL NYCDOB/NYC DOT SIGN-OFF, INCLUDING BUT NOT LIMITED TO:
 - NYC DOT INSPECTION AND SIGN-OFF
 - FINAL AS-BUILT SURVEY SIGNED AND SEALED BY A NYS PLS
 - FULL-TIME CONTROLLED INSPECTION AND CONCRETE CORE TESTS SIGNED AND SEALED BY A NYS P.E. OR R.A., ACCOMPANIED BY BPP-11 (ENGINEER'S INSPECTION AFFIDAVIT)

GENERAL NOTES

- BACKGROUND SHOWN PROVIDED BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES PER PLAN ENTITLED "TOPOGRAPHIC BOUNDARY & UTILITY SURVEY," DATED 03/04/2015.
- ARCHITECTURAL PLAN PROVIDED BY RAFAEL VIÑOLY ARCHITECTS PC ENTITLED "281 FIFTH AVENUE," PROVIDED ON 01/23/2017.
- ELEVATIONS SHOWN REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88) WHICH IS 1.1 FEET ABOVE MEAN SEA LEVEL AT SANDY HOOK, NEW JERSEY, AS ESTABLISHED BY THE U.S. COAST AND GEODETIC SURVEY.
- THE CONTRACTOR IS RESPONSIBLE FOR CREATING ALL REQUIRED SITE LOGISTICS PLANS, AND FOR COORDINATING SAID PLANS AND ALL REQUIRED PERMITS WITH THE NEW YORK CITY OFFICE OF CONSTRUCTION MITIGATION AND COORDINATION (OCMC).
- SIDEWALK REPLACEMENT TO CONSIST OF REMOVING EXISTING CONCRETE SIDEWALK AND CONSTRUCTING NEW 7-INCH THICK NYC DOT STANDARD CONCRETE SIDEWALK (H-1045 TYPE II) IN THE CORNER QUADRANT AND NEW 4-INCH THICK NYC DOT STANDARD CONCRETE SIDEWALK (H-1045 TYPE I) WHERE INDICATED ON THE PLANS.
- TRANSVERSE EXPANSION JOINTS 1/4 INCH WIDE SHALL BE PROVIDED AT INTERVALS OF MAXIMUM 20 FEET AND FILLED WITH PREFORMED BITUMINOUS CELLULAR TYPE JOINT FILLER. SCORE LINES SHALL BE EVERY 5 FEET ON CENTER.
- EXPANSION JOINT WITH JOINT FILLER TO BE PROVIDED AT INTERFACE OF NEW SIDEWALK AND ALL PROPOSED AND EXISTING SIDEWALK FEATURES (BUILDINGS, VAULT GRATES, MANHOLES, NYCT STRUCTURES, ETC.) EXCEPT TRAFFIC SIGNS.
- CONTRACTOR TO OBTAIN NECESSARY DOT WORK PERMITS AND PERFORM ALL WORK IN ACCORDANCE WITH DOT REQUIREMENTS AND STANDARDS.
- PROTECT AND MAINTAIN ALL EXISTING STREET TREES, CURBS, HYDRANTS, LIGHT POLES, MUNI-METERS, SIGNAGE, GRATINGS, AND OTHER ABOVE-GRADE APPURTENANCES UNLESS OTHERWISE INDICATED ON THE PLANS. CONTRACTOR TO RESET ALL SURFACE FEATURES TO MATCH PROPOSED GRADES AT THEIR CURRENT LOCATIONS AS NECESSARY. CONTRACTOR TO COORDINATE THIS WORK WITH THE APPROPRIATE UTILITY OWNER(S), AS REQUIRED.
- ALL PROPOSED MATERIALS AND FINISHES WILL BE NYC DOT STANDARD. NO VARIATIONS FROM DOT STANDARDS IN PAVING PATTERN, MATERIAL, FINISHES ARE PROPOSED.
- IN ORDER TO COMPLY WITH ADA REQUIREMENTS, THE CONTRACTOR IS REQUIRED TO BREAK THE TRANSVERSE GRADE OF SIDEWALKS SUCH THAT THERE SHALL BE A MINIMUM OF FIVE (5) FEET WIDTH OF SIDEWALK WITH A TRANSVERSE SLOPE NOT EXCEEDING 2% AND THE REMAINING SIDEWALK SLOPE NOT EXCEEDING 5%, WHERE POSSIBLE.

SUMMARY OF WORK

- PROTECT AND MAINTAIN EXISTING UTILITIES UNLESS SPECIFIED TO BE REMOVED.
- REMOVE AND REPLACE EXISTING SIDEWALK.
- REMOVE AND REPLACE EXISTING CURB WITH NEW GRANITE CURB IN ACCORDANCE WITH STANDARD NYC DOT SPECIFICATIONS.

LIST OF STANDARD NYC DOT DRAWINGS

H-1042C	STANDARD TRENCH OR HOLE RESTORATION (IF NEEDED)
H-1056	GRANITE CURB
H-1010	STEEL FACED CURB (STEEL FACING TYPE D) (IF NEEDED)
H-1045	CONCRETE SIDEWALK (TYPE I & II)

NOTE: THE LATEST REVISIONS OF THE APPLICABLE REFERENCED STANDARDS THAT HAVE BEEN AUTHORIZED UP TO THE START OF ADVERTISING SHALL BE CONSIDERED AS PART OF THESE DOCUMENTS.

NYC DOT SPECIFICATIONS

4.02	ASPHALTIC CONCRETE WEARING COURSE
4.07	CURB, BLUESTONE AND GRANITE
4.09	CURB, CONCRETE, STEEL (IF NEEDED)
4.13	SIDEWALK, CONCRETE

STREET TREE SUMMARY

TOTAL TREE COUNT REQUIRED BY ZONING/NYC DOB:	10
EXISTING TREES TO REMAIN/PROTECT:	0
EXISTING TREES TO REMOVE WITH NYC PARKS DOCUMENTATION:	0
EXISTING TREES TO RELOCATE WITH NYC PARKS DOCUMENTATION:	0
PROPOSED TREES TO PLANT:	0
TREES TO PAY INTO TREE FUND OR PROVIDE OFFSITE:	10

Warning: It is a violation of the NYS Education Law Article 145 for any person, unless he is acting under the direction of a licensed Professional Engineer, to alter this item in any way.

LANGAN

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Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C.
Langan Engineering and Environmental Services, Inc.
Langan CT, Inc.
Langan International LLC
Collectively known as Langan
NJ CERTIFICATE OF AUTHORIZATION No. 24GA27886400

Project

277 FIFTH AVENUE
BLOCK NO. 859, LOT NO. 85, 86 & 87
MANHATTAN

NEW YORK

Drawing Title

BUILDERS PAVEMENT
PLAN

NEW YORK

DATE: 05/05/2015
PROJECT No.: 100464201
DRAWING BY: RAC
CHK BY: BMW
DWG No.: BPP-001.02
SHEET No.: 1 of 4

BRYAN WAINOR
PROFESSIONAL ENGINEER NY Lic. No. 080661-1

Borough: MANHATTAN
Sheet 1 of 4
DOB App. No.: 140 355 504
BIN #: 1016947

NEW YORK CITY
DEPARTMENT OF TRANSPORTATION
BUILDERS PAVEMENT PLAN
PROJECT DATA
ZONING BLOCK 859 LOT 85, 86 & 87
C5-2 ZONING MAP NO. 8D
ADDRESS 277 FIFTH AVENUE, MANHATTAN, NY, 10016
OWNER VICTOR NOMAD LLC C/O VICTOR HOMES
3349 HIGHWAY 138, BLDG C, SUITE C, WALL, NJ 07753

PLANS PREPARED BY
BRYAN WAINOR, P.E.
NEW YORK STATE PROFESSIONAL ENGINEER LIC. NO. 080661-1
COMPANY LANGAN ENGINEERING, ENVIRONMENTAL, SURVEYING &
LANDSCAPE ARCHITECTURE, D.P.C.
ADDRESS 300 KIMBALL DRIVE, 4TH FLOOR
CITY/STATE/ZIP PARSIPPANY, NJ 07054
PHONE NO. (973) 560-4900

WAIVERS

DOT REQUIREMENT WAIVED AS PER / DATE
1.

NOTES

GENERAL REQUIREMENTS

- ALL DESIGNS, MATERIALS, CONSTRUCTION METHODS AND WORKMANSHIP SHALL COMPLY WITH THE FOLLOWING PUBLICATIONS OF THE NEW YORK CITY DEPARTMENT OF TRANSPORTATION (DOT): STANDARD SPECIFICATIONS, STANDARD DETAILS OF CONSTRUCTION, RULES OF THE HIGHWAY OPERATIONS, GUIDELINES FOR THE DESIGN OF INFRASTRUCTURE COMPONENTS.
- ALL NON STANDARD MATERIALS AND CONSTRUCTION PROCEDURES SHALL BE SPECIFICALLY APPROVED IN WRITING BY THE DOT.
- ANY WORK NOT COMPLYING WITH THE REQUIREMENTS OF THE DOT SHALL BE REMOVED AND REPLACED.
- THIS PLAN SHALL BE VALID FOR THE ISSUANCE OF CONSTRUCTION PERMITS FOR A PERIOD OF ONE YEAR FROM THE DATE OF APPROVAL OR SELF-CERTIFICATION, AS APPLICABLE.
- ALL SIDEWALK AND STREET AREAS CONSTRUCTED UNDER THIS PLAN SHALL REMAIN OPEN TO THE PUBLIC AT ALL TIMES.

ISSUANCE OF PERMITS

- NO SIDEWALK, CURB OR ROADWAY WORK SHALL BE DONE WITHOUT A PERMIT FROM THE DOT. THE CONTRACTOR SHALL HAVE ALL REQUIRED INSURANCE COVERAGE ON FILE.
- NO WORK ON DRAINAGE STRUCTURES SHALL BE DONE WITHOUT A PERMIT FROM THE BOROUGH OFFICE OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- ANY VAULT WORK AT THE SITE SHALL BE DONE AS PER THE APPLICABLE RULES OF THE DOT AND THE DEPT. OF BUILDINGS.

CONSTRUCTION ACTIVITY

- A CONSTRUCTION PLAN SHOWING MAINTENANCE AND PROTECTION OF TRAFFIC, INCLUDING PLACEMENT OF SIDEWALK BRIDGES, BARRIERS AND SIGNAGE, SHALL BE SUBMITTED TO THE DOT PERMIT OFFICE BEFORE CONSTRUCTION BEGINS.
- NO SIDEWALK SHALL BE CLOSED WITHOUT A PERMIT. PEDESTRIAN AND TRAFFIC SAFETY SHALL BE PROTECTED AT ALL TIMES. ROADWAY CLOSINGS SHALL BE AS DIRECTED.
- THE SITE SHALL BE MAINTAINED IN A CLEAN AND SAFE CONDITION.

FINAL SIGN-OFF

- PERMITS SHALL BE PRESENTED FROM ALL PUBLIC AGENCIES AND UTILITIES HAVING OWNERSHIP OF STRUCTURES RELOCATED OR REMOVED DURING CONSTRUCTION.
- ALL PAVEMENT MARKINGS INCLUDING THERMOPLASTIC LANE DIVIDERS, REMOVED DURING CONSTRUCTION SHALL BE REPLACED IN KIND TO THE DOT STANDARDS.
- ALL EXISTING CATCH BASINS ON SITE SHALL BE CLEANED AND MADE OPERABLE.
- ALL DAMAGE CAUSED BY CONSTRUCTION ON THIS PROJECT OUTSIDE THE PROJECT LIMITS SHALL BE REPAIRED AS DIRECTED.
- THE ROADWAY SHALL BE PAVED TO THE REQUIREMENTS OF THE DOT AND AS DIRECTED.

DOT APPROVAL

PROPOSED AND EXISTING WORK SHOWN HERE REVIEWED FOR COMPLIANCE WITH ALL APPLICABLE RULES AND REQUIREMENTS BY:

PLAN EXAMINER

APPROVAL FOR ISSUANCE OF WORK PERMITS GRANTED BY:

DEPARTMENT OF TRANSPORTATION

DATE / /

[B-SCAN STICKER]

277
Fifth Avenue
NEW YORK, NY

OWNER:
VICTOR NOMAD LLC

CONSTRUCTION MANAGER:
LEND LEASE
200 PARK AVENUE, 9TH FLOOR
NEW YORK, NY 10166
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ARCHITECT:
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ACOUSTICAL CONSULTANT:
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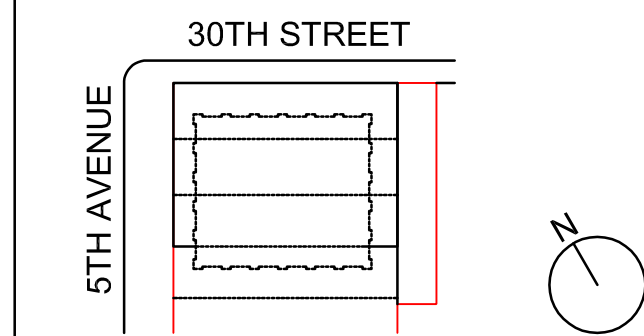
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NYC DEPT. OF BUILDINGS
PAA #2

ARCHITECT'S SEAL
Areg Asatryan, RA
U. Asatryan
APPROVED
Under the seal and stamp
AMENDED APPLICATION
Date: 04/19/2018
NYC Development Hub



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SCALE NTS

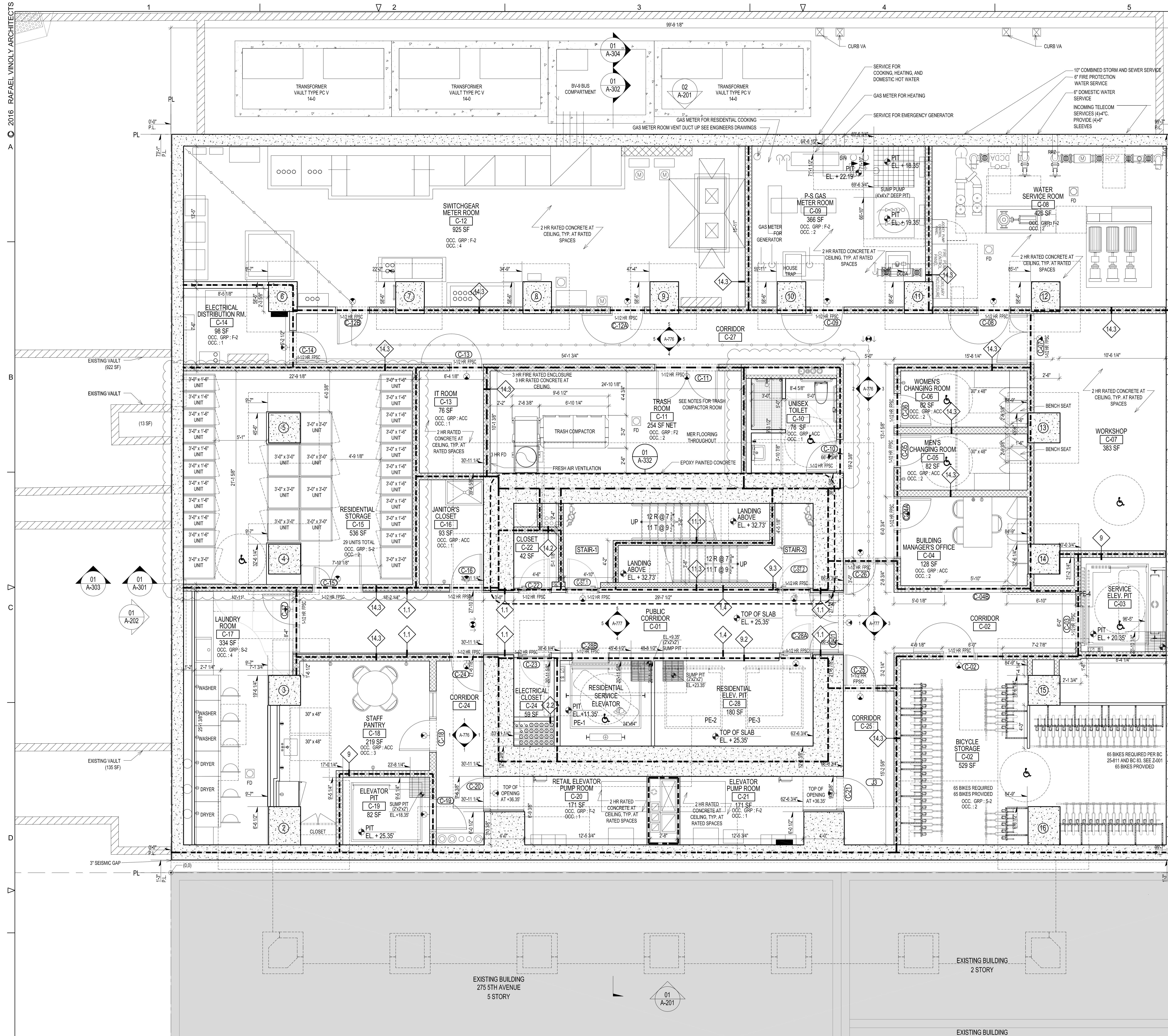
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A-018.00

SHEET NUMBER:

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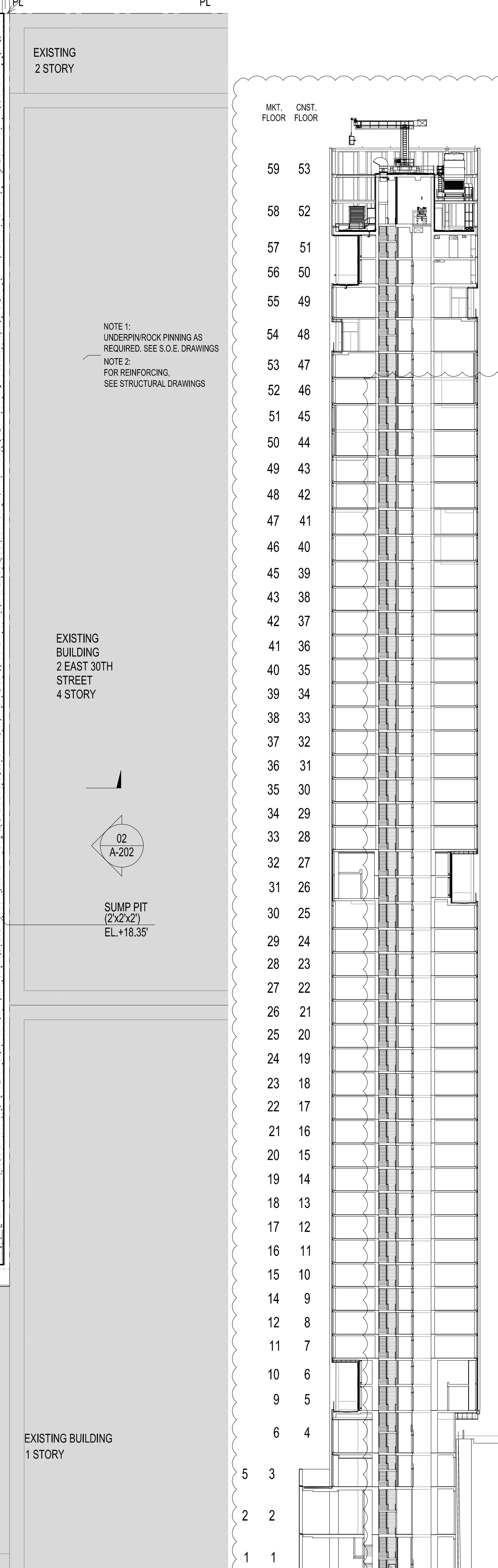


NOTE FOR TRASH COMPACTOR ROOM

1. THE TRASH COMPACTOR ROOM IS IN COMPLIANCE WITH THE REQUIREMENTS PER BC 1213 BC 1007.1, BC 708.13, BC 903.
2. TRASH COMPACTOR ROOM TO BE 3 HR FIRE RATED ENCLOSURE.
3. GENERAL CONTRACTOR TO PROVIDE ELECTRICAL POWER FOR COMPACTOR COORDINATED WITH COMPACTOR SPECIFICATIONS.
4. STC 90 FOR COMPACTOR ROOM WALL CONSTRUCTION.
5. IC 30 AND STC 65 FOR CEILING CONSTRUCTION.
6. SPRINKLERS FLEED UNDER SEPARATE APPLICATION.

GENERAL NOTES

1. THE BUILDING IS IN COMPLIANCE WITH THE SECURITY REQUIREMENTS FOR DOORS AND WINDOWS PER BC 1008.4.1, 1008.4.2, 1008.4.3, AND 1008.4.4.
2. THE STRUCTURAL DESIGN OF THE BUILDING IS IN COMPLIANCE WITH BC 1601, 1605.5, 2201, AND 901.5.6.
3. EXIT SIGNS TO BE PROVIDED PER BC 1006, BC 1011, AND BC 1025.
4. CARBON MONOXIDE DETECTORS PROVIDED PER BC 908.7.
5. ALL ELECTRICAL CLOSET PIPING SHALL BE FIRE-STOP (FLOOR TO FLOOR).
6. REFUSE CHUTE IN COMPLIANCE WITH BC 1213.3 AND BC 708.13.
7. REFUSE ROOM IN COMPLIANCE WITH BC 1213.1.
8. SPRINKLER OPENINGS PROTECTED BY APPROVED WATER CURTAIN USING AUTOMATIC SPRINKLERS APPROVED FOR THIS USE AS PER NFPA 13 SECTION 705.8.2.



EGRESS CALCULATIONS
OCCUPANCY PER BC 1004.1.1

AREA NAME	CLASS	AREA (SF)	FLR AREA PER OCC.	OCCUPANT LOAD	AREA NAME	CLASS	AREA (SF)	FLR AREA PER OCC.	OCCUPANT LOAD	AREA NAME	CLASS	AREA (SF)	FLR AREA PER OCC.	OCCUPANT LOAD
SWITCHGEAR METER ROOM	F-2	925	300 SF/NET	2	WOMEN'S CHANGING ROOM	R-2	82	50 SF/NET	2	ELEVATOR PUMP ROOM #1	F-2	171	300 SF/NET	1
P-2 GAS METER RM	F-2	369	300 SF/NET	2	MEN'S CHANGING ROOM	R-2	82	50 SF/NET	2	ELEVATOR PUMP ROOM #2	F-2	171	300 SF/NET	1
WATER SERVICE RM	F-2	426	300 SF/NET	2	BUILDING MANAGER'S OFFICE	R-2 ACC	128	100 SF/NET	2	ELECTRICAL CLOSET	F-2	59	300 SF/NET	1
ELECTRICAL DISTRIBUTION RM	F-2	567	300 SF/NET	2	WORKSHOP	R-2 ACC	383	300 SF/NET	2					
RESIDENTIAL STORAGE	S-2	536	300 SF/NET	2	BK STORAGE	S-2	529	300 SF/NET	2					
IT ROOM	F-2	76	300 SF/NET	1	LAUNDRY	S-2	297	100 SF/NET	3					
TRASH ROOM	F-2	534	300 SF/NET	2	STAFF PANTRY	R-2 ACC	199	100 SF/NET	2	TOTAL				33

EGRESS WIDTH PER OCCUPANT SERVED PER BC 1005.1

STAIR REQUIRED	DOOR REQUIRED	CORRIDOR REQUIRED
0.7' X 33' = 9' 0"	0.7' X 33' = 9' 0"	MIN. REQUIRED 44"
STAIR PROVIDED 2' X 44' = 88"	STAIR PROVIDED 2' X 36' = 72"	PROVIDED 72"

NUMBER OF EXITS PER BC 1015.1

RESIDENTIAL	MAXIMUM OCC. LOAD WITH ONE MEANS OF EGRESS 20	OCCUPANCY LOAD 24	2 EXITS PROVIDED PER BC 1015.1 AND 1015.1.1, 1018.1

LEGEND

- 1 HOUR RATED
- 2 HOUR RATED
- TRAVEL DISTANT
- WALL-MOUNTED EXIT SIGN
- CEILING-MOUNTED EXIT SIGN
- DOOR TAG
- WINDOW TAG
- PARTITION TAG
- SMOKE / CARBON MONOXIDE DETECTOR ON THE CEILING
- SMOKE DETECTOR ON THE CEILING
- FIRE SHUTTER
- FIRE SERVICE ACCESS ELEVATOR

CELLAR FLOOR PLAN LEVEL -01
SCALE 1/4" = 1'-0"

FLOOR LOCATION DIAGRAM
SCALE 1/32" = 1'-0"

277 Fifth Avenue

NEW YORK, NY

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- NYC DEPT. OF BUILDINGS**
PAA #2

ARCHITECT'S SEAL

Areg Asatryan, RA






U. Asatryan

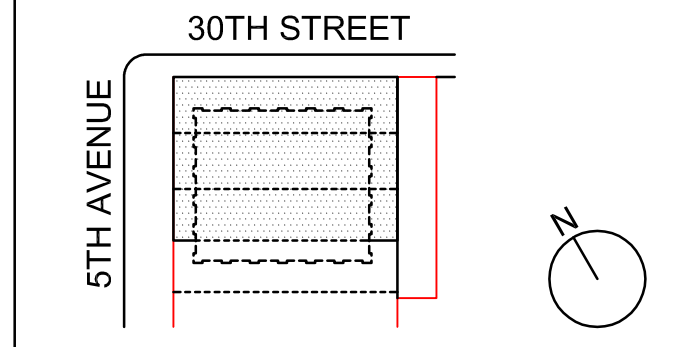
APPROVED

AMENDED APPLICATION

Date: 04/19/2018

NYC Development Hub

	09/08/2017	PAA #2
	02/24/2017	PAA #1
	04/08/2016	DOB SUBMITTAL
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CELLAR FLOOR PLAN LEVEL -01

SHEET TITLE:
A-100.02
SHEET NUMBER:

277

Fifth Avenue
NEW YORK, NY

OWNER:
VICTOR NOMAD LLC

CONSTRUCTION MANAGER:
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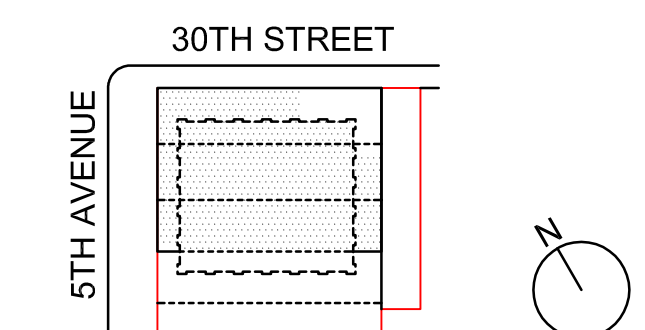
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Date: 04/19/2018
NYC Development Hub

09/08/2017	PAA #2
02/24/2017	PAA #1
04/08/2016	DOB SUBMITTAL
01/18/2016	FOUNDATION BID
12/23/2015	SCHEMATIC DESIGN
ISSUE NO.	DATE DESCRIPTION



KEY PLAN AND NORTH SIGN
IF THIS DRAWING IS NOT 42" X 30" IT IS
A REDUCED PRINT;
REFER TO GRAPHIC SCALE

SCALE 1/4" = 1'-0"

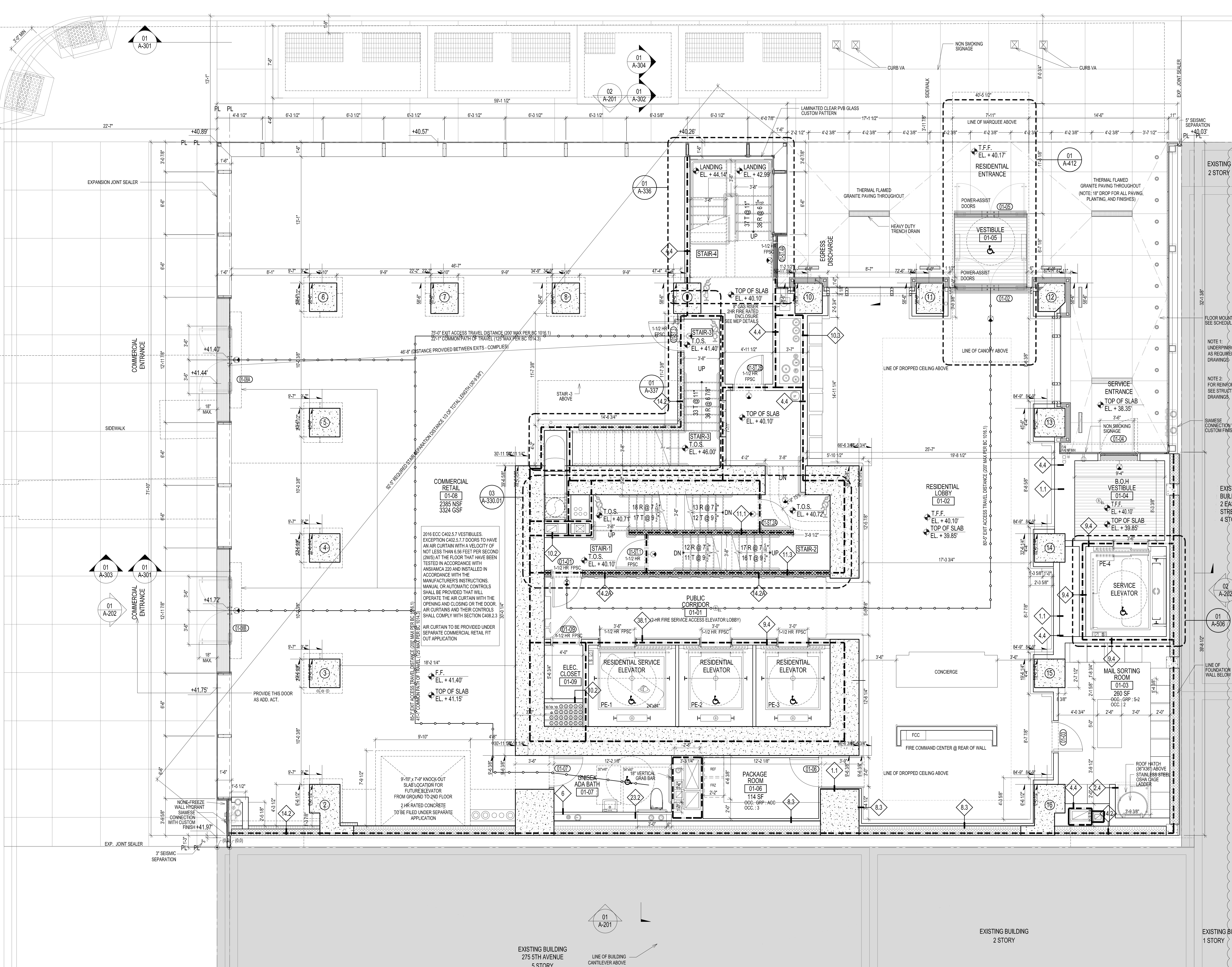
GROUND FLOOR PLAN LEVEL 01

SHEET TITLE:

A-101.02

SHEET NUMBER:

- GENERAL NOTES
1. THE BUILDING IS IN COMPLIANCE WITH THE SECURITY REQUIREMENTS FOR DOORS AND WINDOWS PER BC 1008.4.1, 1008.4.2, 1008.4.3, AND 1008.4.4.
 2. THE STRUCTURAL DESIGN OF THE BUILDING IS IN COMPLIANCE WITH BC 1601, 1605.9, 2001, AND 2013.6.
 3. EXIT SIGNS TO BE PROVIDED PER BC 1006, BC 1011, AND BC 1025.
 4. CARBON MONOXIDE DETECTORS PROVIDED PER BC 808.7.
 5. ALL ELECTRICAL CLOSET PIPING SHALL BE PRE-STOP (FLOOR TO FLOOR).
 6. REFUSE CHUTE IN COMPLIANCE WITH BC 1213.3 AND BC 708.13.
 7. SPRINKLER OPENINGS PROTECTED BY APPROVED WATER CURTAIN USING AUTOMATIC SPRINKLERS APPROVED FOR THIS USE AS PER NFPA 13 SECTION 705.2.2.

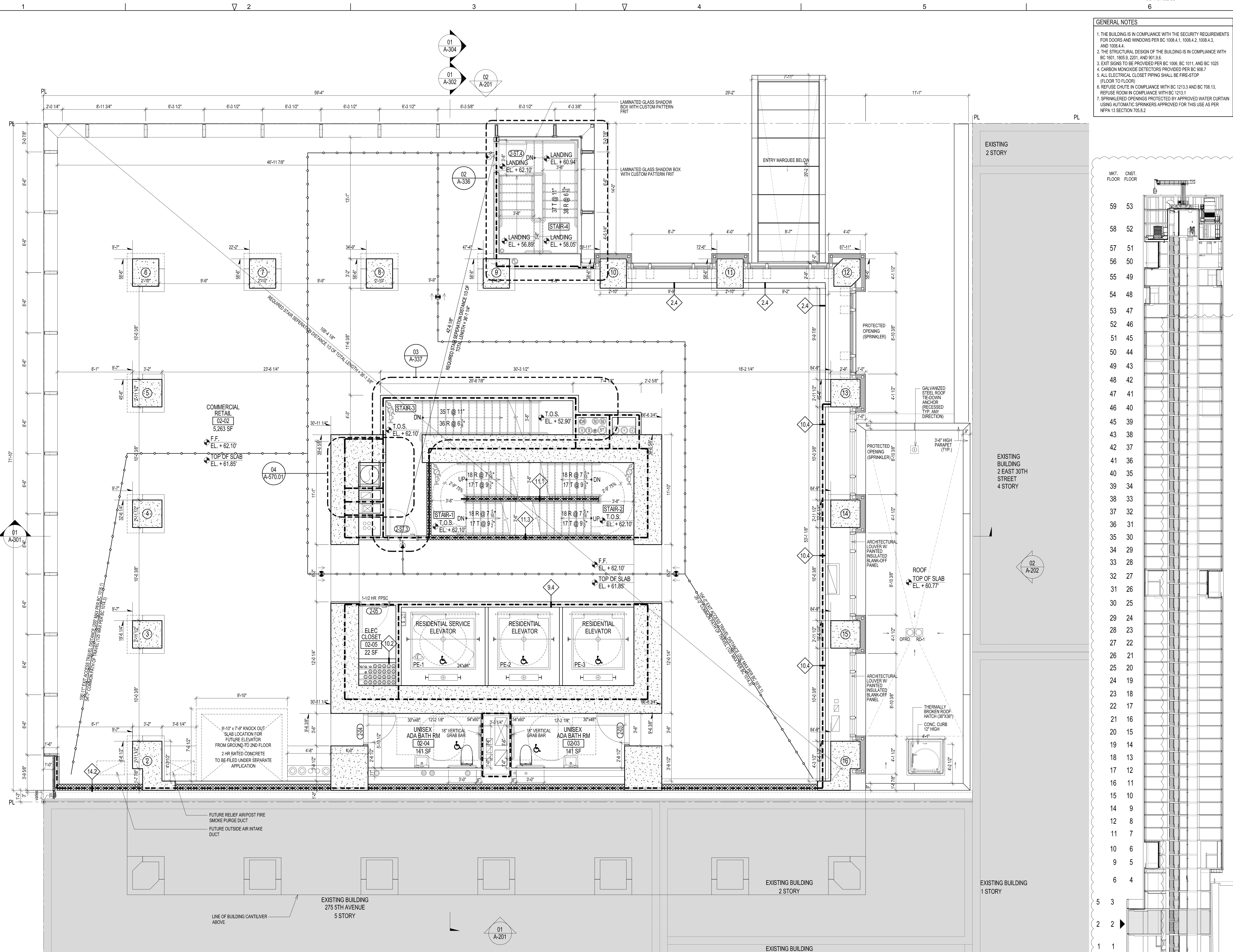














EGRESS CALCULATIONS					NUMBER OF EXITS PER BC 1015.1					LEGEND				
OCCUPANCY PER BC 1004.1.1					RESIDENTIAL									
AREA NAME	CLASS	AREA (SF)	FLOOR AREA PER OCC.	OCCUPANT LOAD	RESIDENTIAL EGRESS STAIR									
RES. LOBBY	S-2	280	200 SF GROSS	2	STAIR REQUIRED 0.7' X 5' X 1.5'					DOOR REQUIRED 0.7' X 5' X 1.5'				
MAIL SORTING ROOM	ACC	114	50 SF GROSS	3	STAIR PROVIDED 2' X 4' = 88"					CORRIDOR REQUIRED MIN. REQUIRED 44"				
TOTAL				5										
					RETAIL EGRESS STAIR									
RETAIL	M	324	30 SF GROSS	111	STAIR REQUIRED 0.7' X 11' X 33.3"					DOOR REQUIRED 0.7' X 11' X 22.2"				
TOTAL				111	STAIR PROVIDED 2' X 4' = 88"					CORRIDOR REQUIRED MIN. REQUIRED 44"				
					RETAIL									
					MAXIMUM OCC. LOAD WITH ONE MEANS OF EGRESS 20					MAXIMUM OCC. LOAD WITH ONE MEANS OF EGRESS 20				
					OCCUPANCY LOAD 24					OCCUPANCY LOAD 24				
					2 EXITS PROVIDED PER BC 1015.1 AND 1015.1.1, 1018.1					2 EXITS PROVIDED PER BC 1015.1 AND 1015.1.1, 1018.1				

GROUND FLOOR PLAN LEVEL 01
SCALE 1/4" = 1'-0"

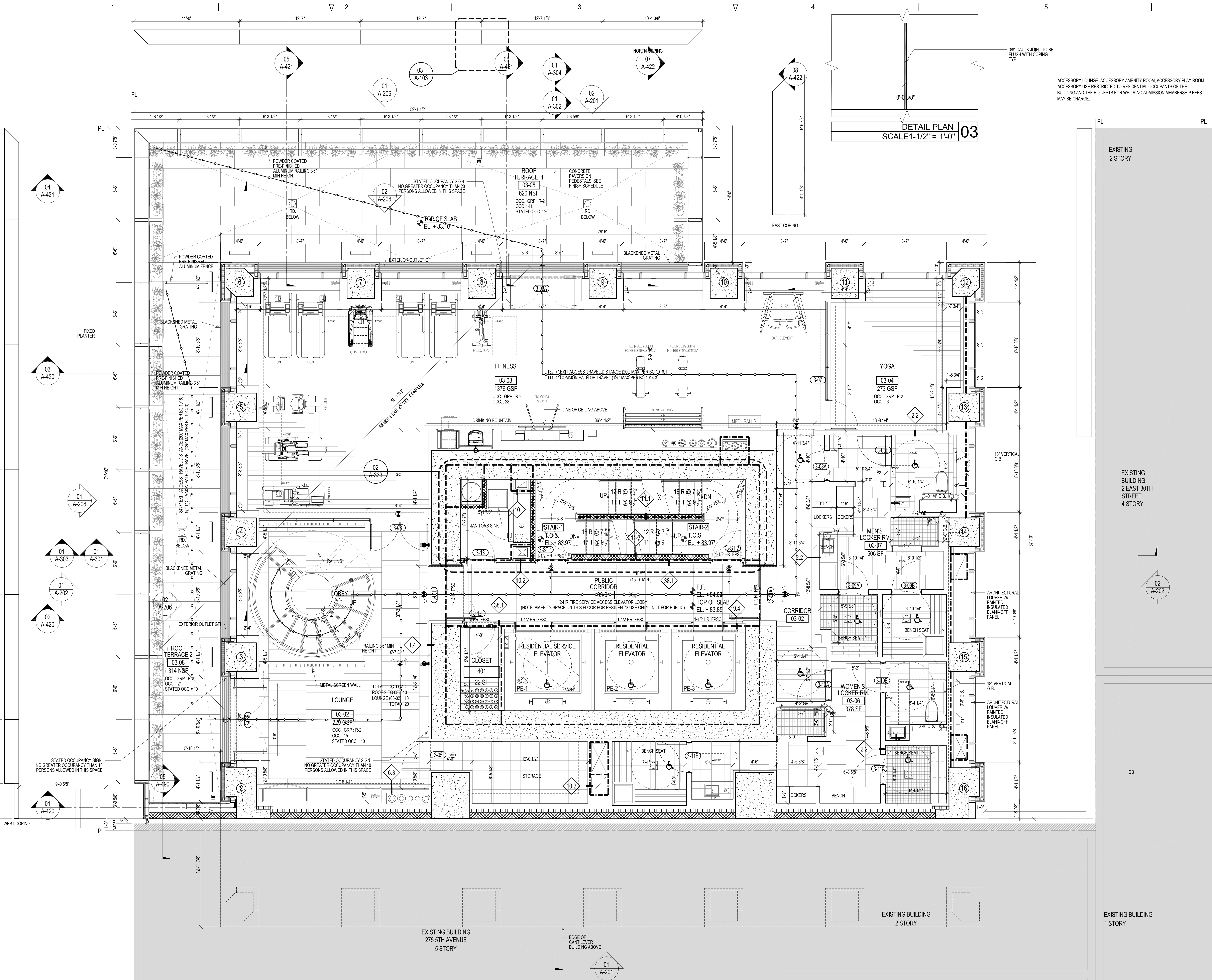
FLOOR LOCATION DIAGRAM
SCALE 1/32" = 1'-0"

2016 RAFAEL VINOLY ARCHITECTS















EGRESS CALCULATIONS					EGRESS WIDTH PER OCCUPANT SERVED PER BC 1006.1			NUMBER OF EXITS PER BC 1015.1		LEGEND			
OCCUPANCY PER BC 1004.1.1								RESIDENTIAL					
AREA NAME	CLASS	AREA (SF)	FLR AREA PER OCC.	OCCUPANT LOAD									
RETAIL	M	5263	90 SF GROSS	116	STAR REQUIRED 0.37 X 176 = 65.72' STAR PROVIDED 2 X 44" = 88"	DOOR REQUIRED 0.2 X 176 = 35.2' STAR PROVIDED 2 X 36" = 72"	CORRIDOR REQUIRED MIN. 36" X 176 = 64' PROVIDED 72"	MAXIMUM OCC. OF EGRESS WITH ONE MEANS OF EGRESS 20		 1 HOUR RATED	 DOOR TAG	 SMOKE / CARBON MONOXIDE DETECTOR ON THE CEILING	
										 2 HOUR RATED	 WINDOW TAG	 S SMOKE DETECTOR ON THE CEILING	
								OCCUPANCY / LOAD 176		 TRAVEL DISTANT	 PARTITION TAG	 F FIRE SHUTTER	
								1015.1 AND 1015.1.1, 1018.1		 WALL-MOUNTED EXIT SIGN	 CEILING-MOUNTED EXIT SIGN	 FIRE SERVICE ACCESS ELEVATOR	
TOTAL				176									

2016 RAFAEL VINOLY ARCHITECTS



EGRESS CALCULATIONS					
OCCUPANCY PER BC 1004.1.1					
AREA NAME	CLASS	AREA (SF)	PLR AREA PER OCC.	OCC. LOAD	STATED OCC. LOAD
ROOF-1	R-2	620	15 SF/NET	41	20
ROOF-2	R-2	314	15 SF/NET	21	10
YOGA	R-2	273	50 SF GROSS	6	6
FITNESS	R-2	1376	50 SF GROSS	28	28
LOUNGE	R-2	229	15 SF/NET	15	10
TOTAL LOAD OF 3RD FLOOR				111	74
OCCUPANCY LOAD FROM 4TH FLOOR: 50% OF 61				31	
TOTAL				142	

EGRESS WIDTH PER OCCUPANT SERVED PER BC 1005.1			
STAIR REQUIRED	DOOR REQUIRED	CORRIDOR REQUIRED	
0.3" X 142" = 42.6"	0.2" X 142" = 28.4"	MIN. REQUIRED 44"	
STAIR PROVIDED	DOOR PROVIDED	PROVIDED 72"	
2 X 30" = 78"	2 X 30" = 72"		

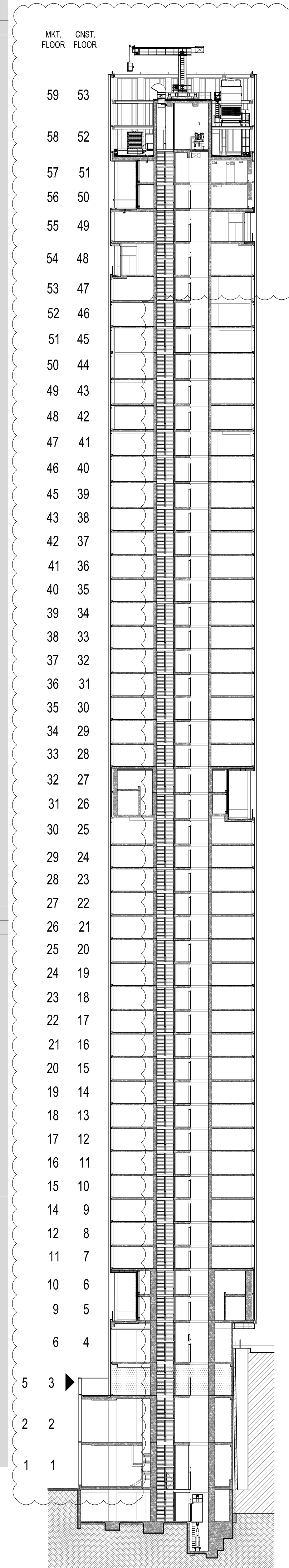
LEGEND					
	1 HOUR RATED		DOOR TAG		SMOKE / CARBON MONOXIDE DETECTOR ON THE CEILING
	2 HOUR RATED		WINDOW TAG		SMOKE DETECTOR ON THE CEILING
	TRAVEL DISTANT		PARTITION TAG		FIRE SHUTTER
	WALL-MOUNTED EXIT SIGN				FIRE SERVICE ACCESS ELEVATOR
	CEILING-MOUNTED EXIT SIGN				

PLUMBING FIXTURE COUNT		PER TABLE 403.1 OF THE NYC PLUMBING CODE			
OCCUPANCY		TOILET FIXTURES		LAVATORY FIXTURES	
USE GROUP		NUMBER OF WATER CLOSETS		NUMBER OF FIXTURES	
		MALE (50)	FEMALE (50)	MALE (50)	FEMALE (50)
A-3	111	1/70+1	1/35+2	1/200+1	1/500+1

AMENITY FLOOR PLAN LEVEL 03 (FITNESS / SPA) SCALE 1/4" = 1'-0" 02

GENERAL NOTES

1. THE BUILDING IS IN COMPLIANCE WITH THE SECURITY REQUIREMENTS FOR DOORS AND WINDOWS PER BC 1008.4.1, 1008.4.2, 1008.4.3, AND 1008.4.4.
2. THE STRUCTURAL DESIGN OF THE BUILDING IS IN COMPLIANCE WITH BC 1801, 1805.5, 2201, AND 901.5.6.
3. EXIT SIGNS TO BE PROVIDED PER BC 1006, BC 1011, AND BC 1025.
4. CARBON MONOXIDE DETECTORS PROVIDED PER BC 908.7.
5. ALL ELECTRICAL CLOSET PIPING SHALL BE FIRE-STOP (FLOOR TO FLOOR).
6. REFUSE CHUTE IN COMPLIANCE WITH BC 1213.3 AND BC 708.13.
7. REFUSE ROOM IN COMPLIANCE WITH BC 1213.1.
8. SPRINKLERED OPENINGS PROTECTED BY APPROVED WATER CURTAIN USING AUTOMATIC SPRINKLERS APPROVED FOR THIS USE AS PER NFPA 13 SECTION 715.8.2.



FLOOR LOCATION DIAGRAM SCALE 1/32" = 1'-0" 01

277 Fifth Avenue NEW YORK, NY

OWNER: VICTOR NOMAD LLC

CONSTRUCTION MANAGER: LEND LEASE 200 PARK AVENUE, 9TH FLOOR NEW YORK, NY 10166 TEL: 212 592 6700

ARCHITECT: RAFAEL VINOLY ARCHITECTS PC 50 VANDAM STREET NEW YORK, NY 10013 TEL: 212 924 5060 FAX: 212 924 5858

STRUCTURAL ENGINEER: WSP PARSONS BRINCKERHOFF ONE PENN PLAZA, 4TH FLOOR NEW YORK, NY 10119 TEL: 212 687 9888

MEP/FP/IT ENGINEER: MGE ENGINEERING 116 WEST 32ND STREET, 12TH FLOOR NEW YORK, NY 10001 TEL: 212 643 9055

GEOTECH CIVIL ENGINEER: LANGAN ENGINEERING 300 KIMBALL DRIVE, 4TH FLOOR PARSIPPANY, NJ 07054 TEL: 973 560 4900

VERTICAL TRANSPORT CONSULTANT: VAN DEUSEN & ASSOCIATES 120 EAGLE ROCK AVENUE, SUITE 310 EAST HANOVER, NJ 07936 TEL: 973 994 9220

ENCLOSURE CONSULTANT: VIDARIS, INC. 360 PARK AVENUE SOUTH, 15TH FLOOR NEW YORK, NY 10010 TEL: 212 689 5389

FAÇADE MAINTENANCE CONSULTANT: ENTEK ENGINEERING LLC 166 AMES STREET HACKENSACK, NJ, 07601 TEL: 201 820 2801

ACOUSTICAL CONSULTANT: CERAMI & ASSOCIATES 404 FIFTH AVENUE NEW YORK, NY 10018 TEL: 212 616 4179

LIGHTING CONSULTANT: ONE LUX STUDIO 158 WEST 29TH STREET, 10TH FLOOR NEW YORK, NY 10001 TEL: 212 201 5790

SPECIFICATIONS CONSULTANT: ROBERT SCHWARTZ & ASSOCIATES 589 EIGHTH AVENUE, 17TH FLOOR NEW YORK, NY 10018 TEL: 212 691 3248

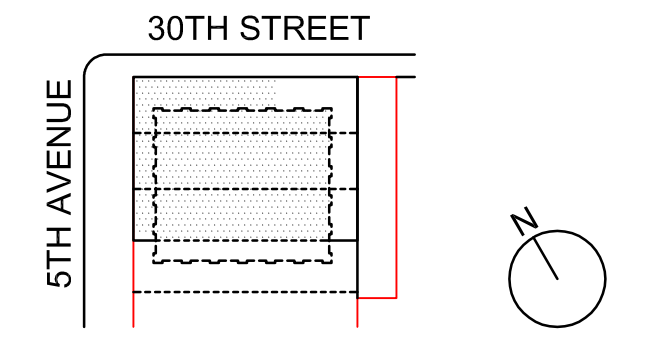
ENERGY MODELING CONSULTANT: STEVEN WINTER ASSOCIATES, INC. 307 SEVENTH AVENUE, SUITE 1701 NEW YORK, NY 10001 TEL: 212 564 5800

INTERIOR DESIGN CONSULTANT: BEERS INTERIORS 156 5TH AVENUE, PENTHOUSE 2 NEW YORK, NY 10010 TEL: 212 352 2020

NYC DEPT. OF BUILDINGS PAA #2

ARCHITECT'S SEAL: Areg Asatryan, RA U. Asatryan APPROVED Date: 04/19/2018 NYC Development Hub

09/08/2017	PAA #2	
02/24/2017	PAA #1	
04/08/2016	DOB SUBMITTAL	
01/18/2016	FOUNDATION BID	
12/23/2015	SCHEMATIC DESIGN	
ISSUE NO.	ISSUE DATE	DESCRIPTION



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SCALE 1/4" = 1'-0"

AMENITY FLOOR PLAN LEVEL 03 (FITNESS / SPA)

SHEET TITLE:

A-103.02

SHEET NUMBER:

2016 RAFAEL VINOLY ARCHITECTS

1 2 3 4 5 6

01 A-304
01 A-302
02 A-201

01 A-303
01 A-301
01 A-202

PL

EXISTING
2 STORY

EXISTING
BUILDING
2 EAST 30TH
STREET
4 STORY

1203.4.1.2.1 MINIMUM OPENING.
EXCEPTION 1.
WHERE FRESHED AIR IS FURNISHED
IN ANY HABITABLE ROOM OR SPACE
BY MECHANICAL MEANS SUPPLYING A
MIN. OF 40 CUBIC FT PER MINUTE
(0.02 M3/S), THE FREE OPENABLE AREA
OF THE OPENINGS MAY BE REDUCED
TO 2.5% OF THE FLOOR AREA BUT EACH
SUCH OPENING SHALL PROVIDE NOT
LESS THAN 5.5 SQ FT (0.51 M2) OF
OPENABLE AREA

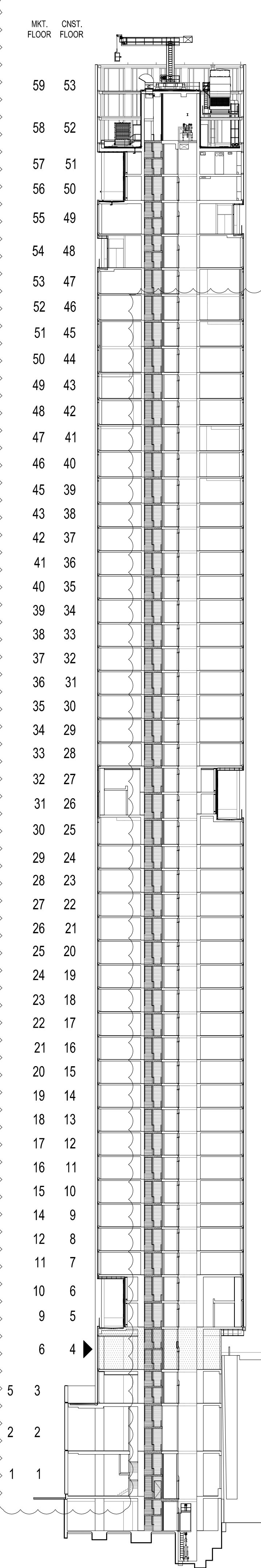
EXISTING BUILDING
1 STORY

LIGHT & AIR CALCULATIONS:
ROOM AREA: 125.8 SQ. FT.
-REQ'D LIGHT: 125.8 SQ. FT. x 10% = 12.6 SQ. FT
PROVIDED LIGHT: 124.6 SQ. FT
-REQ'D AIR: 297.2 SQ. FT. x 2.5% = 7.4 SQ. FT(MIN.)
PROVIDED AIR: 17.1 SQ. FT

LIGHT & AIR CALCULATIONS:
ROOM AREA: 297.2 SQ. FT.
-REQ'D LIGHT: 297.2 SQ. FT. x 10% = 29.7 SQ. FT
PROVIDED LIGHT: 29.7 SQ. FT
-REQ'D AIR: 297.2 SQ. FT. x 2.5% = 7.4 SQ. FT(MIN.)
PROVIDED AIR: 34.2 SQ. FT

LIGHT & AIR CALCULATIONS:
ROOM AREA: 157.3 SQ. FT.
-REQ'D LIGHT: 157.3 SQ. FT. x 10% = 15.7 SQ. FT
PROVIDED LIGHT: 28.4 SQ. FT
-REQ'D AIR: 157.3 SQ. FT. x 2.5% = 3.9 SQ. FT(MIN.)
PROVIDED AIR: 17.1 SQ. FT

GENERAL NOTES
1. THE BUILDING IS IN COMPLIANCE WITH THE SECURITY REQUIREMENTS
FOR DOORS AND WINDOWS PER BC 1008.4.1, 1008.4.2, 1008.4.3,
AND 1008.4.4.
2. THE STRUCTURAL DESIGN OF THE BUILDING IS IN COMPLIANCE WITH
BC 1801, 1805.3, 2201, AND 901.5.6.
3. EXIT SIGNS TO BE PROVIDED PER BC 1006, BC 1011, AND BC 1025
4. CARBON MONOXIDE DETECTORS PROVIDED PER BC 908.7
5. ALL ELECTRICAL CLOSET PIPING SHALL BE FIRE-STOP
(FLOOR TO FLOOR)
6. REFUSE CHUTE IN COMPLIANCE WITH BC 1213.3 AND BC 708.13.
7. REFUSE ROOM IN COMPLIANCE WITH BC 1151.1
8. THE BUILDING IS FULLY EQUIPPED WITH AN AUTOMATIC SPRINKLER
SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2, PER
EXCEPTION 1015.2.1.2, THE SEPARATION DISTANCE OF THE EXIT DOOR
OR EXIT ACCESS DOORWAYS SHALL NOT BE LESS THAN ONE-THIRD OF
THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE
AREA SERVED.



277
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NEW YORK, NY

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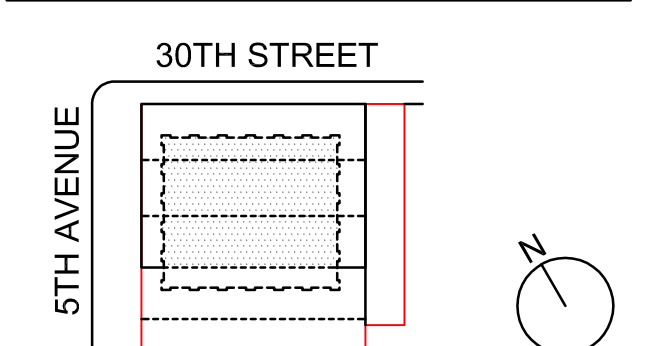
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NEW YORK, NY 10010
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NYC DEPT. OF BUILDINGS
PAA #2

ARCHITECT'S SEAL
Areg Asatryan, RA
U. Asatryan
APPROVED
Date: 04/19/2018
NYC Development Hub

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AMENITY FLOOR
PLAN (FITNESS /
SUPER'S APT.)
LEVEL 04
SHEET TITLE:

A-104.02

SHEET NUMBER:

EGRESS CALCULATIONS					
OCCUPANCY PER BC 1004.1.1					
AREA NAME	CLASS	AREA (SF)	FLOOR AREA PER OCC.	OCC. LOAD	STATED OCC. LOAD
LOUNGE	R-2	642	15 SF NET	43	20
AMENITY ROOM	R-2	268	15 SF NET	18	18
PLAY ROOM	R-2	138	15 SF NET	9	9
TOTAL					47
RESIDENTIAL					
UNIT A	R-2	1304	200 SF GROSS	7	
TOTAL					7

EGRESS WIDTH PER OCCUPANT SERVED PER BC 1008.1					
RESIDENTIAL					
STAIR REQUIRED	DOOR REQUIRED	CORRIDOR REQUIRED			
0.3' x 47' = 14.1'	0.2' x 47' = 9.4'	MIN. REQUIRED 44"			
STAIR PROVIDED	DOOR PROVIDED	PROVIDED 72"			
2 X 44" = 132"	2 X 36" = 72"				

NUMBER OF EXITS PER BC 1015.1					
RESIDENTIAL					
MAXIMUM OCC. LOAD WITH					
ONE MEANS OF EGRESS 20					
OCCUPANCY LOAD 47					
2 EXITS PROVIDED PER BC					
1015.1, 1015.1.1, 1015.2.1, 1018.1,					
1021.1.3 AND 1016.1.3					

LEGEND					
1 HOUR RATED	2 HOUR RATED	TRAVEL DISTANT	WALL-MOUNTED EXIT SIGN	CEILING-MOUNTED EXIT SIGN	DOOR TAG
XX	XX OP	XX	XX	XX	XX
SMOKE / CARBON MONOXIDE DETECTOR ON THE CEILING	SMOKE DETECTOR ON THE CEILING	FIRE SHUTTER	FIRE SERVICE ACCESS ELEVATOR		
S	S	#	EL		

PLUMBING FIXTURE COUNT					
PER TABLE 403.1 OF THE NYC PLUMBING CODE					
OCCUPANCY PER BC 1004.1.1					
USE GROUP	PERSONS	TOILET FIXTURES	LAVATORY FIXTURES	NUMBER OF WATER CLOSETS	NUMBER OF FIXTURES
A-3	47	1/70 = 1	1/35 = 1	1/200 = 1	1/500 = 1
SEE A-103.01 FOR DRINKING FOUNTAIN LOCATION, TOTAL AMENITY OCCUPANT LOAD (RFD FLOOR: 62, 4TH FLOOR: 16) = 132 PERSONS, 132 PERSONS = 500 CUMULATIVE					

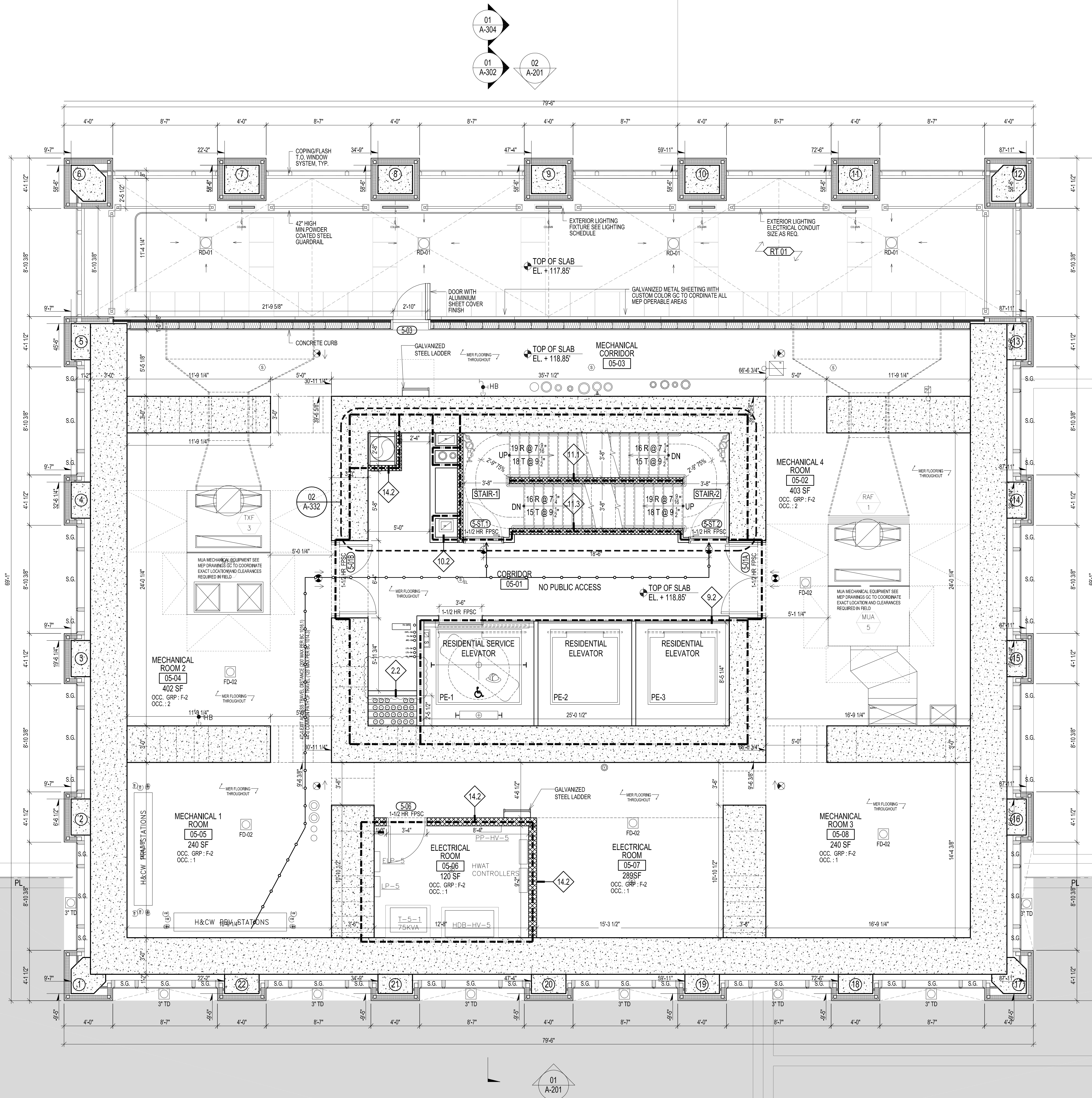
AMENITY FLOOR PLAN LEVEL 04 (FITNESS / SUPER'S APT.)
SCALE 1/4" = 1'-0"

FLOOR LOCATION DIAGRAM
SCALE 1/32" = 1'-0"

EAST 30TH STREET
(BELOW)

PL

PL



EGRESS CALCULATIONS			
OCCUPANCY PER BC 1004.1.1			
AREA NAME	CLASS	AREA (SF)	FLOOR AREA PER OCC.
ELECTRICAL ROOM 1	F-2	116	300 SF NET
ELECTRICAL ROOM 2	F-2	150	300 SF NET
ELECTRICAL ROOM 3	F-2	240	300 SF NET
ELECTRICAL ROOM 4	F-2	240	300 SF NET
ELECTRICAL ROOM 5	F-2	240	300 SF NET
ELECTRICAL ROOM 6	F-2	240	300 SF NET
ELECTRICAL ROOM 7	F-2	240	300 SF NET
ELECTRICAL ROOM 8	F-2	240	300 SF NET
ELECTRICAL ROOM 9	F-2	240	300 SF NET
ELECTRICAL ROOM 10	F-2	240	300 SF NET
ELECTRICAL ROOM 11	F-2	240	300 SF NET
ELECTRICAL ROOM 12	F-2	240	300 SF NET
ELECTRICAL ROOM 13	F-2	240	300 SF NET
ELECTRICAL ROOM 14	F-2	240	300 SF NET
ELECTRICAL ROOM 15	F-2	240	300 SF NET
ELECTRICAL ROOM 16	F-2	240	300 SF NET
ELECTRICAL ROOM 17	F-2	240	300 SF NET
ELECTRICAL ROOM 18	F-2	240	300 SF NET
ELECTRICAL ROOM 19	F-2	240	300 SF NET
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ELECTRICAL ROOM 83	F-2	240	300 SF NET
ELECTRICAL ROOM 84	F-2	240	300 SF NET
ELECTRICAL ROOM 85	F-2	240	300 SF NET
ELECTRICAL ROOM 86	F-2	240	300 SF NET
ELECTRICAL ROOM 87	F-2	240	300 SF NET
ELECTRICAL ROOM 88	F-2	240	300 SF NET
ELECTRICAL ROOM 89	F-2	240	300 SF NET
ELECTRICAL ROOM 90	F-2	240	300 SF NET
ELECTRICAL ROOM 91	F-2	240	300 SF NET
ELECTRICAL ROOM 92	F-2	240	300 SF NET
ELECTRICAL ROOM 93	F-2	240	300 SF NET
ELECTRICAL ROOM 94	F-2	240	300 SF NET
ELECTRICAL ROOM 95	F-2	240	300 SF NET
ELECTRICAL ROOM 96	F-2	240	300 SF NET
ELECTRICAL ROOM 97	F-2	240	300 SF NET
ELECTRICAL ROOM 98	F-2	240	300 SF NET
ELECTRICAL ROOM 99	F-2	240	300 SF NET
ELECTRICAL ROOM 100	F-2	240	300 SF NET

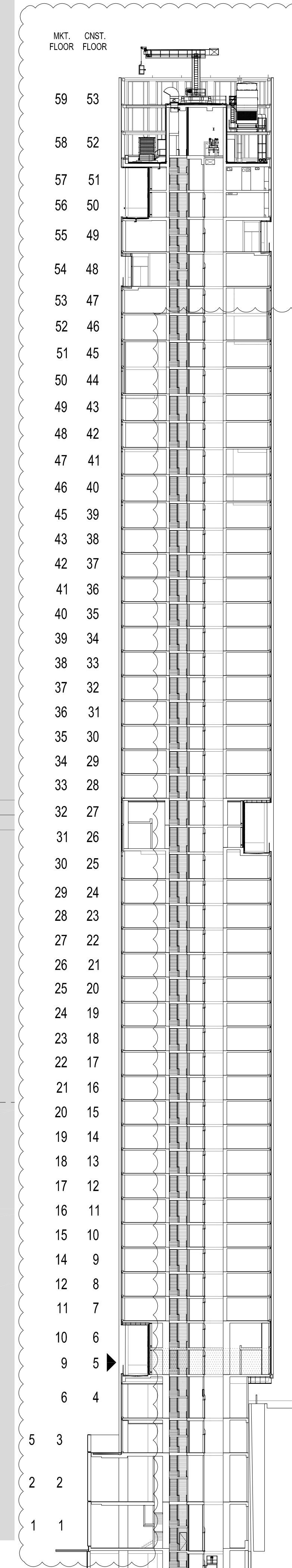
EGRESS WIDTH PER OCCUPANT SERVED PER BC 1005.1			
STAIR REQUIRED	DOOR REQUIRED	CORRIDOR REQUIRED	
0.2' X 8' = 2.4'	0.2' X 8' = 2.4'	0.2' X 8' = 2.4'	
STAIR PROVIDED	STAIR PROVIDED	STAIR PROVIDED	
2 X 44" = 88"	2 X 44" = 88"	2 X 44" = 88"	

NUMBER OF EXITS PER BC 1015.1			
RESIDENTIAL			
MAXIMUM OCC. LOAD WITH ONE MEANS OF EGRESS 20			
OCCUPANCY LOAD 24			
2 EXITS PROVIDED PER BC 1015.1 AND 1015.1.1, 1018.1			

LEGEND			
1 HOUR RATED	2 HOUR RATED	TRAVEL DISTANT	WALL-MOUNTED EXIT SIGN
CEILING-MOUNTED EXIT SIGN	DOOR TAG	WINDOW TAG	PARTITION TAG
SMOKE / CARBON MONOXIDE DETECTOR ON THE CEILING	SMOKE DETECTOR ON THE CEILING	FIRE SHUTTER	FIRE SERVICE ACCESS ELEVATOR

MECHANICAL / STRUCTURAL TRANSFER FLOOR PLAN LEVEL 05
SCALE 1/4" = 1'-0"

FLOOR LOCATION DIAGRAM
SCALE 1/32" = 1'-0"



GENERAL NOTES

1. THE BUILDING IS IN COMPLIANCE WITH THE SECURITY REQUIREMENTS FOR DOORS AND WINDOWS PER BC 1006.4.1, 1008.4.2, 1008.4.3, AND 1008.4.4.
2. THE STRUCTURAL DESIGN OF THE BUILDING IS IN COMPLIANCE WITH BC 1801, 1805.5, 2201, AND 901.5.6.
3. EXIT SIGNS TO BE PROVIDED PER BC 1006, BC 1011, AND BC 1025.
4. CARBON MONOXIDE DETECTORS PROVIDED PER BC 908.7.
5. ALL ELECTRICAL CLOSET PIPING SHALL BE FIRE-STOP (FLOOR TO FLOOR).
6. REFUSE CHUTE IN COMPLIANCE WITH BC 1213.3 AND BC 708.13.
7. REFUSE ROOM IN COMPLIANCE WITH BC 1213.1.
8. SPRINKLERED OPENINGS PROTECTED BY APPROVED WATER CURTAIN USING AUTOMATIC SPRINKLERS APPROVED FOR THIS USE AS PER NFPA 13 SECTION 715.8.2.

277
Fifth Avenue
NEW YORK, NY

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GEOTECH CIVIL ENGINEER:
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TEL: 212 616 4179

LIGHTING CONSULTANT:
ONE LUX STUDIO
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NEW YORK, NY, 10001
TEL: 212 201 5790

SPECIFICATIONS CONSULTANT:
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ENERGY MODELING CONSULTANT:
STEVEN WINTER ASSOCIATES, INC.
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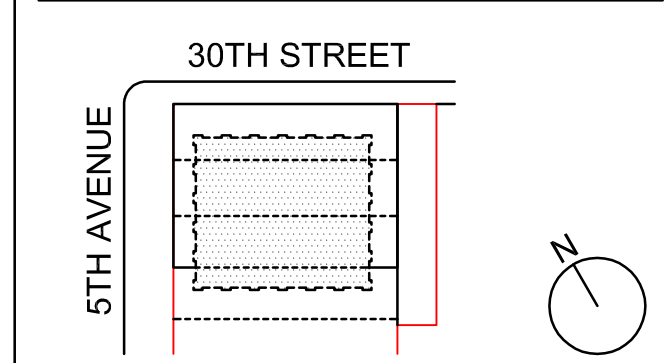
INTERIOR DESIGN CONSULTANT:
BEERS INTERIORS
156 5TH AVENUE, PENTHOUSE 2
NEW YORK, NY, 10010
TEL: 212 352 2020

NYC DEPT. OF BUILDINGS
PAA #2

ARCHITECT'S SEAL

09/08/2017 PAA #2
02/24/2017 PAA #1
04/08/2016 DOB SUBMITTAL
01/18/2016 FOUNDATION BID
12/23/2015 SCHEMATIC DESIGN

ISSUE NO. DATE DESCRIPTION



KEY PLAN AND NORTH SIGN
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REFER TO GRAPHIC SCALE

SCALE 1/4" = 1'-0"

MECH/STRUCTURAL
TRANSFER FLOOR
PLAN LEVEL 05

SHEET TITLE:

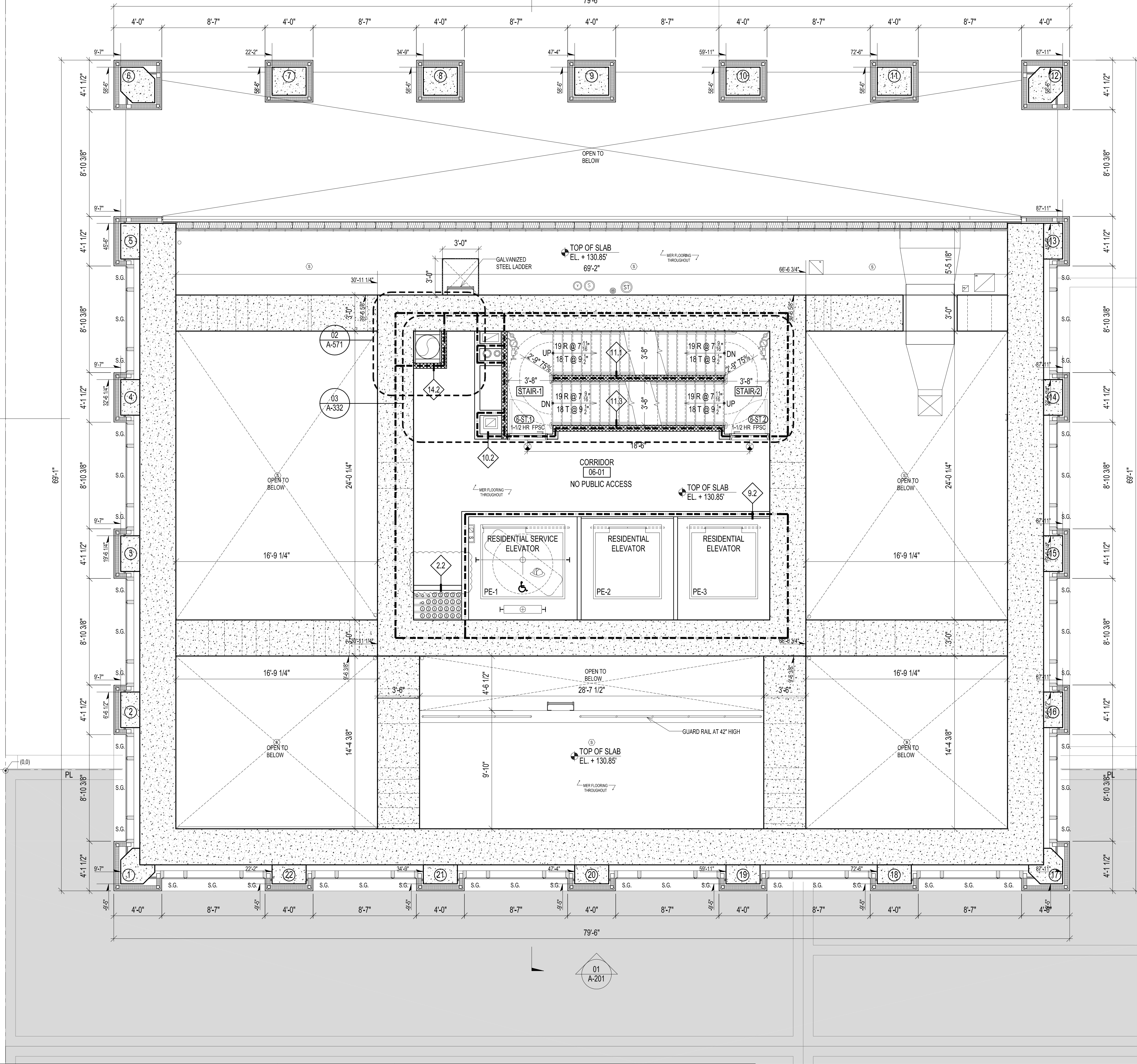
A-105.02

SHEET NUMBER:

2016 RAFAEL VINOLY ARCHITECTS

FIFTH AVENUE
(BELOW)

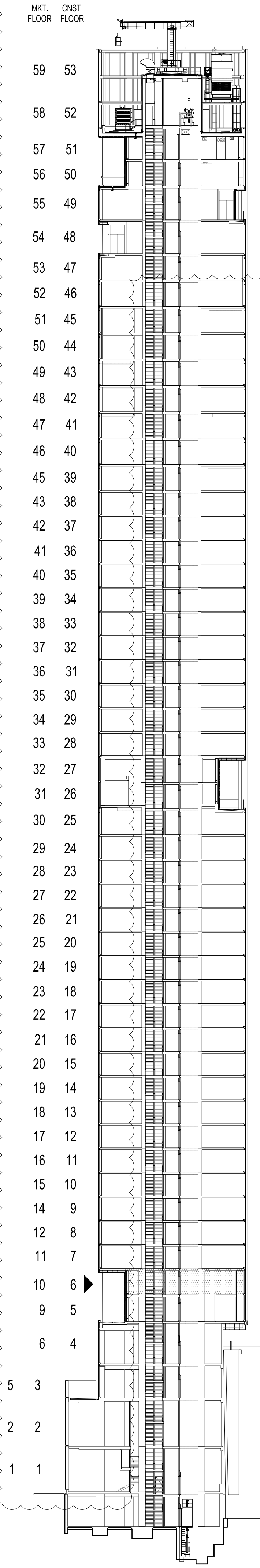
EAST 30TH STREET
(BELOW)



EGRESS CALCULATIONS				EGRESS WIDTH PER OCCUPANT SERVED PER BC 1005.1				NUMBER OF EXITS PER BC 1015.1				LEGEND			
AREA NAME	CLASS	AREA (SF)	FLR AREA PER OCC.	OCCUPANT LOAD				RESIDENTIAL				1 HOUR RATED	2 HOUR RATED	TRAVEL DISTANT	WALL-MOUNTED EXIT SIGN
								MAXIMUM OCC. LOAD WITH ONE MEANS OF EGRESS 20				XX	XX OP	XX	XX
								OCCUPANCY LOAD 24							
								2 EXITS PROVIDED PER BC 1015.1 AND 1015.1.1, 1018.1							
TOTAL															

MECHANICAL / STRUCTURAL TRANSFER FLOOR PLAN LEVEL 06
SCALE 1/4" = 1'-0"

- GENERAL NOTES
1. THE BUILDING IS IN COMPLIANCE WITH THE SECURITY REQUIREMENTS FOR DOORS AND WINDOWS PER BC 1006.4.1, 1008.4.2, 1008.4.3, AND 1008.4.4.
 2. THE STRUCTURAL DESIGN OF THE BUILDING IS IN COMPLIANCE WITH BC 1801, 1805.3, 2201, AND 901.5.6.
 3. EXIT SIGNS TO BE PROVIDED PER BC 1006, BC 1011, AND BC 1025.
 4. CARBON MONOXIDE DETECTORS PROVIDED PER BC 908.7.
 5. ALL ELECTRICAL CLOSET PIPING SHALL BE FIRE-STOP (FLOOR TO FLOOR).
 6. REFUSE CHUTE IN COMPLIANCE WITH BC 1213.3 AND BC 708.13.
 7. REFUSE ROOM IN COMPLIANCE WITH BC 1213.1.
 8. SPRINKLERED OPENINGS PROTECTED BY APPROVED WATER CURTAIN USING AUTOMATIC SPRINKLERS APPROVED FOR THIS USE AS PER NFPA 13 SECTION 715.8.2.



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NYC DEPT. OF BUILDINGS
PAA #2

ARCHITECT'S SEAL
Areg Asatryan, RA
U. Asatryan
APPROVED
Amended Application
Date: 04/19/2018
NYC Development Hub

09/08/2017 PAA #2
02/24/2017 PAA #1
04/08/2016 DOB SUBMITTAL
01/18/2016 FOUNDATION BID
12/23/2015 SCHEMATIC DESIGN

ISSUE NO. DATE DESCRIPTION

30TH STREET
5TH AVENUE
KEY PLAN AND NORTH SIGN
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SCALE 1/4" = 1'-0"

MECH/STRUCTURAL
TRANSFER FLOOR
PLAN LEVEL 06

SHEET TITLE:
A-106.02

SHEET NUMBER:

EAST 30TH STREET
(BELOW)

LIGHT & AIR CALCULATIONS:
ROOM AREA: 369.0 SQ. FT.
-REQD LIGHT: 369.0 SQ. FT. x 10% = 36.9 SQ. FT
PROVIDED LIGHT: 251.1 SQ. FT
-REQD AIR: 369.0 SQ. FT. x 2.5% = 9.2 SQ. FT(MIN.)
PROVIDED AIR: 11.6 SQ. FT

LIGHT & AIR CALCULATIONS:
ROOM AREA: 145.0 SQ. FT.
-REQD LIGHT: 145.0 SQ. FT. x 10% = 14.5 SQ. FT
PROVIDED LIGHT: 83.7 SQ. FT
-REQD AIR: 145.0 SQ. FT. x 2.5% = 3.6 SQ. FT(MIN.)
PROVIDED AIR: 5.8 SQ. FT

LIGHT & AIR CALCULATIONS:
ROOM AREA: 127.6 SQ. FT.
-REQD LIGHT: 127.6 SQ. FT. x 10% = 12.8 SQ. FT
PROVIDED LIGHT: 83.7 SQ. FT
-REQD AIR: 127.6 SQ. FT. x 2.5% = 3.2 SQ. FT(MIN.)
PROVIDED AIR: 5.8 SQ. FT

LIGHT & AIR CALCULATIONS:
ROOM AREA: 281.3 SQ. FT.
-REQD LIGHT: 281.3 SQ. FT. x 10% = 28.1 SQ. FT
PROVIDED LIGHT: 167.4 SQ. FT
-REQD AIR: 281.3 SQ. FT. x 2.5% = 7.0 SQ. FT(MIN.)
PROVIDED AIR: 11.6 SQ. FT

LIGHT & AIR CALCULATIONS:
ROOM AREA: 279.6 SQ. FT.
-REQD LIGHT: 279.6 SQ. FT. x 10% = 28.0 SQ. FT
PROVIDED LIGHT: 83.7 SQ. FT
-REQD AIR: 279.6 SQ. FT. x 2.5% = 7.0 SQ. FT(MIN.)
PROVIDED AIR: 11.6 SQ. FT

LIGHT & AIR CALCULATIONS:
ROOM AREA: 147.6 SQ. FT.
-REQD LIGHT: 147.6 SQ. FT. x 10% = 14.8 SQ. FT
PROVIDED LIGHT: 83.7 SQ. FT
-REQD AIR: 147.6 SQ. FT. x 2.5% = 3.7 SQ. FT(MIN.)
PROVIDED AIR: 5.8 SQ. FT

LIGHT & AIR CALCULATIONS:
ROOM AREA: 302.0 SQ. FT.
-REQD LIGHT: 302.0 SQ. FT. x 10% = 30.2 SQ. FT
PROVIDED LIGHT: 251.1 SQ. FT
-REQD AIR: 302.0 SQ. FT. x 2.5% = 7.6 SQ. FT(MIN.)
PROVIDED AIR: 11.6 SQ. FT

LIGHT & AIR CALCULATIONS:
ROOM AREA: 125.5 SQ. FT.
-REQD LIGHT: 125.5 SQ. FT. x 10% = 12.6 SQ. FT
PROVIDED LIGHT: 83.7 SQ. FT
-REQD AIR: 125.5 SQ. FT. x 2.5% = 3.1 SQ. FT(MIN.)
PROVIDED AIR: 5.8 SQ. FT

LIGHT & AIR CALCULATIONS:
ROOM AREA: 143.7 SQ. FT.
-REQD LIGHT: 143.7 SQ. FT. x 10% = 14.4 SQ. FT
PROVIDED LIGHT: 83.7 SQ. FT
-REQD AIR: 143.7 SQ. FT. x 2.5% = 3.6 SQ. FT(MIN.)
PROVIDED AIR: 5.8 SQ. FT

LIGHT & AIR CALCULATIONS:
ROOM AREA: 137.9 SQ. FT.
-REQD LIGHT: 137.9 SQ. FT. x 10% = 13.8 SQ. FT
PROVIDED LIGHT: 167.4 SQ. FT
-REQD AIR: 137.9 SQ. FT. x 2.5% = 3.4 SQ. FT(MIN.)
PROVIDED AIR: 5.8 SQ. FT

- GENERAL NOTES
1. THE BUILDING IS IN COMPLIANCE WITH THE SECURITY REQUIREMENTS FOR DOORS AND WINDOWS PER BC 1008.4.1, 1008.4.2, 1008.4.3, AND 1008.4.4.
 2. THE STRUCTURAL DESIGN OF THE BUILDING IS IN COMPLIANCE WITH BC 1801, 1805.5, 2201, AND 901.5.6.
 3. EXIT SIGNS TO BE PROVIDED PER BC 1006, BC 1011, AND BC 1025.
 4. CARBON MONOXIDE DETECTORS PROVIDED PER BC 908.7.
 5. ALL ELECTRICAL CLOSET PIPING SHALL BE FIRE-STOP (FLOOR TO FLOOR).
 6. REFUSE CHUTE IN COMPLIANCE WITH BC 1213.3 AND BC 708.13.
 7. REFUSE ROOM IN COMPLIANCE WITH BC 1213.1.
 8. SPRINKLER OPENINGS PROTECTED BY APPROVED WATER CURTAIN USING AUTOMATIC SPRINKLERS APPROVED FOR THIS USE AS PER NFPA 13 SECTION 715.8.2.

OWNER:
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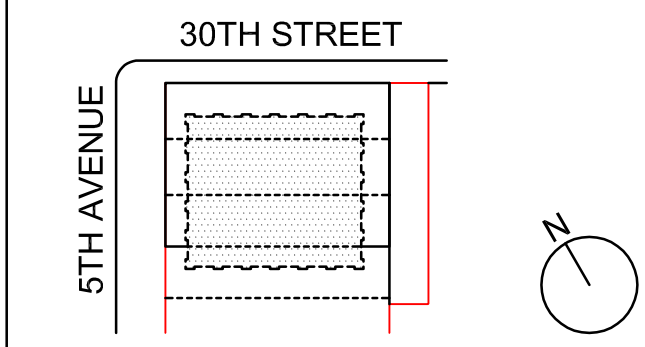
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NYC DEPT. OF BUILDINGS
PAA #2

ARCHITECT'S SEAL
Areg Asatryan, RA
U. Asatryan
APPROVED
Date: 04/19/2018
NYC Development Hub

09/08/2017 PAA #2
02/24/2017 PAA #1
04/08/2016 DOB SUBMITTAL
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ISSUE NO. DATE DESCRIPTION



KEY PLAN AND NORTH SIGN
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0 4 8
SCALE 1/4" = 1'-0"

RESIDENTIAL
FLOOR PLAN
LEVEL 07

SHEET TITLE:

A-107.02
SHEET NUMBER:

EGRESS CALCULATIONS				
OCCUPANCY PER BC 1004.1.1				
AREA NAME	CLASS	AREA (SF)	FLR AREA PER OCC.	OCCUPANT LOAD
UNIT A	R-2	1349	200 SF GROSS	7
UNIT B	R-2	846	200 SF GROSS	5
UNIT C	R-2	827	200 SF GROSS	5
UNIT D	R-2	1373	200 SF GROSS	7
TOTAL				24

EGRESS WIDTH PER OCCUPANT SERVED PER BC 1005.1			
STAIR REQUIRED	DOOR REQUIRED	CORRIDOR REQUIRED	
0.3" X 24" X 7.2"	MIN. 2' X 4" X 8"	MIN. REQUIRED 44"	
STAIR PROVIDED	STAIR PROVIDED	STAIR PROVIDED	
2' X 44" = 88"	2' X 36" = 72"	PROVIDED 72"	

NUMBER OF EXITS PER BC 1015.1	
RESIDENTIAL	
MAXIMUM OCC. LOAD WITH ONE MEANS OF EGRESS 20	
OCCUPANCY LOAD 24	
2 EXITS PROVIDED PER BC 1015.1 AND 1015.1.1, 1018.1	

LEGEND	
1 HOUR RATED	XX DOOR TAG
2 HOUR RATED	XX WINDOW TAG
TRAVEL DISTANT	XX PARTITION TAG
WALL-MOUNTED EXIT SIGN	SMOKE / CARBON MONOXIDE DETECTOR ON THE CEILING
CEILING-MOUNTED EXIT SIGN	SMOKE DETECTOR ON THE CEILING
	# FIRE SHUTTER
	⦿ FIRE SERVICE ACCESS ELEVATOR

RESIDENTIAL FLOOR PLAN LEVEL 07
SCALE 1/4" = 1'-0"

FLOOR LOCATION DIAGRAM
SCALE 1/32" = 1'-0"

EAST 30TH STREET
(BELOW)

LIGHT & AIR CALCULATIONS:
ROOM AREA: 369.0 SQ. FT.
-REQ'D LIGHT: 369.0 SQ. FT. x 10% = 36.9 SQ. FT
PROVIDED LIGHT: 251.1 SQ. FT
-REQ'D AIR: 369.0 SQ. FT. x 2.5% = 9.2 SQ. FT(MIN.)
PROVIDED AIR: 11.6 SQ. FT

LIGHT & AIR CALCULATIONS:
ROOM AREA: 145.0 SQ. FT.
-REQ'D LIGHT: 145.0 SQ. FT. x 10% = 14.5 SQ. FT
PROVIDED LIGHT: 83.7 SQ. FT
-REQ'D AIR: 145.0 SQ. FT. x 2.5% = 3.6 SQ. FT(MIN.)
PROVIDED AIR: 5.8 SQ. FT

LIGHT & AIR CALCULATIONS:
ROOM AREA: 127.6 SQ. FT.
-REQ'D LIGHT: 127.6 SQ. FT. x 10% = 12.8 SQ. FT
PROVIDED LIGHT: 83.7 SQ. FT
-REQ'D AIR: 127.6 SQ. FT. x 2.5% = 3.2 SQ. FT(MIN.)
PROVIDED AIR: 5.8 SQ. FT

LIGHT & AIR CALCULATIONS:
ROOM AREA: 281.3 SQ. FT.
-REQ'D LIGHT: 281.3 SQ. FT. x 10% = 28.1 SQ. FT
PROVIDED LIGHT: 251.1 SQ. FT
-REQ'D AIR: 281.3 SQ. FT. x 2.5% = 7.0 SQ. FT(MIN.)
PROVIDED AIR: 11.6 SQ. FT

LIGHT & AIR CALCULATIONS:
ROOM AREA: 297.4 SQ. FT.
-REQ'D LIGHT: 297.4 SQ. FT. x 10% = 29.7 SQ. FT
PROVIDED LIGHT: 187.4 SQ. FT
-REQ'D AIR: 297.4 SQ. FT. x 2.5% = 7.4 SQ. FT(MIN.)
PROVIDED AIR: 11.6 SQ. FT

LIGHT & AIR CALCULATIONS:
ROOM AREA: 149.4 SQ. FT.
-REQ'D LIGHT: 149.4 SQ. FT. x 10% = 14.9 SQ. FT
PROVIDED LIGHT: 167.4 SQ. FT
-REQ'D AIR: 149.4 SQ. FT. x 2.5% = 3.7 SQ. FT(MIN.)
PROVIDED AIR: 5.8 SQ. FT

LIGHT & AIR CALCULATIONS:
ROOM AREA: 126.4 SQ. FT.
-REQ'D LIGHT: 126.4 SQ. FT. x 10% = 12.6 SQ. FT
PROVIDED LIGHT: 83.7 SQ. FT
-REQ'D AIR: 126.4 SQ. FT. x 2.5% = 3.2 SQ. FT(MIN.)
PROVIDED AIR: 5.8 SQ. FT

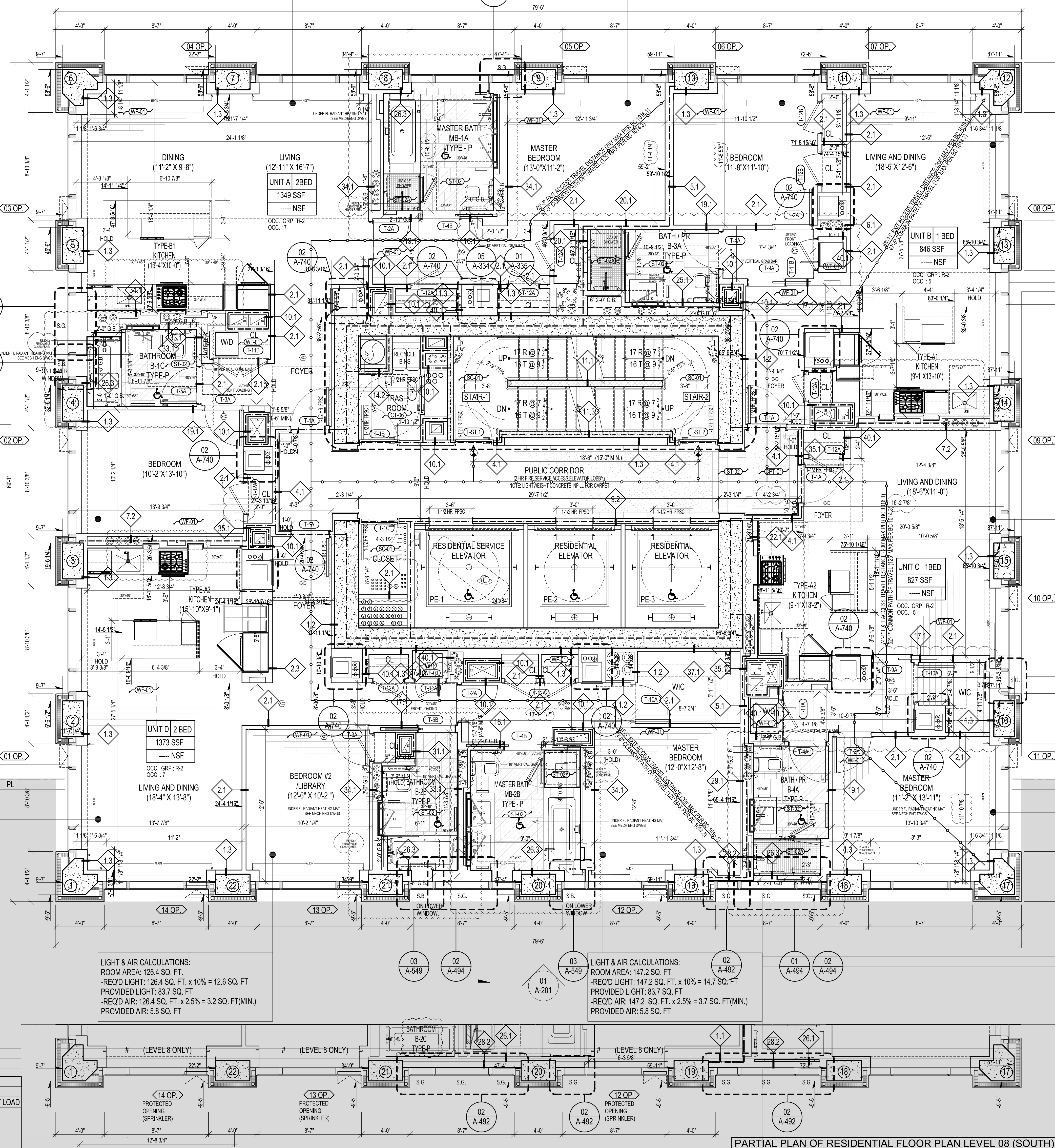
LIGHT & AIR CALCULATIONS:
ROOM AREA: 147.2 SQ. FT.
-REQ'D LIGHT: 147.2 SQ. FT. x 10% = 14.7 SQ. FT
PROVIDED LIGHT: 83.7 SQ. FT
-REQ'D AIR: 147.2 SQ. FT. x 2.5% = 3.7 SQ. FT(MIN.)
PROVIDED AIR: 5.8 SQ. FT

LVL	T.O.S. ELEV.	T.O.S. ELEV. @ ST-1 AND ST-2
08	153.83'	153.95'
09	164.81'	164.93'
10	175.79'	175.91'
11	186.77'	186.89'
12	197.75'	197.86'
13	208.73'	208.84'
14	219.71'	219.82'
15	230.69'	230.80'
16	241.67'	241.78'
17	252.65'	252.76'
18	263.63'	263.74'
19	274.60'	274.72'
20	285.58'	285.70'
21	296.56'	296.68'
22	307.54'	307.66'
23	318.52'	318.64'
24	329.50'	329.61'
25	340.48'	340.59'

LIGHT & AIR CALCULATIONS:
ROOM AREA: 310.8 SQ. FT.
-REQ'D LIGHT: 310.8 SQ. FT. x 10% = 31.1 SQ. FT
PROVIDED LIGHT: 251.1 SQ. FT
-REQ'D AIR: 310.8 SQ. FT. x 2.5% = 7.8 SQ. FT(MIN.)
PROVIDED AIR: 11.6 SQ. FT

EGRESS CALCULATIONS
OCCUPANCY PER BC 1004.1.1
AREA NAME | CLASS | AREA (SF) | FLR AREA PER OCC. | OCCUPANT LOAD
REFER TO A-107.00

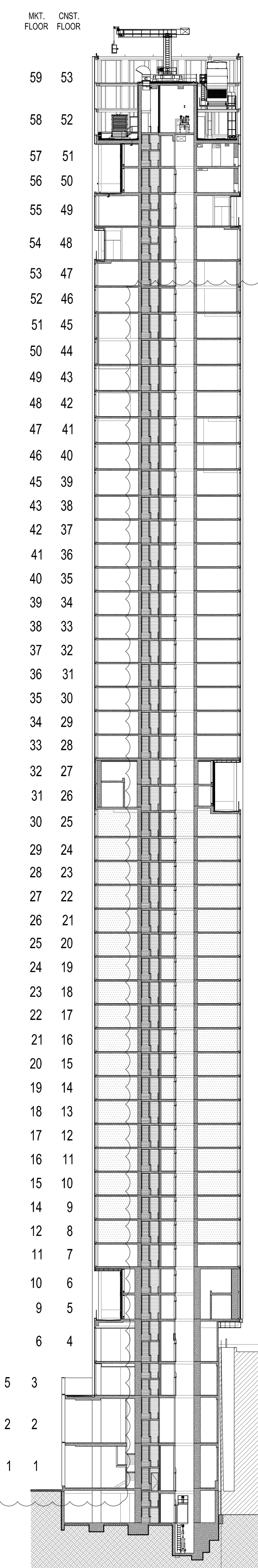
TOTAL



PARTIAL PLAN OF RESIDENTIAL FLOOR PLAN LEVEL 08 (SOUTH)

RESIDENTIAL FLOOR PLAN LEVEL 08-25 (TIER 1)
SCALE 1/4" = 1'-0"

- GENERAL NOTES
1. THE BUILDING IS IN COMPLIANCE WITH THE SECURITY REQUIREMENTS FOR DOORS AND WINDOWS PER BC 1008.4.1, 1008.4.2, 1008.4.3, AND 1008.4.4.
 2. THE STRUCTURAL DESIGN OF THE BUILDING IS IN COMPLIANCE WITH BC 1801, 1805.3, 2001, AND 901.5.6.
 3. EXIT SIGNS TO BE PROVIDED PER BC 1006, BC 1011, AND BC 1025.
 4. CARBON MONOXIDE DETECTORS PROVIDED PER BC 908.7.
 5. ALL ELECTRICAL CLOSET PIPING SHALL BE FIRE-STOP (FLOOR TO FLOOR).
 6. REFUSE CHUTE IN COMPLIANCE WITH BC 1213.3 AND BC 708.13.
 7. REFUSE ROOM IN COMPLIANCE WITH BC 1151.1.
 8. SPRINKLER OPENINGS PROTECTED BY APPROVED WATER CURTAIN USING AUTOMATIC SPRINKLERS APPROVED FOR THIS USE AS PER NFPA 13 SECTION 715.8.2.



277

Fifth Avenue

NEW YORK, NY

OWNER:
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CONSTRUCTION MANAGER:
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SPECIFICATIONS CONSULTANT:
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BEERS INTERIORS
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NEW YORK, NY 10010
TEL: 212 352 2020

NYC DEPT. OF BUILDINGS
PAA #2

ARCHITECT'S SEAL

Areg Asatryan, RA

U. Asatryan

APPROVED

DATE: 04/19/2018

NYC Development Hub

09/08/2017 PAA #2

02/24/2017 PAA #1

04/08/2016 DOB SUBMITTAL

01/18/2016 FOUNDATION BID

12/23/2015 SCHEMATIC DESIGN

ISSUE NO. DATE DESCRIPTION

30TH STREET

5TH AVENUE

KEY PLAN AND NORTH SIGN

IF THIS DRAWING IS NOT 42" X 30" IT IS A REDUCED PRINT; REFER TO GRAPHIC SCALE

SCALE 1/4" = 1'-0"

RESIDENTIAL FLOOR PLAN (TIER 1)
LEVEL 08-25

SHEET TITLE:
A-108.02

SHEET NUMBER:

1 PL

2

3

4

5

6

EAST 30TH STREET
(BELOW)

PL

- GENERAL NOTES
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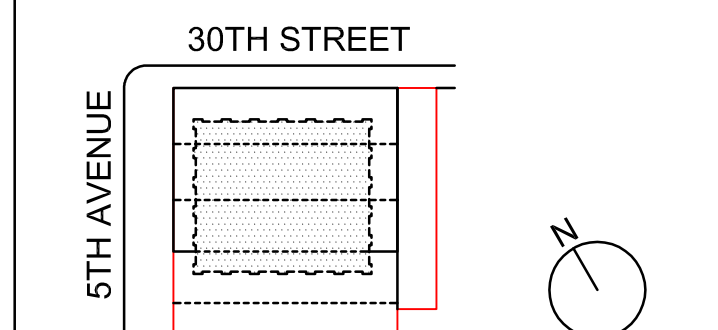
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KEY PLAN AND NORTH SIGN
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SCALE 1/4" = 1'-0"

MECHANICAL
FLOOR PLAN
LEVEL 26

SHEET TITLE:

A-109.02

SHEET NUMBER:

EGRESS CALCULATIONS					EGRESS WIDTH PER OCCUPANT SERVED PER BC 1005.1					NUMBER OF EXITS PER BC 1015.1					LEGEND				
OCCUPANCY PER BC 1004.1.1										RESIDENTIAL									
AREA NAME	CLASS	AREA (SF)	FLR AREA PER OCC.	OCCUPANT LOAD															
ELECTRICAL ROOM 1	F-2	268	300 SF NET	1															
ELECTRICAL ROOM 2	F-2	69	300 SF NET	1															
ELECTRICAL ROOM 3	F-2	256	300 SF NET	1															
ELECTRICAL ROOM 4	F-2	330	300 SF NET	2															
ELECTRICAL ROOM 5	F-2	450	300 SF NET	2															
ELECTRICAL ROOM 6	F-2	180	300 SF NET	1															
TOTAL				8															

STAIR REQUIRED 0.2' X 8' = 2.4'	DOOR REQUIRED 0.2' X 8' = 1.0'	CORRIDOR REQUIRED MIN. REQUIRED 44"
STAIR PROVIDED 2' X 44" = 88"	STAIR PROVIDED 2' X 36" = 72"	STAIR PROVIDED 2' X 36" = 72"

MAXIMUM OCC. LOAD WITH ONE MEANS OF EGRESS 20	OCCUPANCY LOAD 24
2 EXITS PROVIDED PER BC 1015.1 AND 1015.1.1, 1018.1	

1 HOUR RATED	DOOR TAG	SMOKE / CARBON MONOXIDE DETECTOR ON THE CEILING
2 HOUR RATED	WINDOW TAG	SMOKE DETECTOR ON THE CEILING
TRAVEL DISTANT	PARTITION TAG	FIRE SHUTTER
WALL-MOUNTED EXIT SIGN		FIRE SERVICE ACCESS ELEVATOR
CEILING-MOUNTED EXIT SIGN		

MECHANICAL FLOOR PLAN LEVEL 26
SCALE 1/4" = 1'-0"

FLOOR LOCATION DIAGRAM
SCALE 1/32" = 1'-0"

FLOOR LOCATION DIAGRAM	01
SCALE 1/32" = 1'-0"	

EAST 30TH STREET
(BELOW)

LIGHT & AIR CALCULATIONS:
ROOM AREA: 125.6 SQ. FT.
-REQ'D LIGHT: 125.6 SQ. FT. x 10% = 12.6 SQ. FT.
PROVIDED LIGHT: 83.7 SQ. FT.
-REQ'D AIR: 125.6 SQ. FT. x 2.5% = 3.14 SQ. FT.(MIN.)
PROVIDED AIR: 5.8 SQ. FT.

LIGHT & AIR CALCULATIONS:
ROOM AREA: 156.8 SQ. FT.
-REQ'D LIGHT: 156.8 SQ. FT. x 10% = 15.7 SQ. FT.
PROVIDED LIGHT: 83.7 SQ. FT.
-REQ'D AIR: 156.8 SQ. FT. x 2.5% = 3.9 SQ. FT.(MIN.)
PROVIDED AIR: 5.8 SQ. FT.

LIGHT & AIR CALCULATIONS:
ROOM AREA: 153.2 SQ. FT.
-REQ'D LIGHT: 153.2 SQ. FT. x 10% = 15.3 SQ. FT.
PROVIDED LIGHT: 167.4 SQ. FT.
-REQ'D AIR: 153.2 SQ. FT. x 2.5% = 3.8 SQ. FT.(MIN.)
PROVIDED AIR: 5.8 SQ. FT.

- GENERAL NOTES
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 7. REFUSE ROOM IN COMPLIANCE WITH BC 1213.1.
 8. SPRINKLERED OPENINGS PROTECTED BY APPROVED WATER CURTAIN USING AUTOMATIC SPRINKLERS APPROVED FOR THIS USE AS PER NFPA 13 SECTION 715.8.2.

LIGHT & AIR CALCULATIONS:
ROOM AREA: 556.4 SQ. FT.
-REQ'D LIGHT: 556.4 SQ. FT. x 10% = 55.6 SQ. FT.
PROVIDED LIGHT: 334.8 SQ. FT.
-REQ'D AIR: 556.4 SQ. FT. x 2.5% = 13.9 SQ. FT.(MIN.)
PROVIDED AIR: 17.4 SQ. FT.

LVL	T.O.S. ELEV.	T.O.S. ELEV. @ ST-1 AND ST-2
36	464.31'	464.43'
37	475.29'	475.41'
38	486.27'	486.39'
39	497.25'	497.36'

LIGHT & AIR CALCULATIONS:
ROOM AREA: 407.3 SQ. FT.
-REQ'D LIGHT: 407.3 SQ. FT. x 10% = 40.7 SQ. FT.
PROVIDED LIGHT: 334.8 SQ. FT.
-REQ'D AIR: 407.3 SQ. FT. x 2.5% = 10.2 SQ. FT.(MIN.)
PROVIDED AIR: 17.4 SQ. FT.

LIGHT & AIR CALCULATIONS:
ROOM AREA: 126.9 SQ. FT.
-REQ'D LIGHT: 126.9 SQ. FT. x 10% = 12.7 SQ. FT.
PROVIDED LIGHT: 83.7 SQ. FT.
-REQ'D AIR: 126.9 SQ. FT. x 2.5% = 3.2 SQ. FT.(MIN.)
PROVIDED AIR: 5.8 SQ. FT.

LIGHT & AIR CALCULATIONS:
ROOM AREA: 154.8 SQ. FT.
-REQ'D LIGHT: 154.8 SQ. FT. x 10% = 15.5 SQ. FT.
PROVIDED LIGHT: 83.7 SQ. FT.
-REQ'D AIR: 154.8 SQ. FT. x 2.5% = 3.9 SQ. FT.(MIN.)
PROVIDED AIR: 5.8 SQ. FT.

LIGHT & AIR CALCULATIONS:
ROOM AREA: 115.4 SQ. FT.
-REQ'D LIGHT: 115.4 SQ. FT. x 10% = 11.5 SQ. FT.
PROVIDED LIGHT: 83.7 SQ. FT.
-REQ'D AIR: 115.4 SQ. FT. x 2.5% = 2.9 SQ. FT.(MIN.)
PROVIDED AIR: 5.8 SQ. FT.

LIGHT & AIR CALCULATIONS:
ROOM AREA: 378.4 SQ. FT.
-REQ'D LIGHT: 378.4 SQ. FT. x 10% = 37.8 SQ. FT.
PROVIDED LIGHT: 334.8 SQ. FT.
-REQ'D AIR: 378.4 SQ. FT. x 2.5% = 9.46 SQ. FT.(MIN.)
PROVIDED AIR: 11.6 SQ. FT.

1203.4.1.2.1 MINIMUM OPENING.

EXCEPTION 1.

WHERE FRESH AIR IS FURNISHED IN ANY HABITABLE ROOM OR SPACE BY MECHANICAL MEANS SUPPLYING A MIN. OF 40 CUBIC FT PER MINUTE (0.02 M3/S), THE FREE OPENABLE AREA OF THE OPENINGS MAY BE REDUCED TO 2.5% OF THE FLOOR AREA BUT EACH SUCH OPENING SHALL PROVIDE NOT LESS THAN 5.5 SQ. FT. (0.51 M2) OF OPENABLE AREA.

EGRESS CALCULATIONS				
OCCUPANCY PER BC 1004.1.1				
AREA NAME	CLASS	AREA (SF)	FLR AREA PER OCC.	OCCUPANT LOAD
UNIT A	R-2	1555	200 SF GROSS	8
UNIT B	R-2	1421	200 SF GROSS	8
UNIT C	R-2	1479	200 SF GROSS	8
TOTAL				24

EGRESS WIDTH PER OCCUPANT SERVED PER BC 1005.1			
STAIR REQUIRED	DOOR REQUIRED	CORRIDOR REQUIRED	
0.3' X 24' X 7.2'	0.2' X 24' X 4.0'	MIN. REQUIRED 44"	
STAIR PROVIDED 2' X 44" = 88"	STAIR PROVIDED 2' X 36" = 72"	STAIR PROVIDED 72"	

NUMBER OF EXITS PER BC 1015.1	
RESIDENTIAL	
MAXIMUM OCC. LOAD WITH ONE MEANS OF EGRESS 20	
OCCUPANCY LOAD 24	
2 EXITS PROVIDED PER BC 1015.1 AND 1015.1.1, 1018.1	

LEGEND	
1 HOUR RATED	2 HOUR RATED
TRAVEL DISTANT	WALL-MOUNTED EXIT SIGN
CEILING-MOUNTED EXIT SIGN	

XX	DOOR TAG
XX OP	WINDOW TAG
XX	PARTITION TAG

SC	SMOKE / CARBON MONOXIDE DETECTOR ON THE CEILING
S	SMOKE DETECTOR ON THE CEILING
#	FIRE SHUTTER
FE	FIRE SERVICE ACCESS ELEVATOR

RESIDENTIAL FLOOR PLAN LEVEL 36-39 (TIER 3)
SCALE 1/4" = 1'-0"

FLOOR LOCATION DIAGRAM
SCALE 1/32" = 1'-0"

277
Fifth Avenue
NEW YORK, NY

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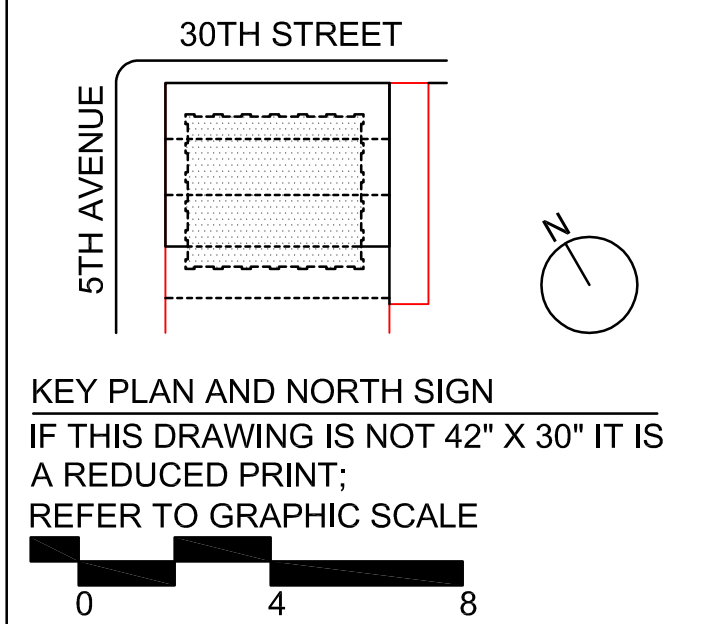
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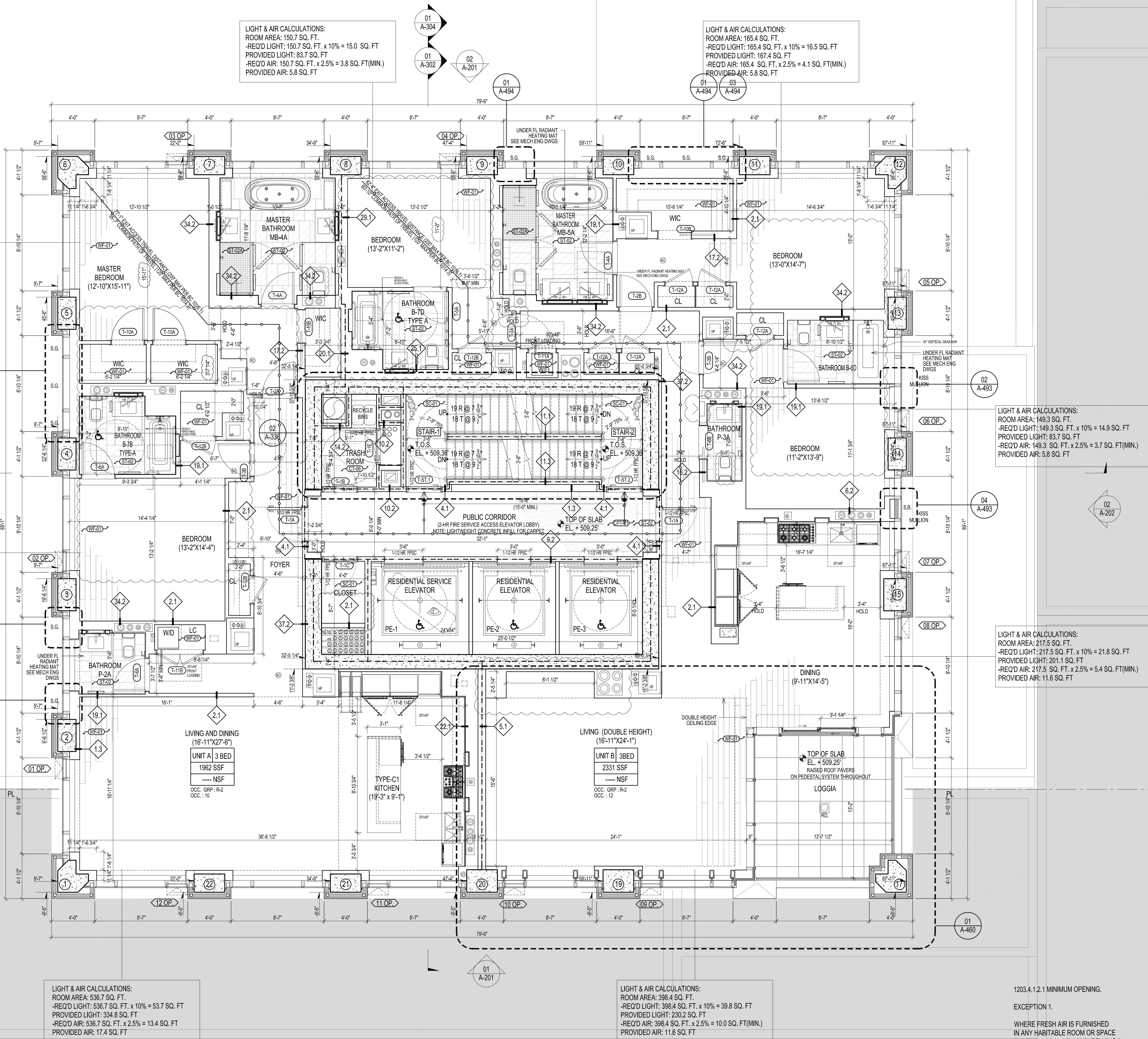
RESIDENTIAL
FLOOR PLAN
LEVEL 36-39

SHEET TITLE:
A-112.02
SHEET NUMBER:

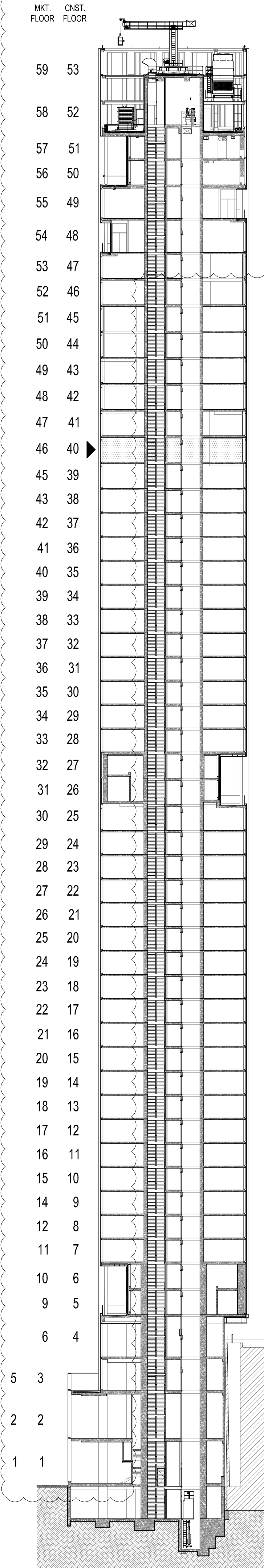
EAST 30TH STREET
(BELOW)

LIGHT & AIR CALCULATIONS:
ROOM AREA: 198.7 SQ. FT.
-REQ'D LIGHT: 198.7 SQ. FT. x 10% = 19.8 SQ. FT.
PROVIDED LIGHT: 167.4 SQ. FT.
-REQ'D AIR: 198.7 SQ. FT. x 2.5% = 5.0 SQ. FT.(MIN.)
PROVIDED AIR: 5.8 SQ. FT.

LIGHT & AIR CALCULATIONS:
ROOM AREA: 149.5 SQ. FT.
-REQ'D LIGHT: 149.5 SQ. FT. x 10% = 14.9 SQ. FT.
PROVIDED LIGHT: 83.7 SQ. FT.
-REQ'D AIR: 149.5 SQ. FT. x 2.5% = 3.7 SQ. FT.(MIN.)
PROVIDED AIR: 5.8 SQ. FT.



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EGRESS CALCULATIONS				
OCCUPANCY PER BC 1004.1.1				
AREA NAME	CLASS	AREA (SF)	FLR AREA PER OCC.	OCCUPANT LOAD
UNIT A	R-2	1982	200 SF GROSS	10
UNIT B	R-2	2331	200 SF GROSS	12
TOTAL				22

EGRESS WIDTH PER OCCUPANT SERVED PER BC 1005.1			
STAIR REQUIRED	DOOR REQUIRED	CORRIDOR REQUIRED	
0.7' X 22' = 6.0'	0.7' X 22' = 6.0'	MIN. REQUIRED 44"	
STAIR PROVIDED	STAIR PROVIDED	PROVIDED 72"	
2 X 44" = 88"	2 X 36" = 72"		

NUMBER OF EXITS PER BC 1015.1	
RESIDENTIAL	
MAXIMUM OCC. LOAD WITH ONE MEANS OF EGRESS 20	
OCCUPANCY LOAD 22	
2 EXITS PROVIDED PER BC 1015.1 AND 1015.1.1, 1018.1	

LEGEND	
1 HOUR RATED	DOOR TAG
2 HOUR RATED	WINDOW TAG
TRAVEL DISTANT	PARTITION TAG
WALL-MOUNTED EXIT SIGN	
CEILING-MOUNTED EXIT SIGN	
SMOKE / CARBON MONOXIDE DETECTOR ON THE CEILING	
SMOKE DETECTOR ON THE CEILING	
FIRE SHUTTER	
FIRE SERVICE ACCESS ELEVATOR	

RESIDENTIAL FLOOR PLAN LEVEL 40
SCALE 1/4" = 1'-0"

FLOOR LOCATION DIAGRAM
SCALE 1/32" = 1'-0"

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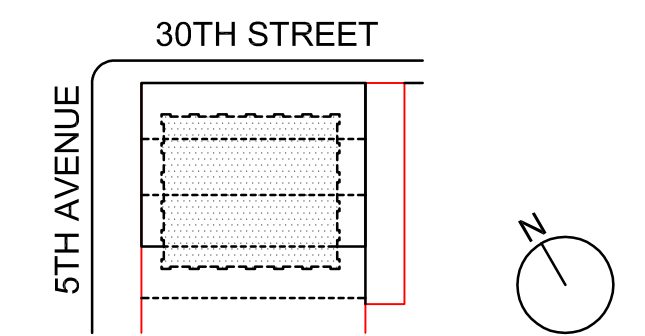
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APPROVED
Under the provisions of the
AMENDED APPLICATION
Date: 04/19/2018
NYC Development Hub

09/08/2017 PAA #2
02/24/2017 PAA #1
04/08/2016 DOB SUBMITTAL
01/18/2016 FOUNDATION BID
12/23/2015 SCHEMATIC DESIGN
ISSUE NO. DATE DESCRIPTION



KEY PLAN AND NORTH SIGN
IF THIS DRAWING IS NOT 42" X 30" IT IS
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REFER TO GRAPHIC SCALE

SCALE 1/4" = 1'-0"

RESIDENTIAL FLOOR
PLAN LEVEL 40

SHEET TITLE :

A-113.02

SHEET NUMBER :

EAST 30TH STREET
(BELOW)

PL

LIGHT & AIR CALCULATIONS:
ROOM AREA: 189.7 SQ. FT.
-REQ'D LIGHT: 189.7 SQ. FT. x 10% = 19.0 SQ. FT.
PROVIDED LIGHT: 167.4 SQ. FT.
-REQ'D AIR: 189.7 SQ. FT. x 2.5% = 4.7 SQ. FT.(MIN.)
PROVIDED AIR: 5.8 SQ. FT.

LIGHT & AIR CALCULATIONS:
ROOM AREA: 149.5 SQ. FT.
-REQ'D LIGHT: 149.5 SQ. FT. x 10% = 14.9 SQ. FT.
PROVIDED LIGHT: 83.7 SQ. FT.
-REQ'D AIR: 149.5 SQ. FT. x 2.5% = 3.7 SQ. FT.(MIN.)
PROVIDED AIR: 5.8 SQ. FT.

LIGHT & AIR CALCULATIONS:
ROOM AREA: 111.7 SQ. FT. x 10% = 11.2 SQ. FT.
PROVIDED LIGHT: 83.7 SQ. FT.
-REQ'D AIR: 111.7 SQ. FT. x 2.5% = 2.8 SQ. FT.(MIN.)
PROVIDED AIR: 5.8 SQ. FT.

LIGHT & AIR CALCULATIONS:
ROOM AREA: 117.5 SQ. FT. x 10% = 11.8 SQ. FT.
PROVIDED LIGHT: 83.7 SQ. FT.
-REQ'D AIR: 117.5 SQ. FT. x 2.5% = 2.9 SQ. FT.(MIN.)
PROVIDED AIR: 5.8 SQ. FT.

LIGHT & AIR CALCULATIONS:
ROOM AREA: 424.8 SQ. FT. x 10% = 42.5 SQ. FT.
PROVIDED LIGHT: 251.1 SQ. FT.
-REQ'D AIR: 424.8 SQ. FT. x 2.5% = 10.6 SQ. FT.(MIN.)
PROVIDED AIR: 11.6 SQ. FT.

GENERAL NOTES

1. THE BUILDING IS IN COMPLIANCE WITH THE SECURITY REQUIREMENTS FOR DOORS AND WINDOWS PER BC 1008.4.1, 1008.4.2, 1008.4.3, AND 1008.4.4.
2. THE STRUCTURAL DESIGN OF THE BUILDING IS IN COMPLIANCE WITH BC 1801, 1805.3, 2201, AND 901.5.6.
3. EXIT SIGNS TO BE PROVIDED PER BC 1006, BC 1011, AND BC 1025.
4. CARBON MONOXIDE DETECTORS PROVIDED PER BC 908.7.
5. ALL ELECTRICAL CLOSET PIPING SHALL BE FIRE-STOP (FLOOR TO FLOOR).
6. REFUSE CHUTE IN COMPLIANCE WITH BC 1213.3 AND BC 708.13.
7. REFUSE ROOM IN COMPLIANCE WITH BC 1213.1.
8. SPRINKLER OPENINGS PROTECTED BY APPROVED WATER CURTAIN USING AUTOMATIC SPRINKLERS APPROVED FOR THIS USE AS PER NFPA 13 SECTION 715.8.2.

277
Fifth Avenue
NEW YORK, NY

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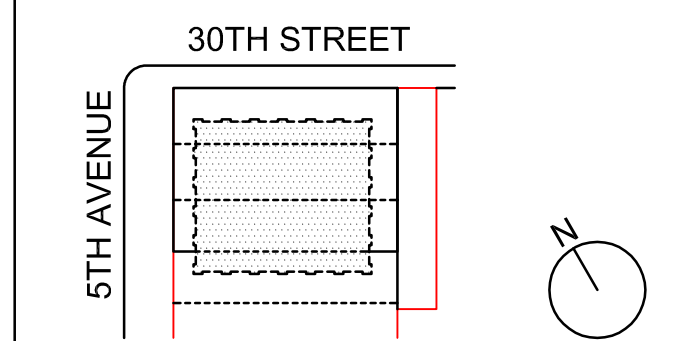
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NYC DEPT. OF BUILDINGS
PAA #2

ARCHITECT'S SEAL

Areg Asatryan, RA
U. Asatryan
APPROVED
AMENDED APPLICATION
Date: 04/19/2018
NYC Development Hub

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RESIDENTIAL FLOOR
PLAN LEVEL 41

SHEET TITLE :

A-114.02

SHEET NUMBER :

EGRESS CALCULATIONS					EGRESS WIDTH PER OCCUPANT SERVED PER BC 1005.1				NUMBER OF EXITS PER BC 1015.1		LEGEND					
OCCUPANCY PER BC 1004.1.1									RESIDENTIAL							
AREA NAME	CLASS	AREA (SF)	FLR AREA PER OCC.	OCCUPANT LOAD												
UNIT A	R-2	2219	200 SF GROSS	12	STAIR REQUIRED 0.7' X 20' = 6.0' STAIR PROVIDED 2' X 46" = 88"	DOOR REQUIRED 0.7' X 20' = 6.0' STAIR PROVIDED 2' X 36" = 72"	CORRIDOR REQUIRED MIN. REQUIRED 44" PROVIDED 72"	MAXIMUM OCC. LOAD WITH ONE MEANS OF EGRESS 20		1 HOUR RATED		XX DOOR TAG		SC SMOKE / CARBON MONOXIDE DETECTOR ON THE CEILING		
UNIT B	R-2	1555	200 SF GROSS	8				OCCUPANCY LOAD 24 2 EXITS PROVIDED PER BC 1015.1 AND 1015.1.1, 1018.1		2 HOUR RATED		XX OP WINDOW TAG		S SMOKE DETECTOR ON THE CEILING		
								TRAVEL DISTANT		XX PARTITION TAG		# FIRE SHUTTER				
							WALL-MOUNTED EXIT SIGN CEILING-MOUNTED EXIT SIGN		EXIT SIGN		FIRE SERVICE ACCESS ELEVATOR					
TOTAL					20											

RESIDENTIAL FLOOR PLAN LEVEL 41
SCALE 1/4" = 1'-0"

FLOOR LOCATION DIAGRAM
SCALE 1/32" = 1'-0"

2016 RAFAEL VINOLY ARCHITECTS

EAST 30TH STREET
(BELOW)

LIGHT & AIR CALCULATIONS:
ROOM AREA: 536.7 SQ. FT.
-REQ'D LIGHT: 536.7 SQ. FT. x 10% = 53.7 SQ. FT.
PROVIDED LIGHT: 334.8 SQ. FT.
-REQ'D AIR: 536.7 SQ. FT. x 2.5% = 13.4 SQ. FT.
PROVIDED AIR: 17.4 SQ. FT.

LIGHT & AIR CALCULATIONS:
ROOM AREA: 398.4 SQ. FT.
-REQ'D LIGHT: 398.4 SQ. FT. x 10% = 39.8 SQ. FT.
PROVIDED LIGHT: 230.2 SQ. FT.
-REQ'D AIR: 398.4 SQ. FT. x 2.5% = 10.0 SQ. FT.(MIN.)
PROVIDED AIR: 11.6 SQ. FT.

LIGHT & AIR CALCULATIONS:
ROOM AREA: 217.5 SQ. FT.
-REQ'D LIGHT: 217.5 SQ. FT. x 10% = 21.8 SQ. FT.
PROVIDED LIGHT: 201.1 SQ. FT.
-REQ'D AIR: 217.5 SQ. FT. x 2.5% = 5.4 SQ. FT.(MIN.)
PROVIDED AIR: 11.6 SQ. FT.

LIGHT & AIR CALCULATIONS:
ROOM AREA: 149.5 SQ. FT.
-REQ'D LIGHT: 149.5 SQ. FT. x 10% = 14.9 SQ. FT.
PROVIDED LIGHT: 83.7 SQ. FT.
-REQ'D AIR: 149.5 SQ. FT. x 2.5% = 3.7 SQ. FT.(MIN.)
PROVIDED AIR: 5.8 SQ. FT.

LIGHT & AIR CALCULATIONS:
ROOM AREA: 198.7 SQ. FT.
-REQ'D LIGHT: 198.7 SQ. FT. x 10% = 19.8 SQ. FT.
PROVIDED LIGHT: 167.4 SQ. FT.
-REQ'D AIR: 198.7 SQ. FT. x 2.5% = 5.0 SQ. FT.(MIN.)
PROVIDED AIR: 5.8 SQ. FT.

LIGHT & AIR CALCULATIONS:
ROOM AREA: 150.7 SQ. FT.
-REQ'D LIGHT: 150.7 SQ. FT. x 10% = 15.0 SQ. FT.
PROVIDED LIGHT: 83.7 SQ. FT.
-REQ'D AIR: 150.7 SQ. FT. x 2.5% = 3.8 SQ. FT.(MIN.)
PROVIDED AIR: 5.8 SQ. FT.

LIGHT & AIR CALCULATIONS:
ROOM AREA: 165.4 SQ. FT.
-REQ'D LIGHT: 165.4 SQ. FT. x 10% = 16.5 SQ. FT.
PROVIDED LIGHT: 167.4 SQ. FT.
-REQ'D AIR: 165.4 SQ. FT. x 2.5% = 4.1 SQ. FT.(MIN.)
PROVIDED AIR: 5.8 SQ. FT.

- GENERAL NOTES
1. THE BUILDING IS IN COMPLIANCE WITH THE SECURITY REQUIREMENTS FOR DOORS AND WINDOWS PER BC 1008.4.1, 1008.4.2, 1008.4.3, AND 1008.4.4.
 2. THE STRUCTURAL DESIGN OF THE BUILDING IS IN COMPLIANCE WITH BC 1801, 1805.3, 2201, AND 901.5.6.
 3. EXIT SIGNS TO BE PROVIDED PER BC 1006, BC 1011, AND BC 1025.
 4. CARBON MONOXIDE DETECTORS PROVIDED PER BC 908.7.
 5. ALL ELECTRICAL CLOSET PIPING SHALL BE FIRE-STOP (FLOOR TO FLOOR).
 6. REFUSE CHUTE IN COMPLIANCE WITH BC 1213.3 AND BC 708.13.
 7. REFUSE ROOM IN COMPLIANCE WITH BC 1213.1.
 8. SPRINKLERED OPENINGS PROTECTED BY APPROVED WATER CURTAIN USING AUTOMATIC SPRINKLERS APPROVED FOR THIS USE AS PER NFPA 13 SECTION 715.8.2.

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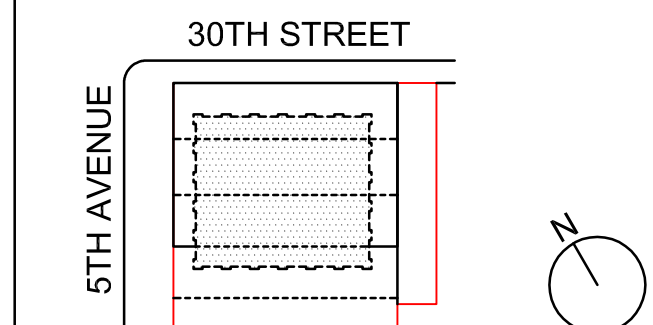
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PAA #2

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RESIDENTIAL FLOOR
PLAN LEVEL 42













SHEET TITLE:

A-115.02

SHEET NUMBER:

RESIDENTIAL FLOOR PLAN LEVEL 42
SCALE 1/4" = 1'-0"

FLOOR LOCATION DIAGRAM
SCALE 1/32" = 1'-0"

EGRESS CALCULATIONS					EGRESS WIDTH PER OCCUPANT SERVED PER BC 1005.1			NUMBER OF EXITS PER BC 1015.1		LEGEND								
OCCUPANCY PER BC 1004.1.1								RESIDENTIAL										
AREA NAME	CLASS	AREA (SF)	FLR AREA PER OCC.	OCCUPANT LOAD														
UNIT A	R-2	1962	200 SF GROSS	10	STAIR REQUIRED 0.3' X 22' = 6.6'	DOOR REQUIRED 2' X 36" = 72"	CORRIDOR REQUIRED MIN. REQUIRED 44"	MAXIMUM OCC. LOAD WITH ONE MEANS OF EGRESS 20	OCCUPANCY LOAD 22	2 EXITS PROVIDED PER BC 1015.1 AND 1015.1.1, 1018.1		1 HOUR RATED		DOOR TAG		SMOKE / CARBON MONOXIDE DETECTOR ON THE CEILING		
UNIT B	R-2	2331	200 SF GROSS	12							STAIR PROVIDED 2' X 44" = 88"	PROVIDED 72"			2 HOUR RATED		WINDOW TAG	
												TRAVEL DISTANT		PARTITION TAG		FIRE SHUTTER		
														WALL-MOUNTED EXIT SIGN		CEILING-MOUNTED EXIT SIGN		FIRE SERVICE ACCESS ELEVATOR
TOTAL				22														

EAST 30TH STREET
(BELOW)

LIGHT & AIR CALCULATIONS:
ROOM AREA: 536.7 SQ. FT.
-REQ'D LIGHT: 536.7 SQ. FT. x 10% = 53.7 SQ. FT.
PROVIDED LIGHT: 334.8 SQ. FT.
-REQ'D AIR: 536.7 SQ. FT. x 2.5% = 13.4 SQ. FT.
PROVIDED AIR: 17.4 SQ. FT.

LIGHT & AIR CALCULATIONS:
ROOM AREA: 149.5 SQ. FT.
-REQ'D LIGHT: 149.5 SQ. FT. x 10% = 14.9 SQ. FT.
PROVIDED LIGHT: 83.7 SQ. FT.
-REQ'D AIR: 149.5 SQ. FT. x 2.5% = 3.7 SQ. FT.(MIN.)
PROVIDED AIR: 5.8 SQ. FT.

LIGHT & AIR CALCULATIONS:
ROOM AREA: 189.7 SQ. FT.
-REQ'D LIGHT: 189.7 SQ. FT. x 10% = 19.0 SQ. FT.
PROVIDED LIGHT: 167.4 SQ. FT.
-REQ'D AIR: 189.7 SQ. FT. x 2.5% = 4.7 SQ. FT.(MIN.)
PROVIDED AIR: 5.8 SQ. FT.

LIGHT & AIR CALCULATIONS:
ROOM AREA: 111.7 SQ. FT.
-REQ'D LIGHT: 111.7 SQ. FT. x 10% = 11.2 SQ. FT.
PROVIDED LIGHT: 83.7 SQ. FT.
-REQ'D AIR: 111.7 SQ. FT. x 2.5% = 2.8 SQ. FT.(MIN.)
PROVIDED AIR: 5.8 SQ. FT.

LIGHT & AIR CALCULATIONS:
ROOM AREA: 117.5 SQ. FT.
-REQ'D LIGHT: 117.5 SQ. FT. x 10% = 11.8 SQ. FT.
PROVIDED LIGHT: 83.7 SQ. FT.
-REQ'D AIR: 117.5 SQ. FT. x 2.5% = 2.9 SQ. FT.(MIN.)
PROVIDED AIR: 5.8 SQ. FT.

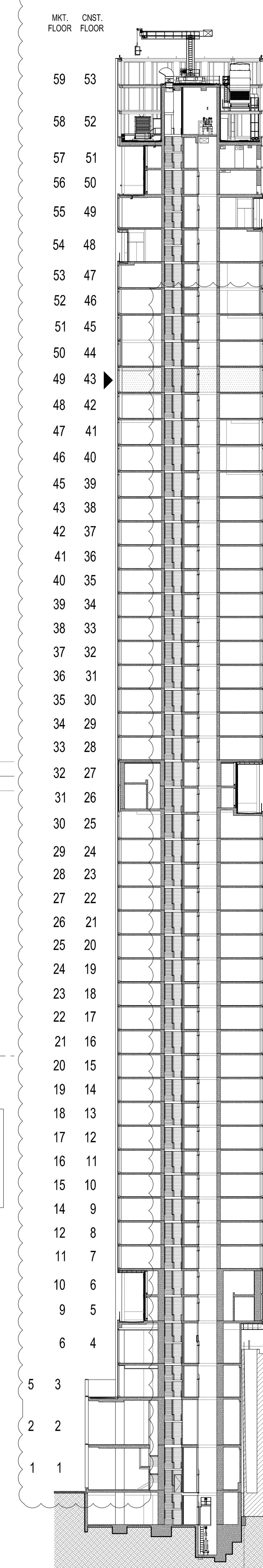
LIGHT & AIR CALCULATIONS:
ROOM AREA: 424.8 SQ. FT.
-REQ'D LIGHT: 424.8 SQ. FT. x 10% = 42.5 SQ. FT.
PROVIDED LIGHT: 251.1 SQ. FT.
-REQ'D AIR: 424.8 SQ. FT. x 2.5% = 10.6 SQ. FT.(MIN.)
PROVIDED AIR: 11.6 SQ. FT.

1203.4.1.2.1 MINIMUM OPENING.

EXCEPTION 1.

WHERE FRESH AIR IS FURNISHED
IN ANY HABITABLE ROOM OR SPACE
BY MECHANICAL MEANS SUPPLYING A
MIN. OF 40 CUBIC FT PER MINUTE
(0.02 M3/S), THE FREE OPENABLE AREA
OF THE OPENINGS MAY BE REDUCED
TO 2.5% OF THE FLOOR AREA BUT EACH
SUCH OPENING SHALL PROVIDE NOT
LESS THAN 5.5 SQ. FT. (0.51 M2) OF
OPENABLE AREA

- GENERAL NOTES
1. THE BUILDING IS IN COMPLIANCE WITH THE SECURITY REQUIREMENTS FOR DOORS AND WINDOWS PER BC 1008.4.1, 1008.4.2, 1008.4.3, AND 1008.4.4.
 2. THE STRUCTURAL DESIGN OF THE BUILDING IS IN COMPLIANCE WITH BC 1801, 1805.3, 2201, AND 901.5.6.
 3. EXIT SIGNS TO BE PROVIDED PER BC 1006, BC 1011, AND BC 1025.
 4. CARBON MONOXIDE DETECTORS PROVIDED PER BC 908.7.
 5. ALL ELECTRICAL CLOSET PIPING SHALL BE FIRE-STOP (FLOOR TO FLOOR).
 6. REFUSE CHUTE IN COMPLIANCE WITH BC 1213.3 AND BC 708.13.
 7. REFUSE ROOM IN COMPLIANCE WITH BC 1151.1.
 8. SPRINKLER OPENINGS PROTECTED BY APPROVED WATER CURTAIN USING AUTOMATIC SPRINKLERS APPROVED FOR THIS USE AS PER NFPA 13 SECTION 715.8.2.



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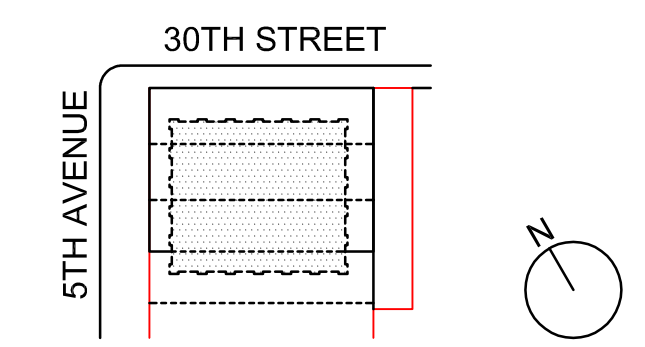
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RESIDENTIAL FLOOR
PLAN LEVEL 43

SHEET TITLE:

A-116.02

SHEET NUMBER:

EGRESS CALCULATIONS				
OCCUPANCY PER BC 1004.1.1				
AREA NAME	CLASS	AREA (SF)	FLR AREA PER OCC.	OCCUPANT LOAD
UNIT A	R-2	2219	200 SF GROSS	12
UNIT B	R-2	1555	200 SF GROSS	8
TOTAL				20

EGRESS WIDTH PER OCCUPANT SERVED PER BC 1005.1			
STAIR REQUIRED	DOOR REQUIRED	CORRIDOR REQUIRED	
0.7' X 20' = 0.7'	0.7' X 20' = 0.7'	MIN. REQUIRED 44"	
STAIR PROVIDED	STAIR PROVIDED	PROVIDED 72"	
2' X 44" = 88"	2' X 36" = 72"		

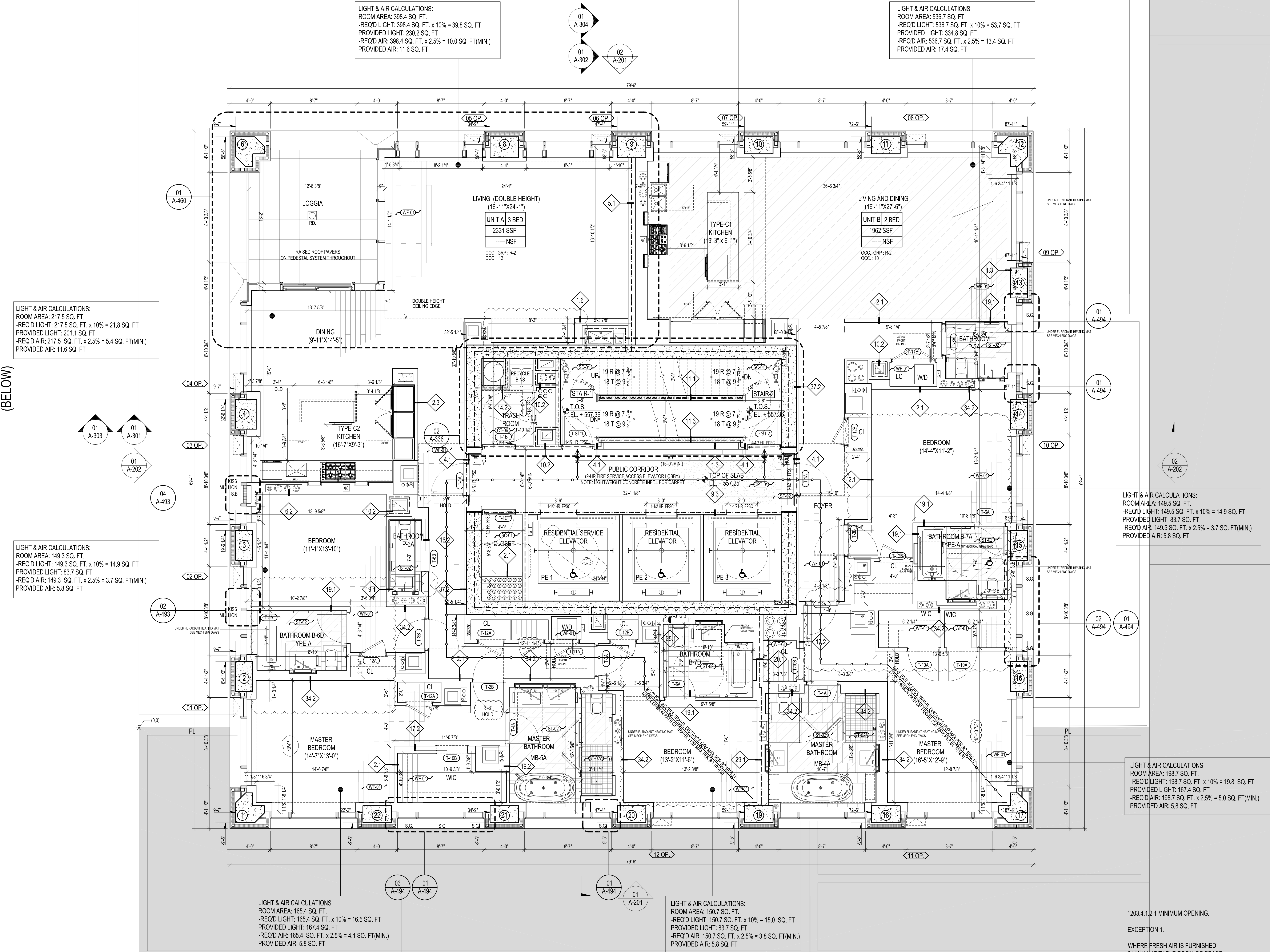
NUMBER OF EXITS PER BC 1015.1	
RESIDENTIAL	
MAXIMUM OCC. LOAD WITH ONE MEANS OF EGRESS 20	
OCCUPANCY LOAD 24	
2 EXITS PROVIDED PER BC 1015.1 AND 1015.1.1, 1018.1	

LEGEND	
1 HOUR RATED	DOOR TAG
2 HOUR RATED	WINDOW TAG
TRAVEL DISTANT	PARTITION TAG
WALL-MOUNTED EXIT SIGN	SMOKE / CARBON MONOXIDE DETECTOR ON THE CEILING
CEILING-MOUNTED EXIT SIGN	SMOKE DETECTOR ON THE CEILING
	FIRE SHUTTER
	FIRE SERVICE ACCESS ELEVATOR

RESIDENTIAL FLOOR PLAN LEVEL 43
SCALE 1/4" = 1'-0"

FLOOR LOCATION DIAGRAM
SCALE 1/32" = 1'-0"

EAST 30TH STREET
(BELOW)



EGRESS CALCULATIONS				
OCCUPANCY PER BC 1004.1.1				
AREA NAME	CLASS	AREA (SF)	FLR AREA PER OCC.	OCCUPANT LOAD
UNIT A	R-2	2331	200 SF GROSS	12
UNIT B	R-2	1962	200 SF GROSS	10
TOTAL				22

EGRESS WIDTH PER OCCUPANT SERVED PER BC 1005.1			
STAIR REQUIRED	DOOR REQUIRED	CORRIDOR REQUIRED	
0.3' X 22' = 6.6'	MIN. REQUIRED 44"	MIN. REQUIRED 44"	
STAIR PROVIDED 2 X 44" = 88"	STAIR PROVIDED 2 X 36" = 72"	STAIR PROVIDED 72"	

NUMBER OF EXITS PER BC 1015.1		LEGEND	
RESIDENTIAL			
MAXIMUM OCC. LOAD WITH ONE MEANS OF EGRESS 20		1 HOUR RATED	DOOR TAG
OCCUPANCY LOAD 22		2 HOUR RATED	WINDOW TAG
2 EXITS PROVIDED PER BC 1015.1 AND 1015.1.1, 1018.1		TRAVEL DISTANT	PARTITION TAG
		WALL-MOUNTED EXIT SIGN	
		CEILING-MOUNTED EXIT SIGN	

SMOKE / CARBON MONOXIDE DETECTOR ON THE CEILING	SMOKE DETECTOR ON THE CEILING	FIRE SHUTTER	FIRE SERVICE ACCESS ELEVATOR
---	-------------------------------	--------------	------------------------------

RESIDENTIAL FLOOR PLAN LEVEL 44
SCALE 1/4" = 1'-0"

FLOOR LOCATION DIAGRAM
SCALE 1/32" = 1'-0"

- GENERAL NOTES**
1. THE BUILDING IS IN COMPLIANCE WITH THE SECURITY REQUIREMENTS FOR DOORS AND WINDOWS PER BC 1006.4.1, 1008.4.2, 1008.4.3, AND 1008.4.4.
 2. THE STRUCTURAL DESIGN OF THE BUILDING IS IN COMPLIANCE WITH BC 1801, 1805.5, 2201, AND 901.5.6.
 3. EXIT SIGNS TO BE PROVIDED PER BC 1006, BC 1011, AND BC 1025.
 4. CARBON MONOXIDE DETECTORS PROVIDED PER BC 908.7.
 5. ALL ELECTRICAL CLOSET PIPING SHALL BE FIRE-STOP (FLOOR TO FLOOR).
 6. REFUSE CHUTE IN COMPLIANCE WITH BC 1213.3 AND BC 708.13.
 7. REFUSE ROOM IN COMPLIANCE WITH BC 1213.1.
 8. SPRINKLERED OPENINGS PROTECTED BY APPROVED WATER CURTAIN USING AUTOMATIC SPRINKLERS APPROVED FOR THIS USE AS PER NFPA 13 SECTION 715.8.2.

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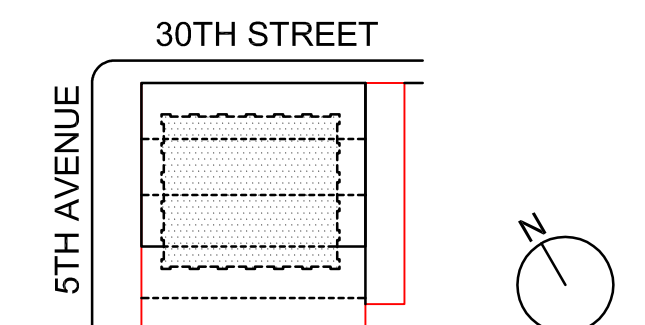
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TEL: 212 352 2020

NYC DEPT. OF BUILDINGS
PAA #2

ARCHITECT'S SEAL
Areg Asatryan, RA
U. Asatryan
APPROVED
Date: 04/19/2018
NYC Development Hub

	09/08/2017	PAA #2
	02/24/2017	PAA #1
	04/08/2016	DOB SUBMITTAL
	01/18/2016	FOUNDATION BID
	12/23/2015	SCHEMATIC DESIGN
ISSUE NO.	ISSUE DATE	DESCRIPTION



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SCALE 1/4" = 1'-0"

**RESIDENTIAL FLOOR
PLAN LEVEL 44**

SHEET TITLE :

A-117.02

SHEET NUMBER :

EAST 30TH STREET
(BELOW)

LIGHT & AIR CALCULATIONS:
ROOM AREA: 424.8 SQ. FT.
-REQ'D LIGHT: 424.8 SQ. FT. x 10% = 42.5 SQ. FT.
PROVIDED LIGHT: 251.1 SQ. FT.
-REQ'D AIR: 424.8 SQ. FT. x 2.5% = 10.6 SQ. FT.(MIN.)
PROVIDED AIR: 11.6 SQ. FT.

LIGHT & AIR CALCULATIONS:
ROOM AREA: 536.7 SQ. FT.
-REQ'D LIGHT: 536.7 SQ. FT. x 10% = 53.7 SQ. FT.
PROVIDED LIGHT: 334.8 SQ. FT.
-REQ'D AIR: 536.7 SQ. FT. x 2.5% = 13.4 SQ. FT.
PROVIDED AIR: 17.4 SQ. FT.

LIGHT & AIR CALCULATIONS:
ROOM AREA: 149.5 SQ. FT.
-REQ'D LIGHT: 149.5 SQ. FT. x 10% = 14.9 SQ. FT.
PROVIDED LIGHT: 83.7 SQ. FT.
-REQ'D AIR: 149.5 SQ. FT. x 2.5% = 3.7 SQ. FT.(MIN.)
PROVIDED AIR: 5.8 SQ. FT.

LIGHT & AIR CALCULATIONS:
ROOM AREA: 117.5 SQ. FT.
-REQ'D LIGHT: 117.5 SQ. FT. x 10% = 11.8 SQ. FT.
PROVIDED LIGHT: 83.7 SQ. FT.
-REQ'D AIR: 117.5 SQ. FT. x 2.5% = 2.9 SQ. FT.(MIN.)
PROVIDED AIR: 5.8 SQ. FT.

LIGHT & AIR CALCULATIONS:
ROOM AREA: 111.7 SQ. FT.
-REQ'D LIGHT: 111.7 SQ. FT. x 10% = 11.2 SQ. FT.
PROVIDED LIGHT: 83.7 SQ. FT.
-REQ'D AIR: 111.7 SQ. FT. x 2.5% = 2.8 SQ. FT.(MIN.)
PROVIDED AIR: 5.8 SQ. FT.

EGRESS CALCULATIONS				
OCCUPANCY PER BC 1004.1.1				
AREA NAME	CLASS	AREA (SF)	FLR AREA PER OCC.	OCCUPANT LOAD
UNIT A	R-2	1555	200 SF GROSS	8
UNIT B	R-2	2219	200 SF GROSS	12
TOTAL				20

EGRESS WIDTH PER OCCUPANT SERVED PER BC 1005.1			
STAIR REQUIRED	DOOR REQUIRED	CORRIDOR REQUIRED	
0.3' x 20' @ 5.0'	0.2' x 20' @ 4.0'	MIN. REQUIRED 44"	
STAIR PROVIDED 2' x 44" = 88"	STAIR PROVIDED 2' x 36" = 72"	PROVIDED 72"	

NUMBER OF EXITS PER BC 1015.1	
RESIDENTIAL	
MAXIMUM OCC. LOAD WITH ONE MEANS OF EGRESS 20	
OCCUPANCY LOAD 24	
2 EXITS PROVIDED PER BC 1015.1 AND 1015.1.1, 1018.1	

LEGEND	
1 HOUR RATED	XX DOOR TAG
2 HOUR RATED	XX OP WINDOW TAG
TRAVEL DISTANT	XX PARTITION TAG
WALL-MOUNTED EXIT SIGN	SMOKE / CARBON MONOXIDE DETECTOR ON THE CEILING
CEILING-MOUNTED EXIT SIGN	SMOKE DETECTOR ON THE CEILING
	# FIRE SHUTTER
	Ⓢ FIRE SERVICE ACCESS ELEVATOR

RESIDENTIAL FLOOR PLAN LEVEL 45
SCALE 1/4" = 1'-0"

FLOOR LOCATION DIAGRAM
SCALE 1/32" = 1'-0"

- GENERAL NOTES**
1. THE BUILDING IS IN COMPLIANCE WITH THE SECURITY REQUIREMENTS FOR DOORS AND WINDOWS PER BC 1008.4.1, 1008.4.2, 1008.4.3, AND 1008.4.4.
 2. THE STRUCTURAL DESIGN OF THE BUILDING IS IN COMPLIANCE WITH BC 1801, 1805.5, 2201, AND 901.5.6.
 3. EXIT SIGNS TO BE PROVIDED PER BC 1006, BC 1011, AND BC 1025.
 4. CARBON MONOXIDE DETECTORS PROVIDED PER BC 908.7.
 5. ALL ELECTRICAL CLOSET PIPING SHALL BE FIRE-STOP (FLOOR TO FLOOR).
 6. REFUSE CHUTE IN COMPLIANCE WITH BC 1213.3 AND BC 708.13.
 7. REFUSE ROOM IN COMPLIANCE WITH BC 1213.1.
 8. SPRINKLER OPENINGS PROTECTED BY APPROVED WATER CURTAIN USING AUTOMATIC SPRINKLERS APPROVED FOR THIS USE AS PER NFPA 13 SECTION 715.8.2.

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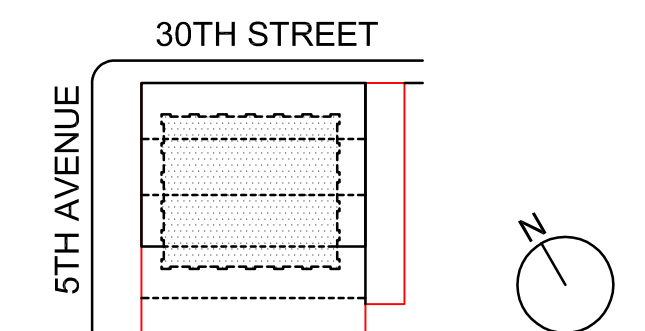
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**RESIDENTIAL FLOOR
PLAN LEVEL 45**

SHEET TITLE :

A-118.02

SHEET NUMBER :

EAST 30TH STREET
(BELOW)

LIGHT & AIR CALCULATIONS:
ROOM AREA: 165.4 SQ. FT.
-REQ'D LIGHT: 165.4 SQ. FT. x 10% = 16.5 SQ. FT
PROVIDED LIGHT: 167.4 SQ. FT.
-REQ'D AIR: 165.4 SQ. FT. x 2.5% = 4.1 SQ. FT(MIN.)
PROVIDED AIR: 5.8 SQ. FT

LIGHT & AIR CALCULATIONS:
ROOM AREA: 150.7 SQ. FT.
-REQ'D LIGHT: 150.7 SQ. FT. x 10% = 15.0 SQ. FT
PROVIDED LIGHT: 83.7 SQ. FT.
-REQ'D AIR: 150.7 SQ. FT. x 2.5% = 3.8 SQ. FT(MIN.)
PROVIDED AIR: 5.8 SQ. FT

LIGHT & AIR CALCULATIONS:
ROOM AREA: 198.7 SQ. FT.
-REQ'D LIGHT: 198.7 SQ. FT. x 10% = 19.8 SQ. FT
PROVIDED LIGHT: 167.4 SQ. FT.
-REQ'D AIR: 198.7 SQ. FT. x 2.5% = 5.0 SQ. FT(MIN.)
PROVIDED AIR: 5.8 SQ. FT

WINDOW SETBACK
PER ZR 23-86 AND MDL 34

LIGHT & AIR CALCULATIONS:
ROOM AREA: 149.5 SQ. FT.
-REQ'D LIGHT: 149.5 SQ. FT. x 10% = 14.9 SQ. FT
PROVIDED LIGHT: 83.7 SQ. FT.
-REQ'D AIR: 149.5 SQ. FT. x 2.5% = 3.7 SQ. FT(MIN.)
PROVIDED AIR: 5.8 SQ. FT

LIGHT & AIR CALCULATIONS:
ROOM AREA: 217.5 SQ. FT.
-REQ'D LIGHT: 217.5 SQ. FT. x 10% = 21.8 SQ. FT
PROVIDED LIGHT: 201.1 SQ. FT.
-REQ'D AIR: 217.5 SQ. FT. x 2.5% = 5.4 SQ. FT(MIN.)
PROVIDED AIR: 11.6 SQ. FT

LIGHT & AIR CALCULATIONS:
ROOM AREA: 398.4 SQ. FT.
-REQ'D LIGHT: 398.4 SQ. FT. x 10% = 39.8 SQ. FT
PROVIDED LIGHT: 230.2 SQ. FT.
-REQ'D AIR: 398.4 SQ. FT. x 2.5% = 10.0 SQ. FT(MIN.)
PROVIDED AIR: 11.6 SQ. FT

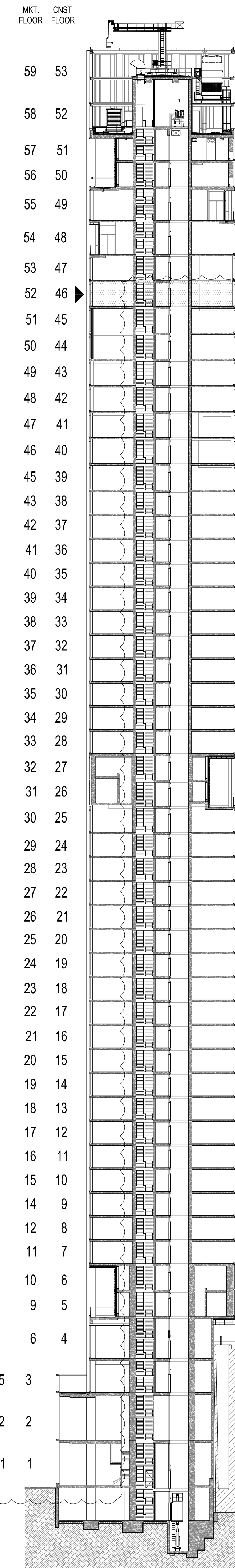
LIGHT & AIR CALCULATIONS:
ROOM AREA: 536.7 SQ. FT.
-REQ'D LIGHT: 536.7 SQ. FT. x 10% = 53.7 SQ. FT
PROVIDED LIGHT: 334.8 SQ. FT.
-REQ'D AIR: 536.7 SQ. FT. x 2.5% = 13.4 SQ. FT
PROVIDED AIR: 17.4 SQ. FT

1203.4.1.2.1 MINIMUM OPENING.

EXCEPTION 1.

WHERE FRESH AIR IS FURNISHED
IN ANY HABITABLE ROOM OR SPACE
BY MECHANICAL MEANS SUPPLYING A
MIN. OF 40 CUBIC FT PER MINUTE
(0.02 M3/S), THE FREE OPENABLE AREA
OF THE OPENINGS MAY BE REDUCED
TO 2.5% OF THE FLOOR AREA BUT EACH
SUCH OPENING SHALL PROVIDE NOT
LESS THAN 5.5 SQ FT (0.51 M2) OF
OPENABLE AREA

- GENERAL NOTES
1. THE BUILDING IS IN COMPLIANCE WITH THE SECURITY REQUIREMENTS FOR DOORS AND WINDOWS PER BC 1008.4.1, 1008.4.2, 1008.4.3, AND 1008.4.4.
 2. THE STRUCTURAL DESIGN OF THE BUILDING IS IN COMPLIANCE WITH BC 1801, 1805.5, 2201, AND 901.5.6.
 3. EXIT SIGNS TO BE PROVIDED PER BC 1006, BC 1011, AND BC 1025.
 4. CARBON MONOXIDE DETECTORS PROVIDED PER BC 908.7.
 5. ALL ELECTRICAL CLOSET PIPING SHALL BE FIRE-STOP (FLOOR TO FLOOR).
 6. REFUSE CHUTE IN COMPLIANCE WITH BC 1213.3 AND BC 708.13.
 7. SPRINKLER OPENINGS PROTECTED BY APPROVED WATER CURTAIN USING AUTOMATIC SPRINKLERS APPROVED FOR THIS USE AS PER NFPA 13 SECTION 715.8.2.



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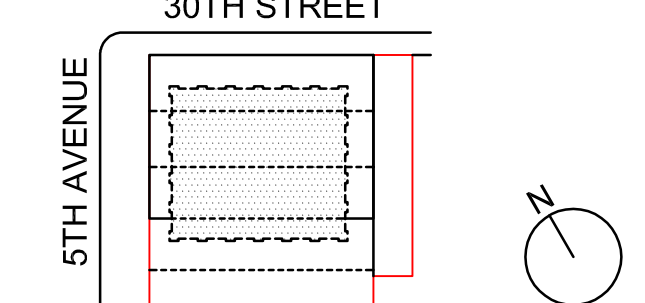
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RESIDENTIAL FLOOR
PLAN LEVEL 46

SHEET TITLE:

A-119.02

SHEET NUMBER:

RESIDENTIAL FLOOR PLAN LEVEL 46
SCALE 1/4" = 1'-0"

FLOOR LOCATION DIAGRAM
SCALE 1/32" = 1'-0"

EGRESS CALCULATIONS				
OCCUPANCY PER BC 1004.1.1				
AREA NAME	CLASS	AREA (SF)	FLR AREA PER OCC.	OCCUPANT LOAD
UNIT A	R-2	2331	200 SF GROSS	12
UNIT B	R-2	1962	200 SF GROSS	10
TOTAL				26

EGRESS WIDTH PER OCCUPANT SERVED PER BC 1005.1		
STAIR REQUIRED	DOOR REQUIRED	CORRIDOR REQUIRED
0.7' x 26' x 7.5'	2' x 26' x 7.5'	MIN. REQUIRED 44"
STAIR PROVIDED	STAIR PROVIDED	PROVIDED 72"
2' x 44" = 88"	2' x 36" = 72"	

NUMBER OF EXITS PER BC 1015.1	
RESIDENTIAL	
MAXIMUM OCC. LOAD WITH ONE MEANS OF EGRESS 20	
OCCUPANCY LOAD 22	
2 EXITS PROVIDED PER BC 1015.1 AND 1015.1.1, 1018.1	

LEGEND	
1 HOUR RATED	DOOR TAG
2 HOUR RATED	WINDOW TAG
TRAVEL DISTANT	PARTITION TAG
WALL-MOUNTED EXIT SIGN	SMOKE / CARBON MONOXIDE DETECTOR ON THE CEILING
CEILING-MOUNTED EXIT SIGN	SMOKE DETECTOR ON THE CEILING
	FIRE SHUTTER
	FIRE SERVICE ACCESS ELEVATOR

SHEET NUMBER

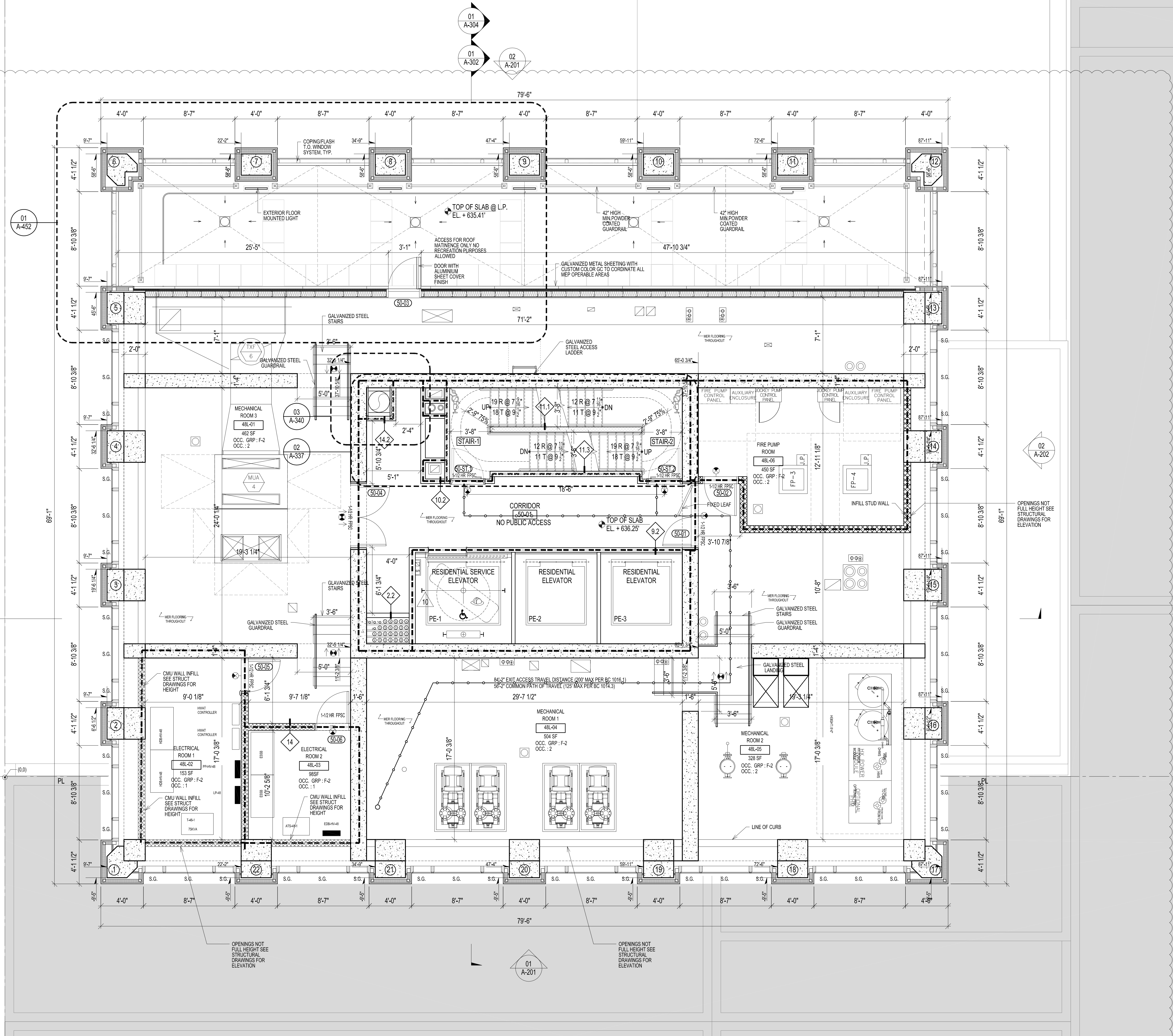
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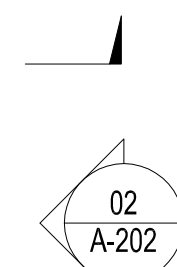
FLOOR LOCATION DIAGRAM	0
SCALE 1/32" = 1'-0"	

2016 RAFAEL VINOLY ARCHITECTS

EAST 30TH STREET
(BELOW)



EGRESS CALCULATIONS					EGRESS WIDTH PER OCCUPANT SERVED PER BC 1005.1					NUMBER OF EXITS PER BC 1015.1					LEGEND				
OCCUPANCY PER BC 1004.1.1										RESIDENTIAL									
AREA NAME	CLASS	AREA (SF)	F.L.R. AREA PER OCC.	OCCUPANT LOAD															
ELECTRICAL ROOM 1	F-2	153	300 SF NET	1	STAIR REQUIRED	DOOR REQUIRED	CORRIDOR REQUIRED	MAXIMUM OCC. LOAD WITH ONE MEANS OF EGRESS 20			 1 HOUR RATED					 DOOR TAG	 SMOKE / CARBON MONOXIDE DETECTOR ON THE CEILING		
ELECTRICAL ROOM 2	F-2	102	300 SF NET	1	0.2' X 10' = 2.0'	0.2' X 10' = 2.0'	MIN. REQUIRED 44"				 2 HOUR RATED					 WINDOW TAG	 SMOKE DETECTOR ON THE CEILING		
MECHANICAL ROOM 1	F-2	504	300 SF NET	2	STAIR PROVIDED	STAIR PROVIDED	PROVIDED 72"				 TRAVEL DISTANT					 PARTITION TAG	 FIRE SHUTTER		
MECHANICAL ROOM 2	F-2	328	300 SF NET	2	2 X 44" = 88"	2 X 36" = 72"					 EXIT SYMBOL 24								
MECHANICAL ROOM 3	F-2	462	300 SF NET	2				2 OCCUPANTS PROVIDED PER BC 1015.1 AND 1015.1.1, 1015.1			 WALL-MOUNTED EXIT SIGN								
FIRE PUMP ROOM	F-2	462	300 SF NET	2							 CEILING-MOUNTED EXIT SIGN						 FIRE SERVICE ACCESS ELEVATOR		
TOTAL				10															



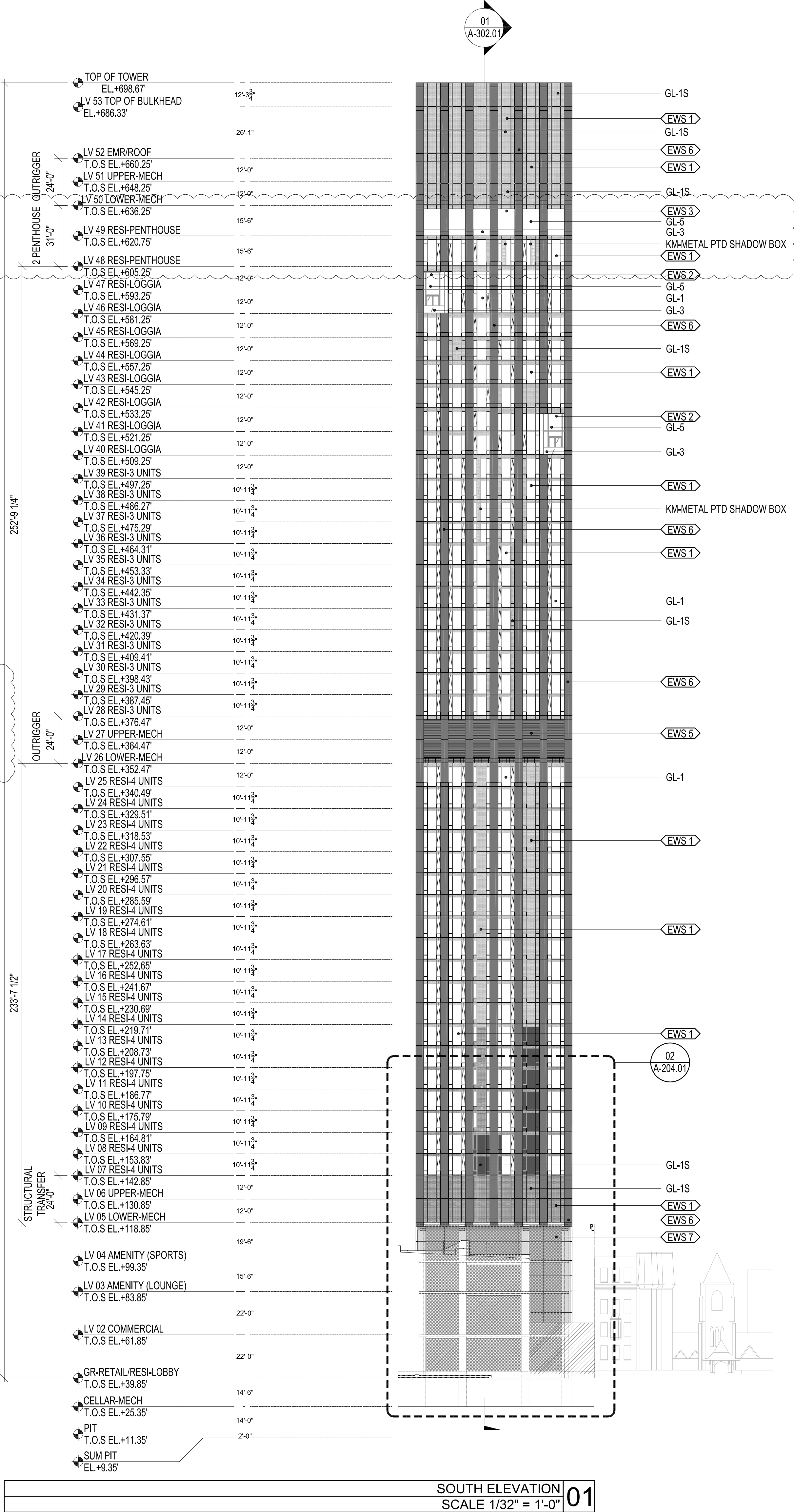
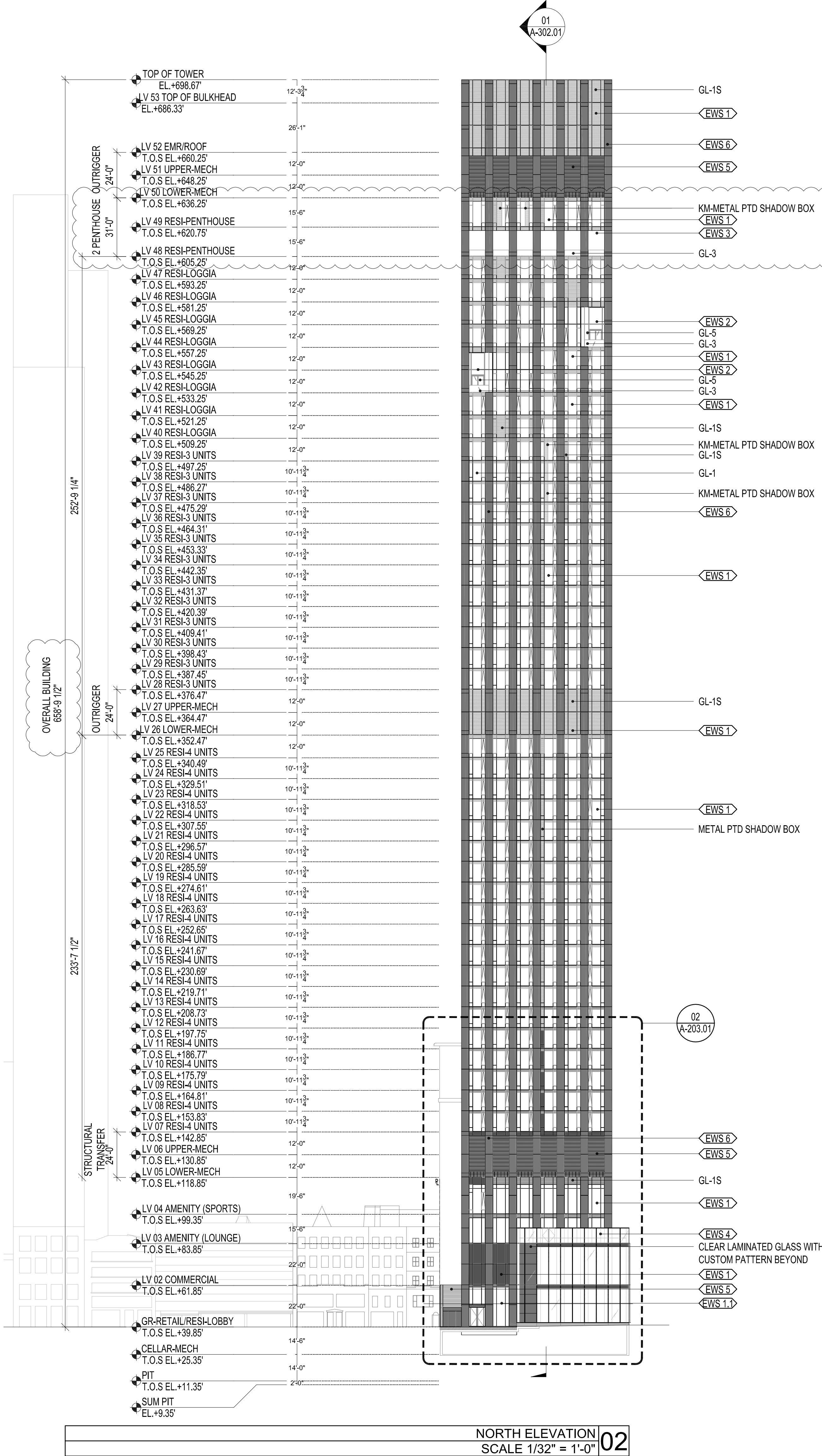
FLOOR LOCATION DIAGRAM	01
SCALE 1/32" = 1'-0"	

2016 RAFAEL VINOLY ARCHITECTS

ENCLOSURE AREA SUMMARY	EXTERIOR FINISH SCHEDULE LOCATION / DESCRIPTION
EWS 1 (108,533 SF)	GLASS CURTAIN WALL ASSEMBLIES TOWER
EWS 1.1 (470 SF)	GLASS CURTAIN WALL ASSEMBLIES TOWER @ GROUND FLOOR
EWS 2 (2,273 SF)	GLASS CURTAIN WALL ASSEMBLIES LOGGIAS
EWS 3 (2,421 SF)	FIXED GLASS WALL SYSTEM PENTHOUSE
EWS 4 (8,573 SF)	GLASS CURTAIN WALL ASSEMBLIES PODIUM AT GROUND FLOOR -LEVEL 3
EWS 5 (6,077 SF)	FIXED, EXTRUDED ALUMINUM LOUVERS WITH AND WITHOUT BLANK-OFF PANELS FOR LEVELS 2,3 AMENITY 5,26,50 MECHANICALS
EWS 6 (76,413 SF)	FIBER C PANEL CLADDING SYSTEM , EXTERIOR COLUMN FINISH CUSTOM COLOR
EWS 7 (6,604 SF)	DEFS (DIRECT-APPLIED EXTERIOR FINISHING SYSTEM)
EWS 8 (107 SF)	METAL RAIN-SCREEN SYSTEM. PTD CUSTOM COLOR

GLASS TYPE	LOCATION / DESCRIPTION
GL-1	[1 1/8"] VRE 1-38 INSULATING GLASS HS/FT 3/8" CLEAR HS VRE-38 #2, 1/2" AIRSPACE-BLACK STAINLESS STEEL-ARGO BLACK SILICONE, 1/4" CLEAR FT- HEAT SOAK
GL-1S	[1 1/8"] VRE 1-38 INSULATING GLASS HS/FT 3/8" CLEAR HS VRE-38 #2, 1/2" AIRSPACE-BLACK STAINLESS STEEL-ARGO BLACK SILICONE, 1/4" CLEAR FT- HEAT SOAK, V908-GRAY VIRASPAN #4
GL-2	BASE [1 1/8"] VE 13-85 INSULATING GLASS FT 1/2" STARCHIRE VE-85 #2, 1/2" AIRSPACE-MILL FINISH GRAY SILICONE, 3/8" STARCHIRE FT 2.1 [1 3/8"] 1/2" STARCHIRE FT +1/2" AIR SPACE +3/8" STARCHIRE FT -MILL FINISH GRAY SILICONE 2.2 3/16" LAMINATED =10mm HS LOW IRON+1.52mm CLEAR PVB +10mm HS LOW IRON
GL-3	[13/16"] CLEAR LOW IRON LAMINATED GLASS 3/8" HS +0.060" ICONOPLAST INTERLAYER +3/8" HS
GL-4	BASE [13/16"] CLEAR LOW IRON LAMINATED GLASS 3/8" HS VE-85 #2 +0.060" ICONOPLAST INTERLAYER +3/8" HS ALT 1 [13/16"] CLEAR LOW IRON LAMINATED GLASS 3/8" HS +0.060" ICONOPLAST INTERLAYER +3/8" HS
GL-5	[1 1/8"] VRE 1-38 INSULATING GLASS HS/FT 3/8" STARCHIRE HS VE-85 #2, 1/2" AIRSPACE-MILL FINISH GRAY SILICONE ,1/4" STARCHIRE FT- HEAT SOAK

NOTE:
SPANDREL GLASS (GL-1S) WILL BE USE IN PLACE OF SHADOW BOX, EXCEPTED WHERE NOTED.



277

Fifth Avenue

NEW YORK, NY

OWNER:
VICTOR NOMAD LLC

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01/18/2016 FOUNDATION BID
12/23/2015 SCHEMATIC DESIGN

ISSUE NO. DATE DESCRIPTION

30TH STREET
5TH AVENUE
KEY PLAN AND NORTH SIGN
IF THIS DRAWING IS NOT 42" X 30" IT IS A REDUCED PRINT;
REFER TO GRAPHIC SCALE
0 32 64
SCALE 1/32" = 1'-0"

ELEVATIONS
NORTH AND SOUTH

SHEET TITLE :
A-201.02
SHEET NUMBER :

2016 RAFAEL VINOLY ARCHITECTS

1

2

3

4

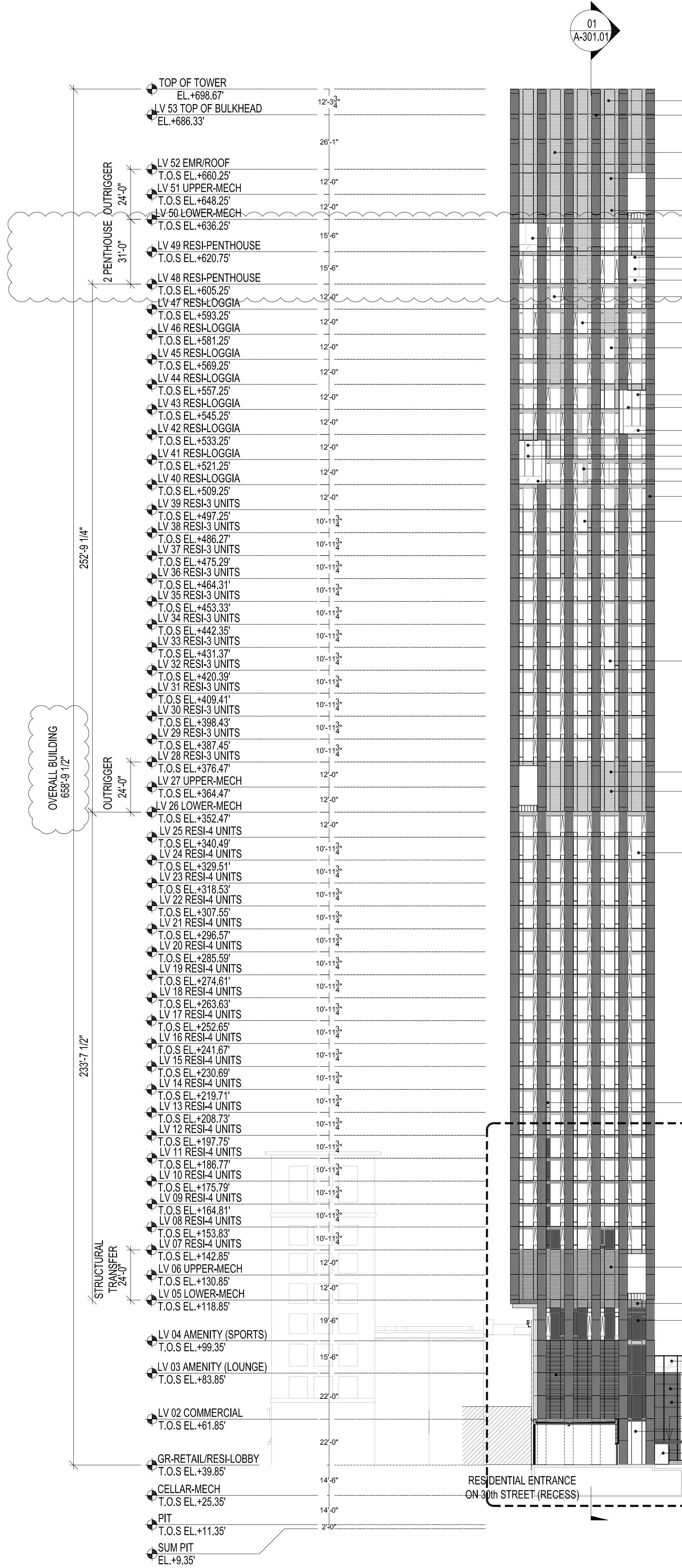
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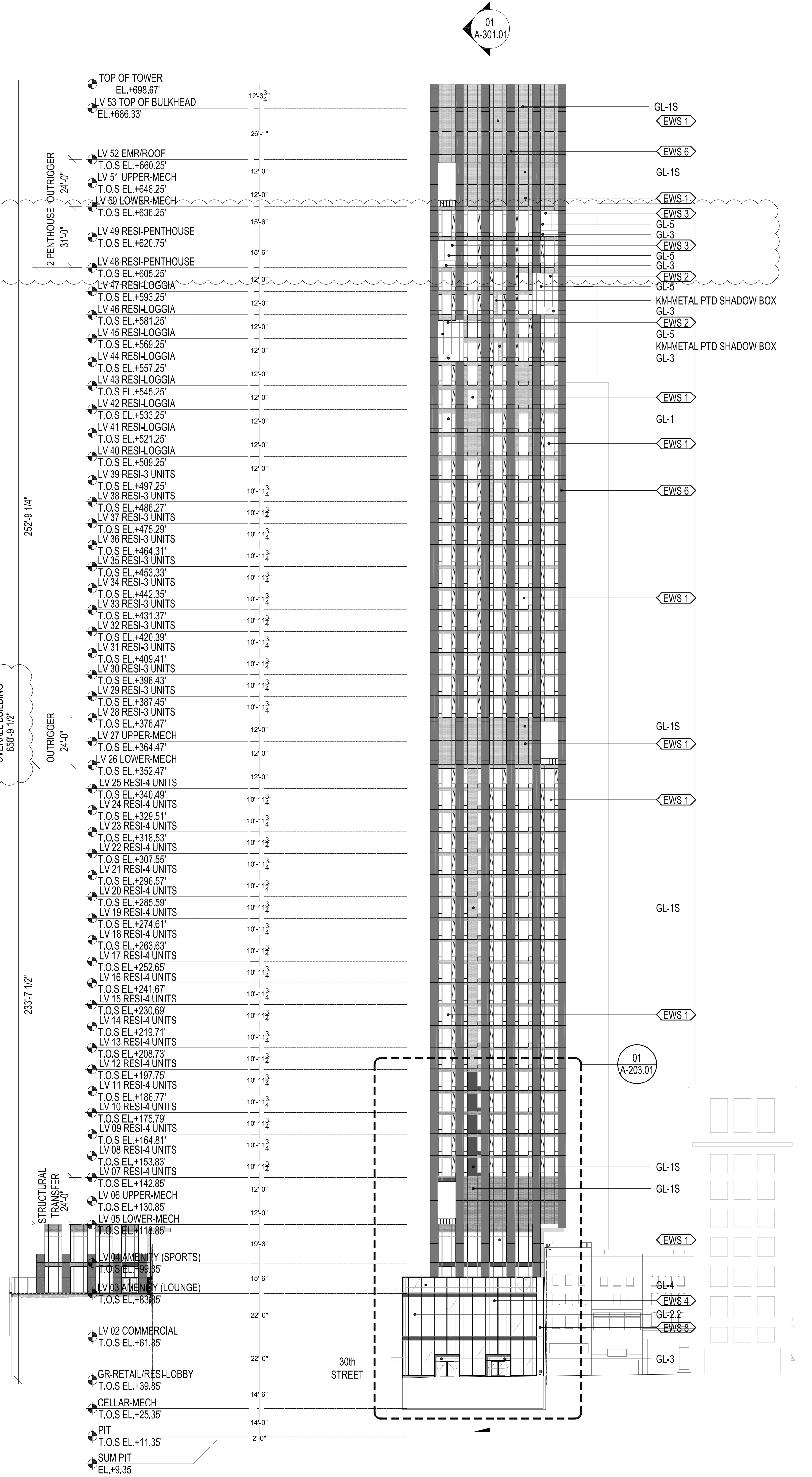
ENCLOSURE AREA SUMMARY	EXTERIOR FINISH SCHEDULE LOCATION / DESCRIPTION
< EWS 1 (108,533 SF)	GLASS CURTAIN WALL ASSEMBLIES TOWER
< EWS 1.1 (470 SF)	GLASS CURTAIN WALL ASSEMBLIES TOWER @ GROUND FLOOR
< EWS 2 (2,273 SF)	GLASS CURTAIN WALL ASSEMBLIES LOGGIAS
< EWS 3 (2,421 SF)	FIXED GLASS WALL SYSTEM PENTHOUSE
< EWS 4 (8,573 SF)	GLASS CURTAIN WALL ASSEMBLIES PODIUM AT GROUND FLOOR -LEVEL 3
< EWS 5 (6,077 SF)	FIXED, EXTRUDED ALUMINUM LOUVERS WITH AND WITHOUT BLANK-OFF PANELS FOR LEVELS 2,3 AMENITY 5,26,50 MECHANICALS
< EWS 6 (76,413 SF)	FIBER C PANEL CLADDING SYSTEM, EXTERIOR COLUMN FINISH CUSTOM COLOR
< EWS 7 (6,604 SF)	DEFS (DIRECT-APPLIED EXTERIOR FINISHING SYSTEM)
< EWS 8 (107 SF)	METAL RAIN-SCREEN SYSTEM, PTD CUSTOM COLOR

GLASS TYPE	LOCATION / DESCRIPTION
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NOTE:
SPANDREL GLASS [GL-1S] WILL BE USE IN PLACE OF SHADOW BOX, EXCEPTED WHERE NOTED.



EAST ELEVATION
SCALE 1/32" = 1'-0" 02



WEST ELEVATION
SCALE 1/32" = 1'-0" 01

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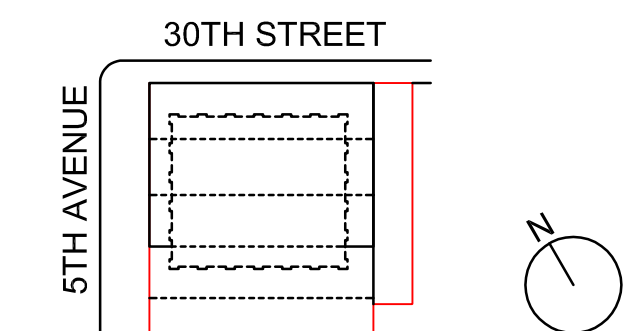
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12/23/2015 SCHEMATIC DESIGN
ISSUE NO. DATE DESCRIPTION



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SCALE 1/32" = 1'-0"

ELEVATIONS EAST & WEST

SHEET TITLE :

A-202.02

SHEET NUMBER :

277

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NEW YORK, NY

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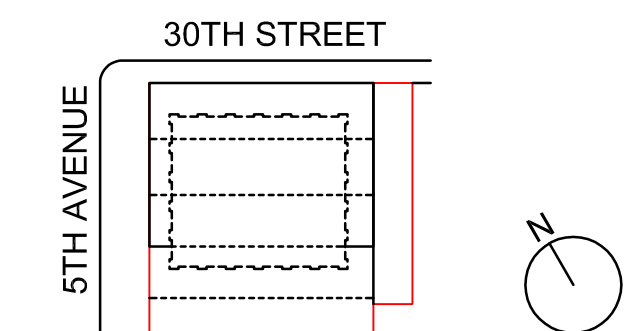
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NYC DEPT. OF BUILDINGS
PAA #2

ARCHITECT'S SEAL

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02/24/2017 PAA #1
04/08/2016 DOB SUBMITTAL
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12/23/2015 SCHEMATIC DESIGN

ISSUE NO. DATE DESCRIPTION



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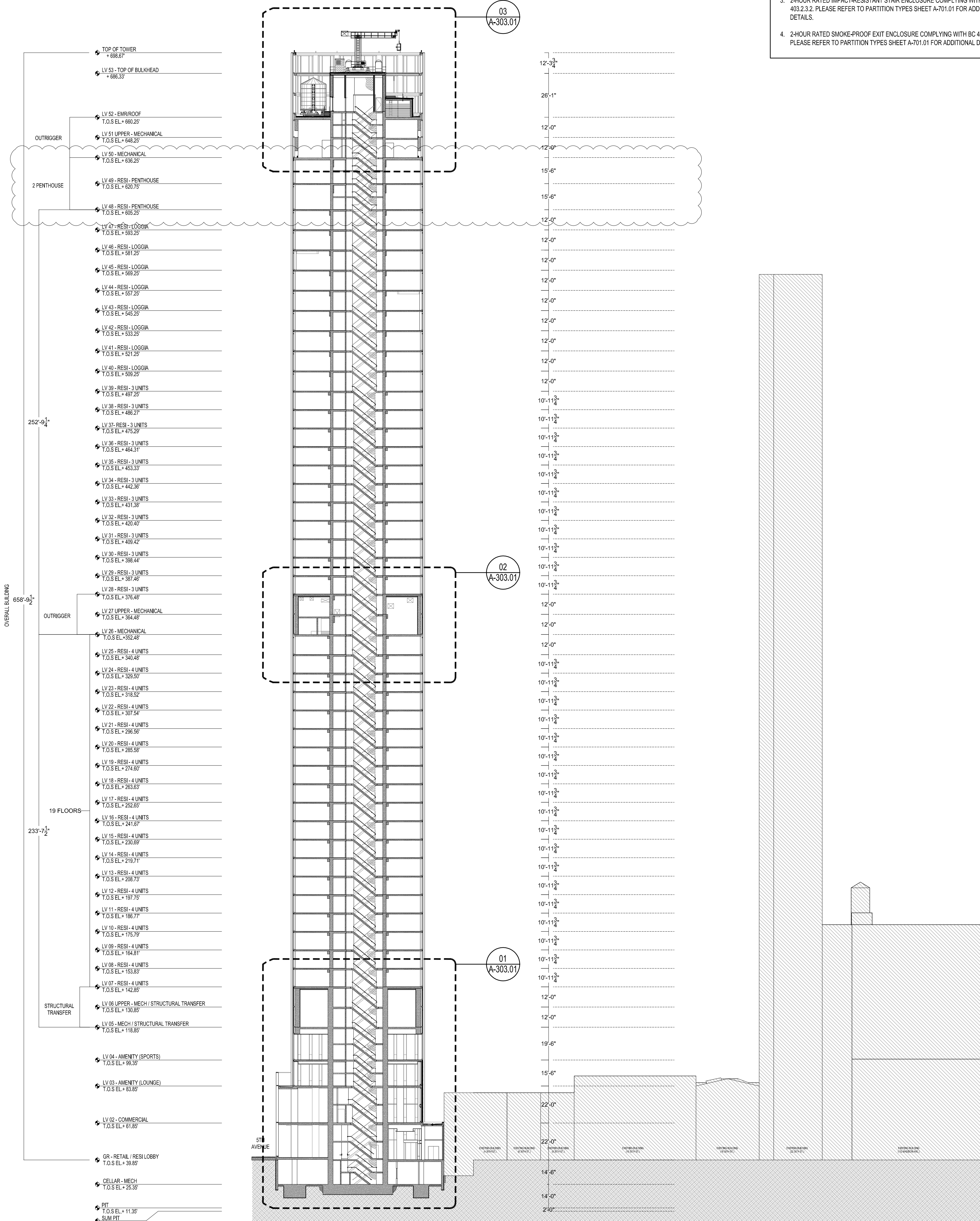
OVERALL BUILDING SECTION EAST-WEST

SHEET TITLE :

A-301.02

SHEET NUMBER :

- GENERAL NOTES
1. PROVIDE STAIRWAY DOOR OPERATION AND STAIRWAY COMMUNICATION IN COMPLIANCE WITH BC 403.5.3.
 2. NO LUMINOUS EGRESS PATH MARKINGS PER EXCEPTION BC 403.5.5.
 3. 2-HOUR RATED IMPACT-RESISTANT STAIR ENCLOSURE COMPLYING WITH BC 403.2.3.2. PLEASE REFER TO PARTITION TYPES SHEET A-701.01 FOR ADDITIONAL DETAILS.
 4. 2-HOUR RATED SMOKE-PROOF EXIT ENCLOSURE COMPLYING WITH BC 403.4.4. PLEASE REFER TO PARTITION TYPES SHEET A-701.01 FOR ADDITIONAL DETAILS.





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NYC DEPT. OF BUILDINGS
PAA #2

Areg Asatryan, RA

11/1/2011

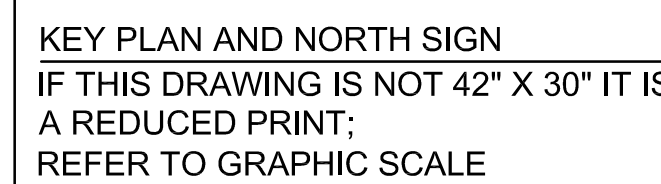
U. 1117

APPROVED
Under Directive 2 of 1975

AMENDED APPLICATION

NYC Development H

ISSUE NO.	ISSUE DATE	DESCRIPTION
	09/08/2017	PAA #2
	02/24/2017	PAA #1
	04/08/2016	DOB SUBMITTAL
	01/18/2016	FOUNDATION BID
	12/23/2015	SCHEMATIC DESI



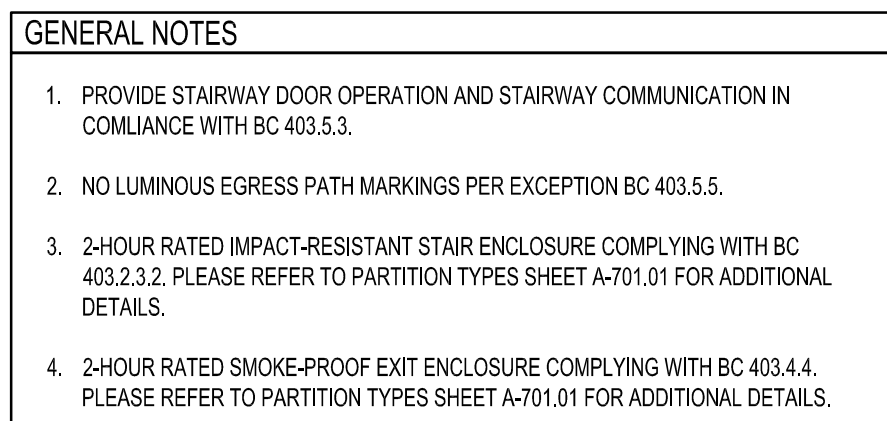
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OVERALL BUILDING
SECTION
NORTH-SOUTH

SHEET TITLE :

A-302.02

SHEET NUMBER :

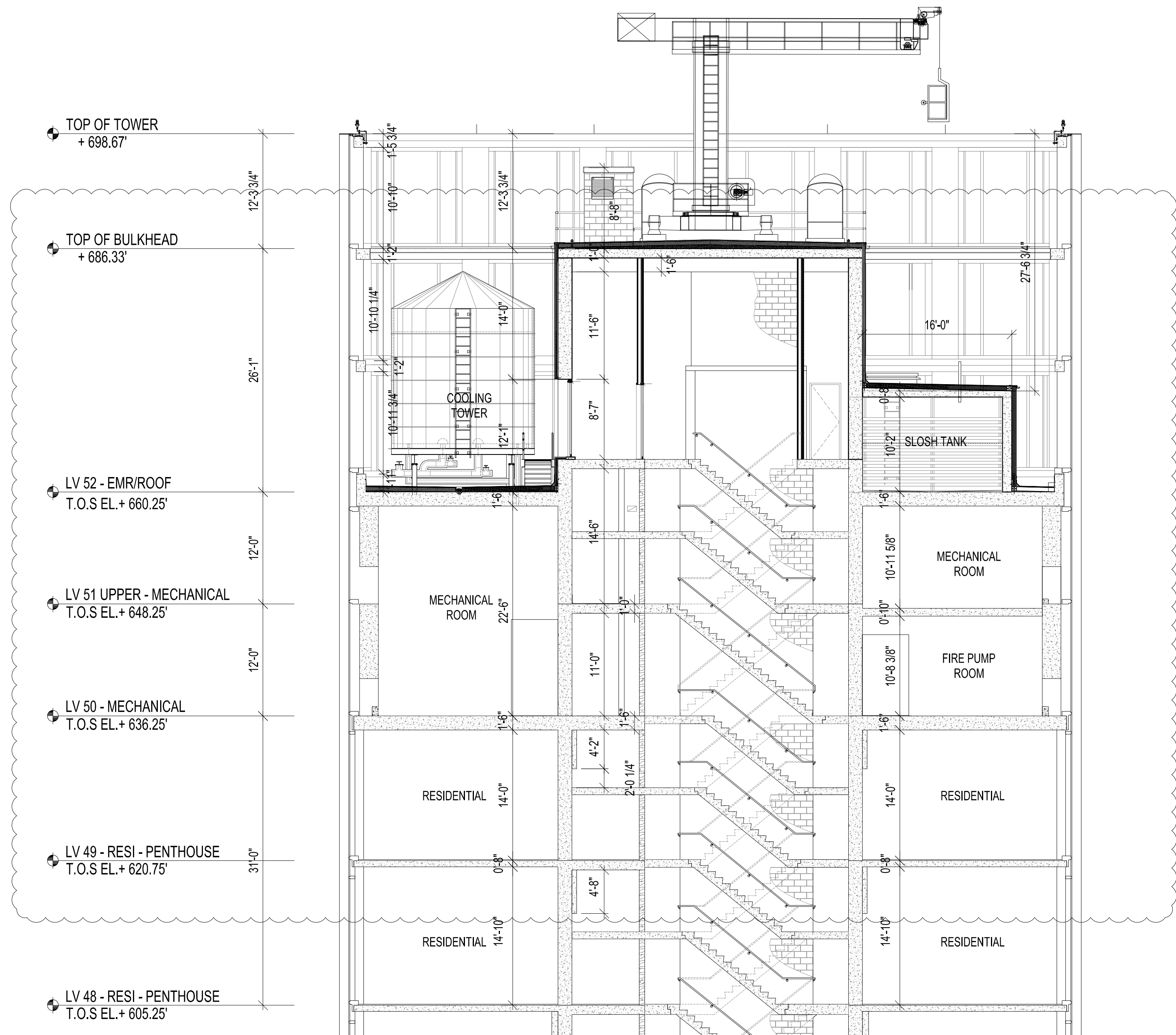


NORTH - SOUTH BUILDING SECTION
SCALE 1/32" = 1'-0"

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EAST-WEST (LOOKING NORTH) SECTION AT PENTHOUSE, MECHANICAL FLOOR AND ROOF
SCALE 1/8" = 1'-0" 03



EAST-WEST (LOOKING NORTH) SECTION AT MECHANICAL FLOOR
SCALE 1/8" = 1'-0" 02

LV 08 - RESI - 4 UNITS
T.O.S EL.+ 153.83'

LV 07 - RESI - 4 UNITS
T.O.S EL.+ 142.85'

LV 06 UPPER - MECH
T.O.S EL.+ 130.85'

LV 05 - MECH
T.O.S EL.+ 118.85'

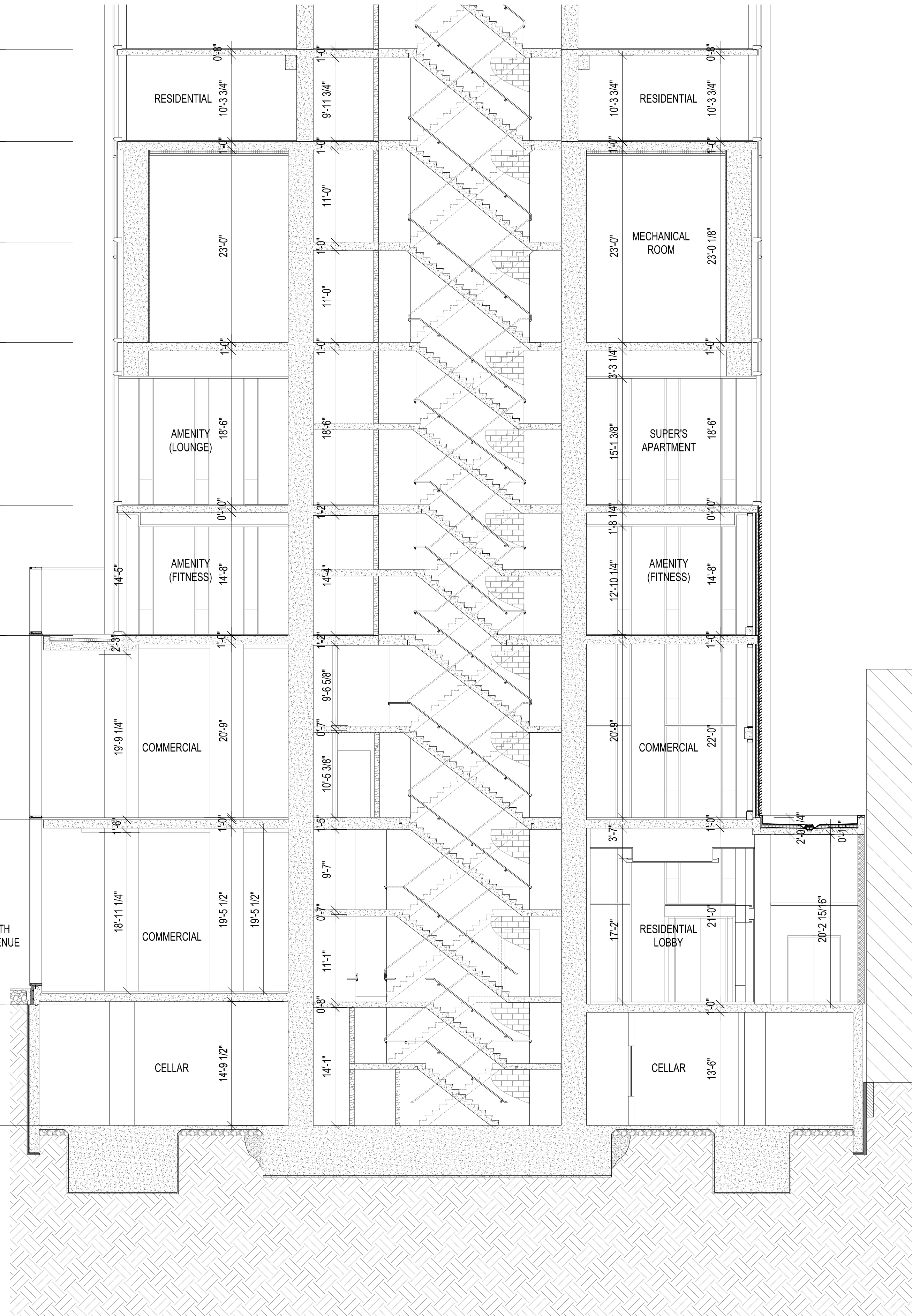
LV 04 - AMENITY (LOUNGE)
T.O.S EL.+ 99.35'

LV 03 - AMENITY (FITNESS)
T.O.S EL.+ 83.85'

LV 02 - COMMERCIAL
T.O.S EL.+ 61.85'

GR - RETAIL / RESI LOBBY
T.O.S EL.+ 39.85'

CELLAR - MECH
T.O.S EL.+ 25.35'



EAST-WEST (LOOKING NORTH) SECTION AT PODIUM AND MECHANICAL FLOOR / STRUCTURAL TRANSFER
SCALE 1/8" = 1'-0" 01

1

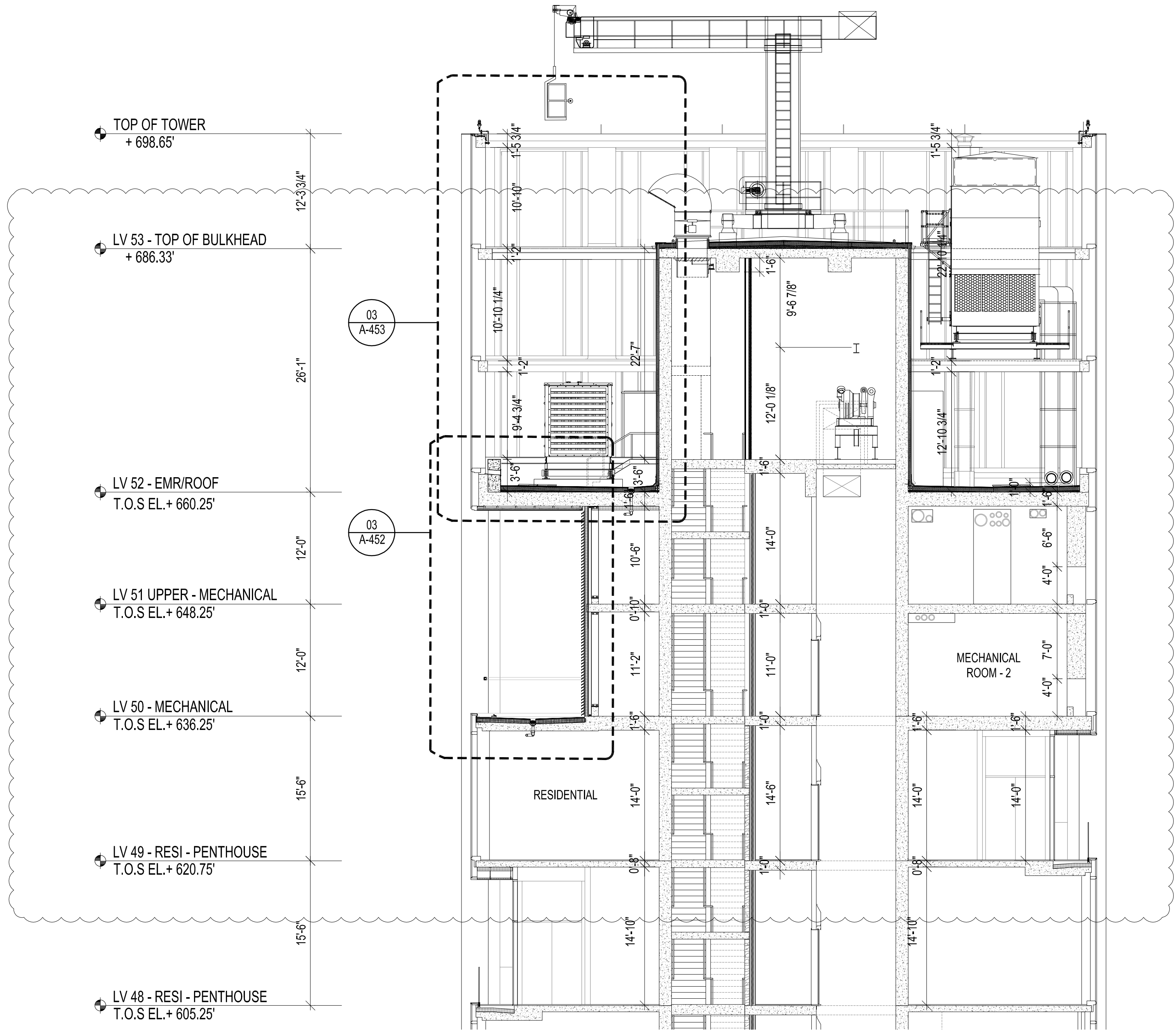
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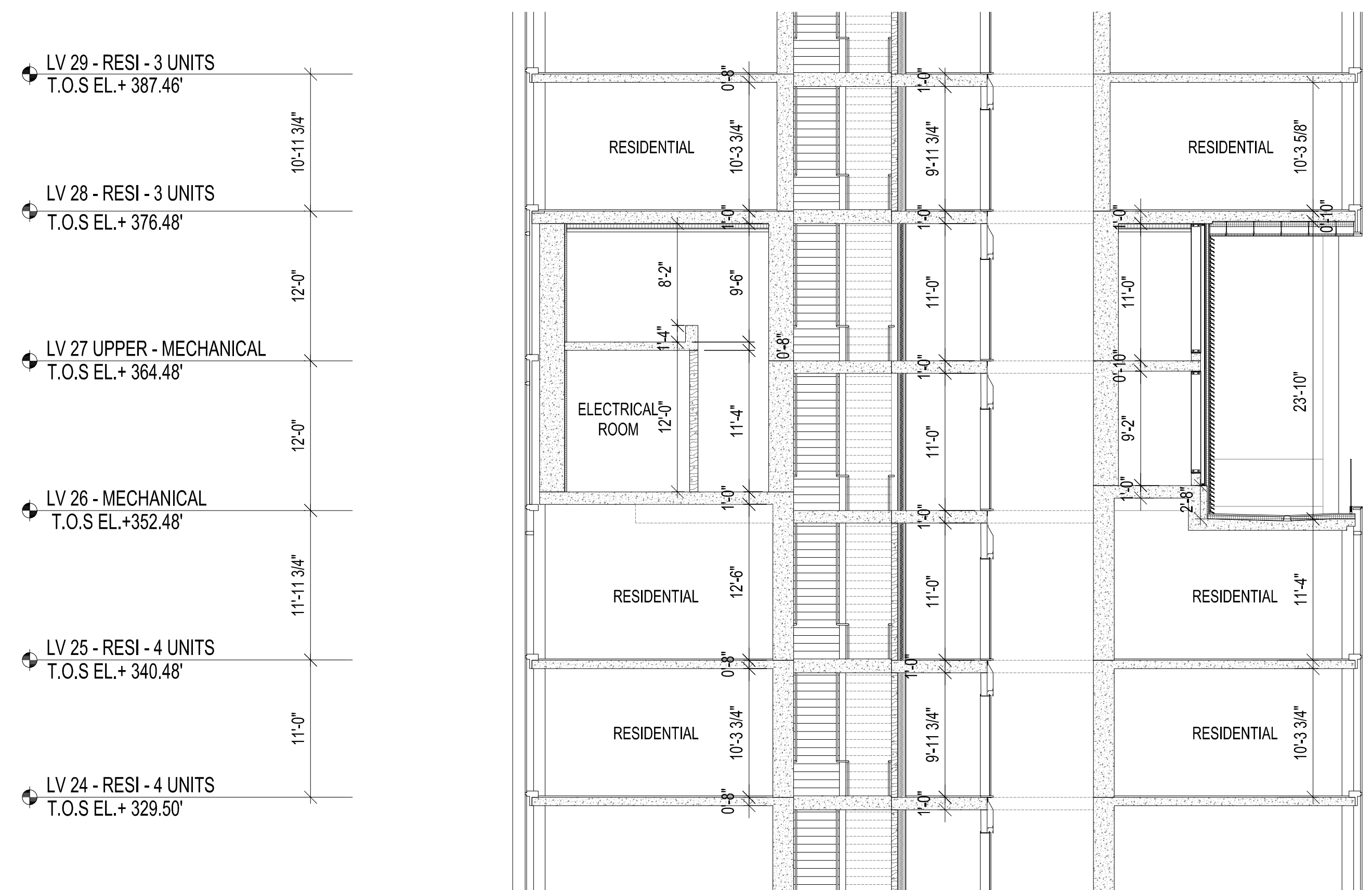
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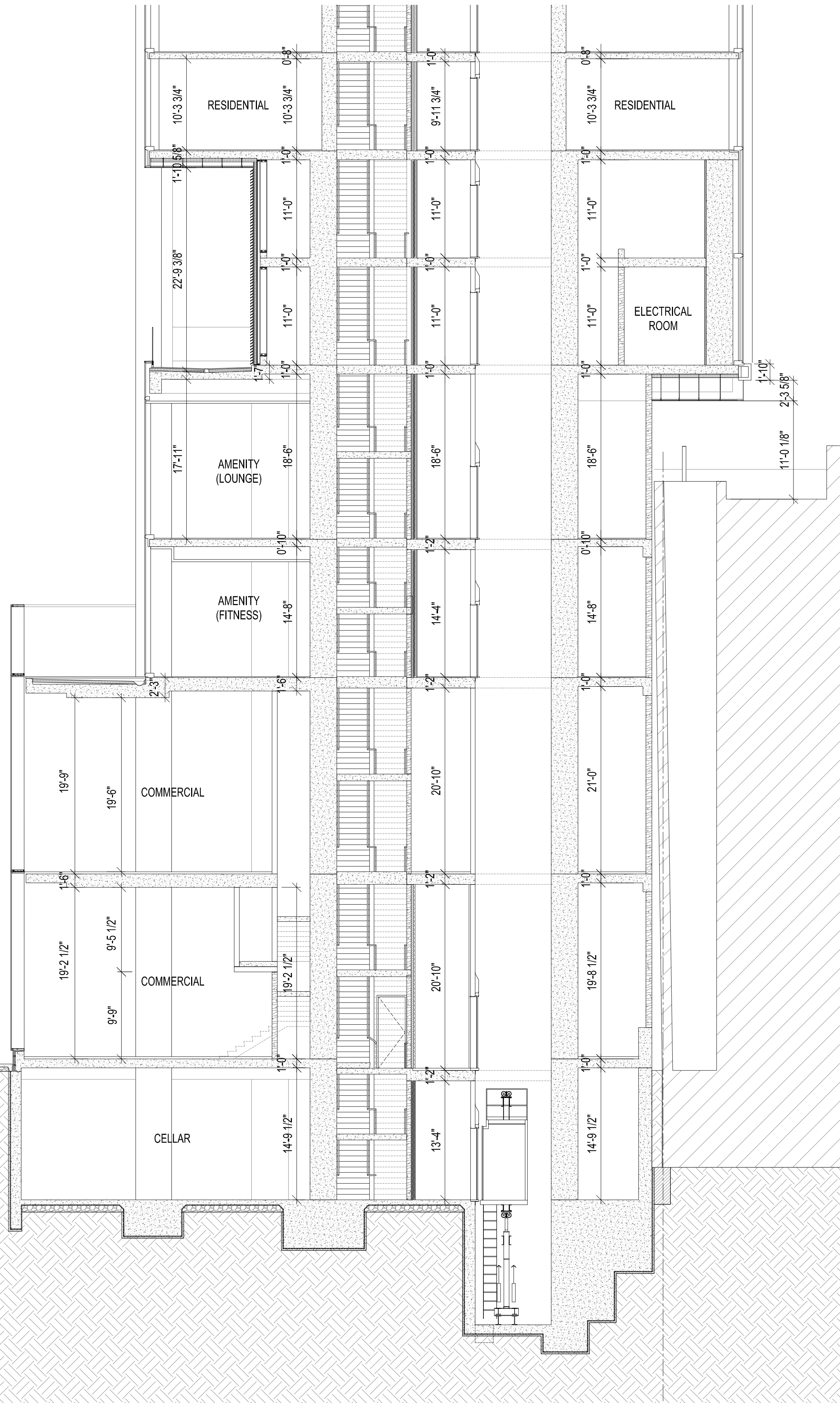
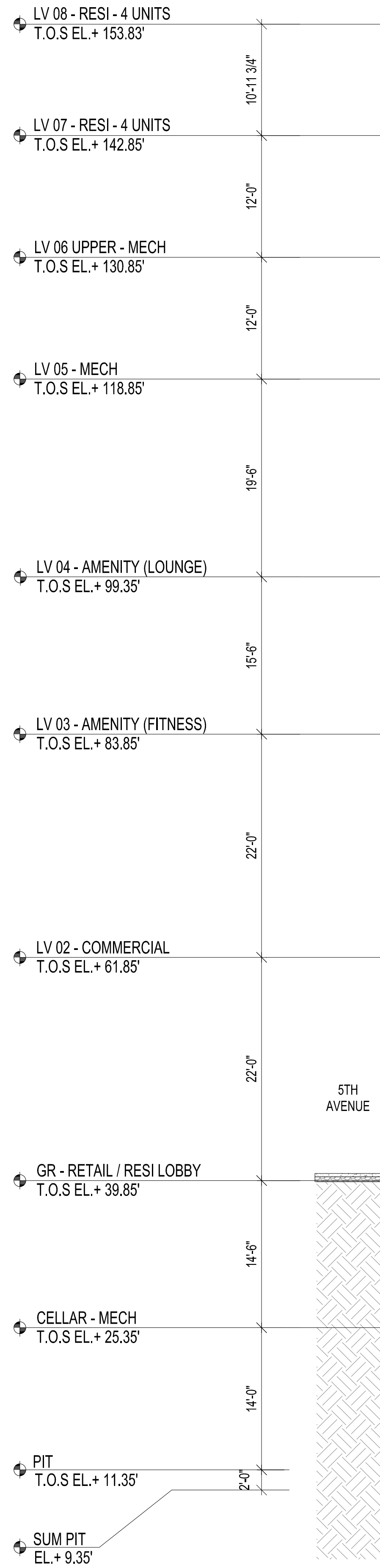
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NORTH-SOUTH (LOOKING EAST) SECTION AT PENTHOUSE, MECHANICAL FLOOR AND ROOF
SCALE 1/8" = 1'-0" 03



NORTH-SOUTH (LOOKING EAST) SECTION AT MECHANICAL FLOOR
SCALE 1/8" = 1'-0" 02



NORTH-SOUTH (LOOKING EAST) SECTION AT PODIUM AND MECHANICAL FLOOR / STRUCTURAL TRANSFER
SCALE 1/8" = 1'-0" 01

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ENERGY MODELING CONSULTANT:
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NEW YORK, NY, 10001
TEL: 212 564 5800

INTERIOR DESIGN CONSULTANT:
BEERS INTERIORS
156 5TH AVENUE, PENTHOUSE 2
NEW YORK, NY, 10010
TEL: 212 352 2020

NYC DEPT. OF BUILDINGS
PAA #2

ARCHITECT'S SEAL
Areg Asatryan, RA
U. Asatryan
APPROVED
Under Observation and 20%
AMENDED APPLICATION
Date: 04/19/2018
NYC Development Hub

09/08/2017 PAA #2
02/24/2017 PAA #1
04/08/2016 DOB SUBMITTAL
01/18/2016 FOUNDATION BID
12/23/2015 SCHEMATIC DESIGN

ISSUE NO. DATE DESCRIPTION

30TH STREET
5TH AVENUE

KEY PLAN AND NORTH SIGN
IF THIS DRAWING IS NOT 42" X 30" IT IS
A REDUCED PRINT;
REFER TO GRAPHIC SCALE

0 4 8

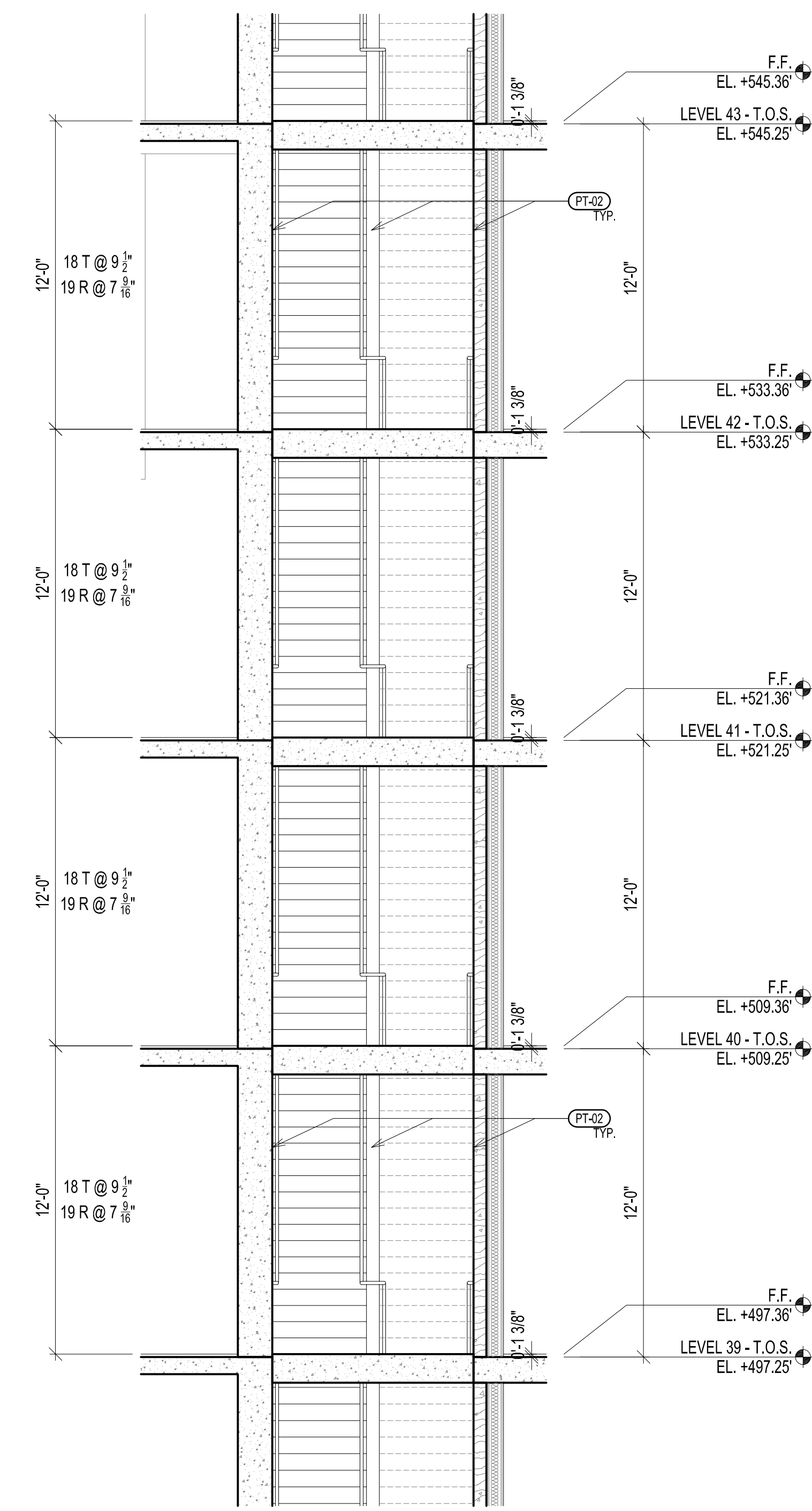
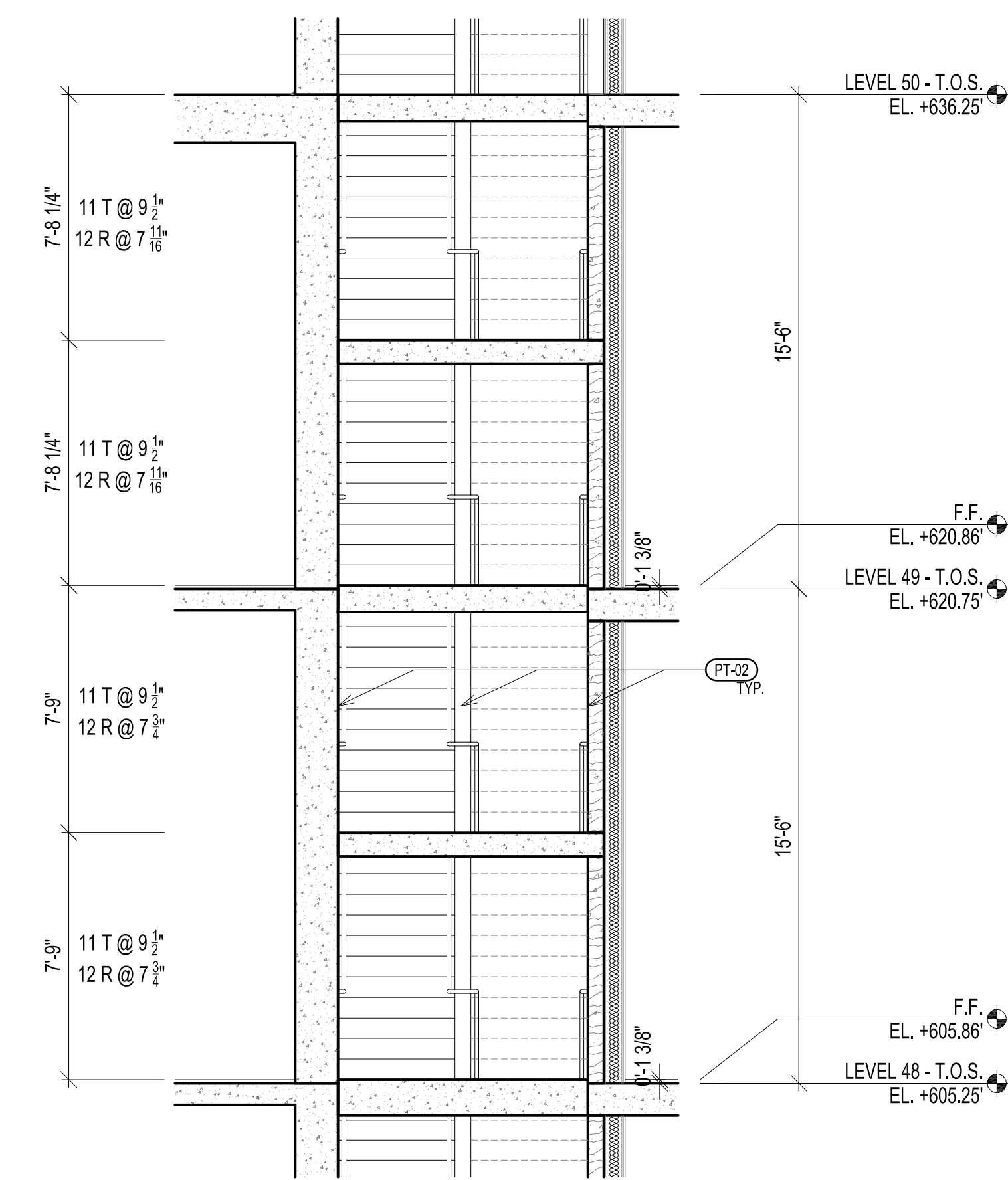
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PARTIAL BUILDING
SECTION
NORTH-SOUTH

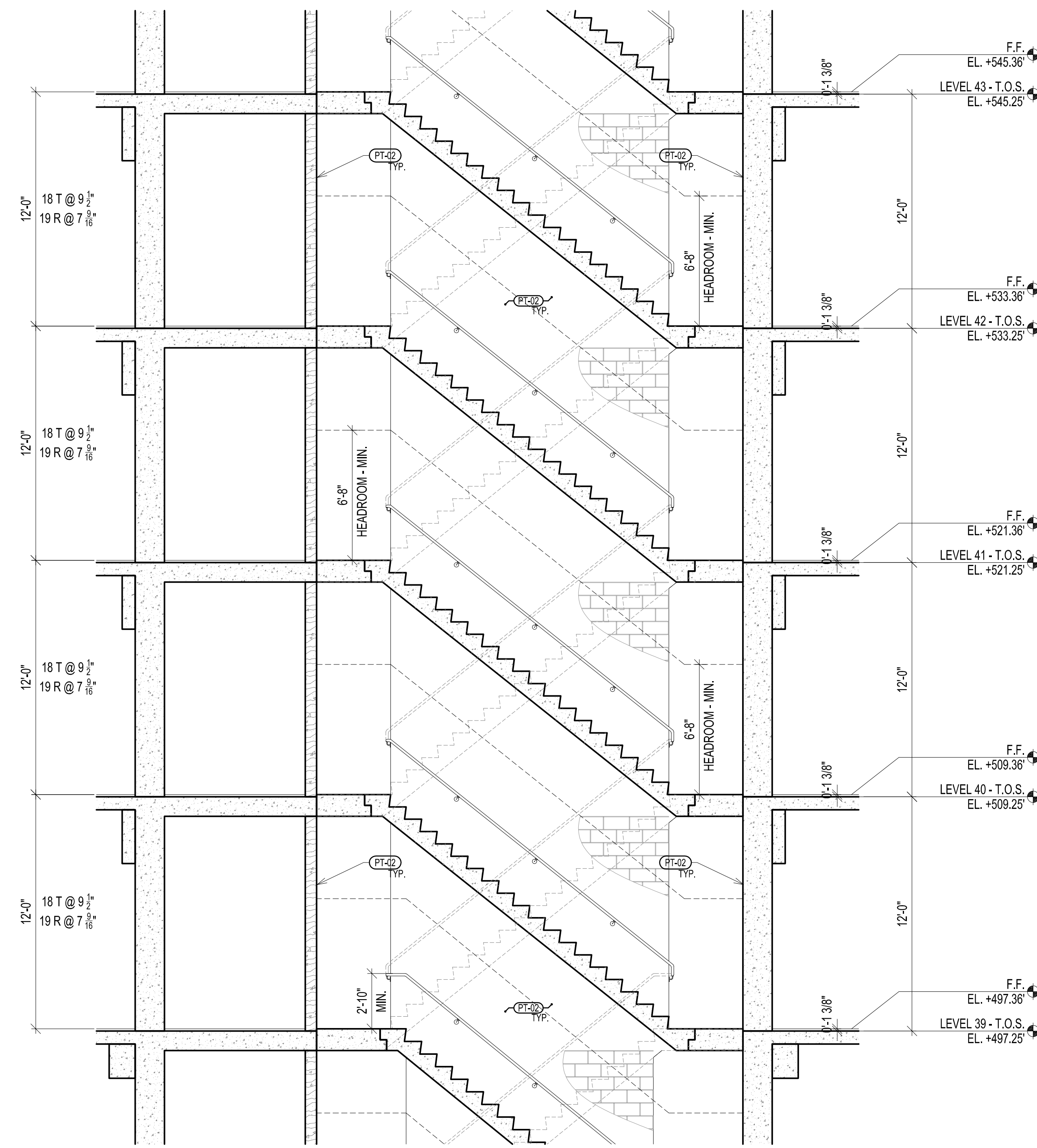
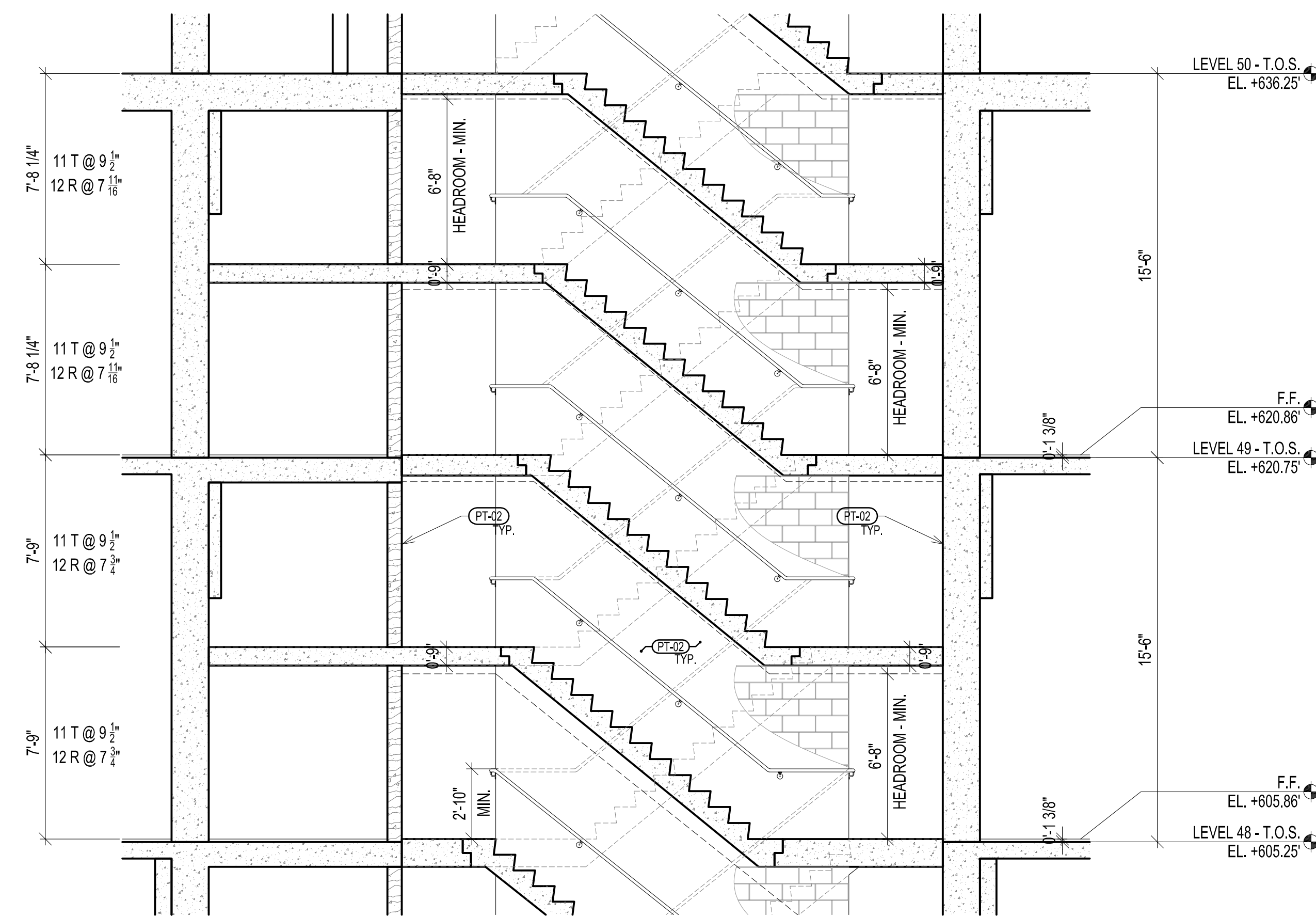
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A-304.02

SHEET NUMBER :

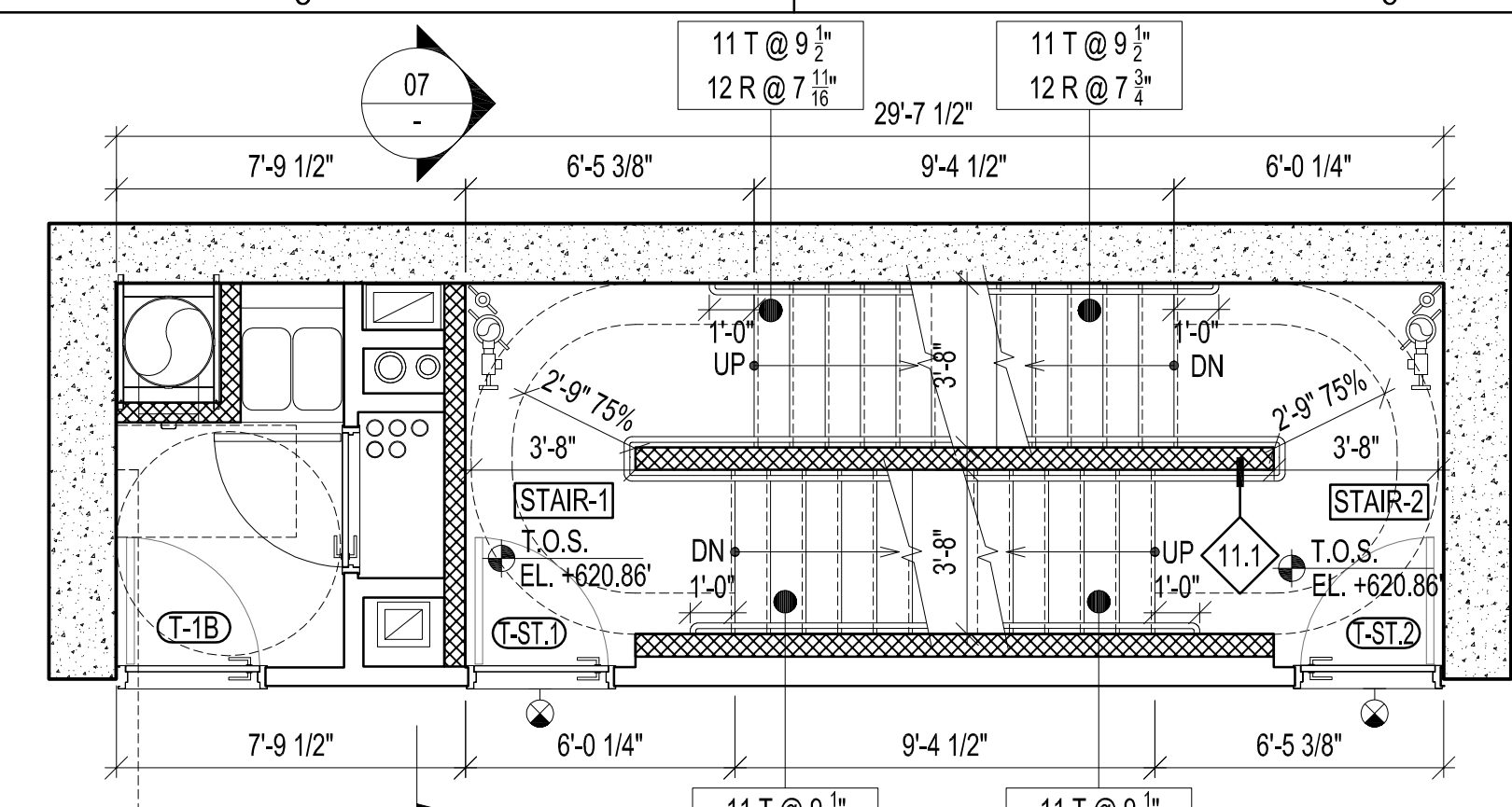
GENERAL NOTES	
1.	PROVIDE STAIRWAY DOOR OPERATION AND STAIRWAY COMMUNICATION IN COMPLIANCE WITH BC 403.5.3.
2.	NO LUMINOUS EGRESS PATH MARKINGS PER EXCEPTION BC 403.5.5.
3.	2-HOUR RATED IMPACT-RESISTANT STAIR ENCLOSURE COMPLYING WITH BC 403.2.3. PLEASE REFER TO PARTITION TYPES SHEET A-701.01 FOR ADDITIONAL DETAILS.
4.	2-HOUR RATED SMOKE-PROOF EXIT ENCLOSURE COMPLYING WITH BC 403.4.4. PLEASE REFER TO PARTITION TYPES SHEET A-701.01 FOR ADDITIONAL DETAILS.



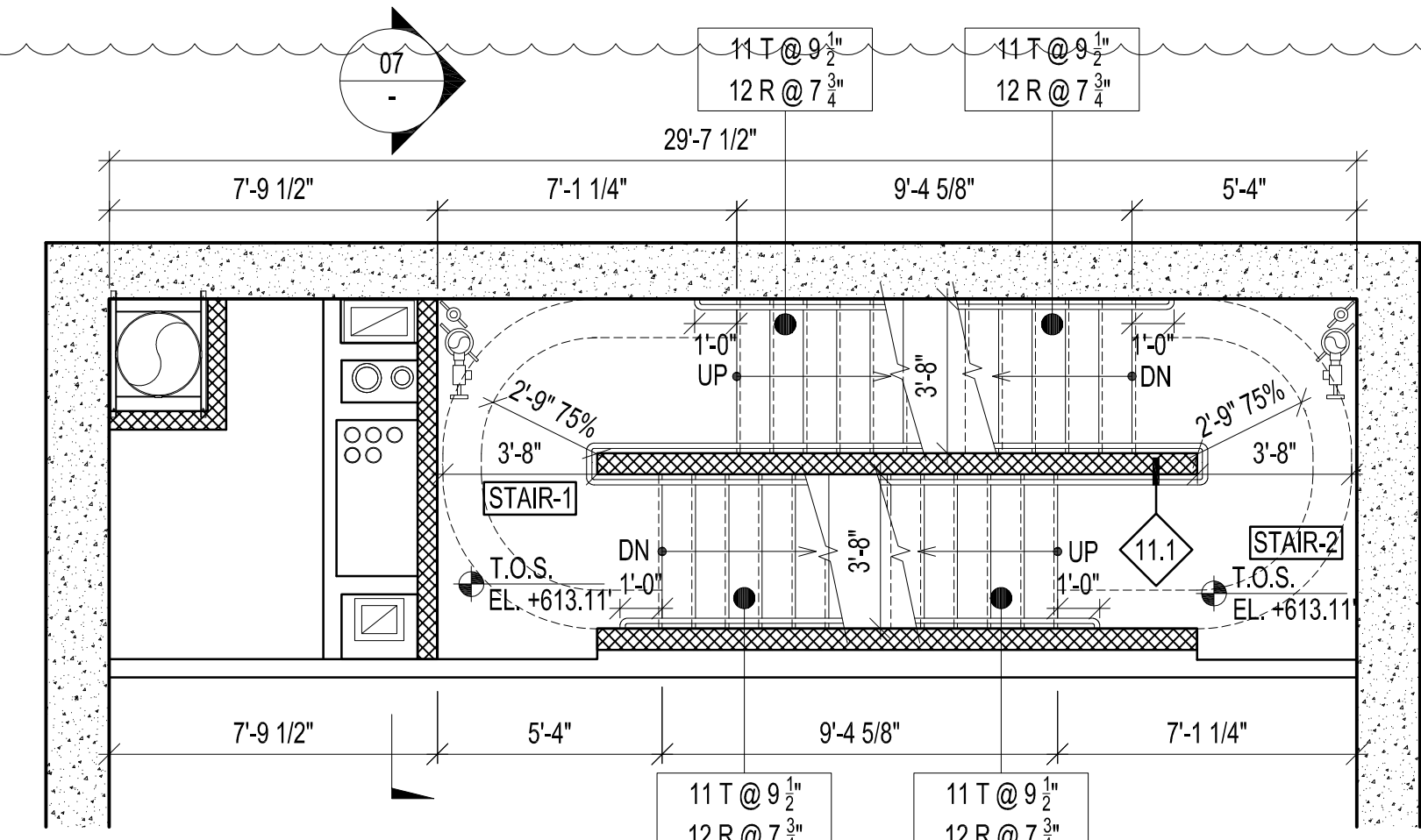
SECTION AT STAIR 1 AND 2 - NORTH/SOUTH	07
SCALE 1/4" = 1'-0"	



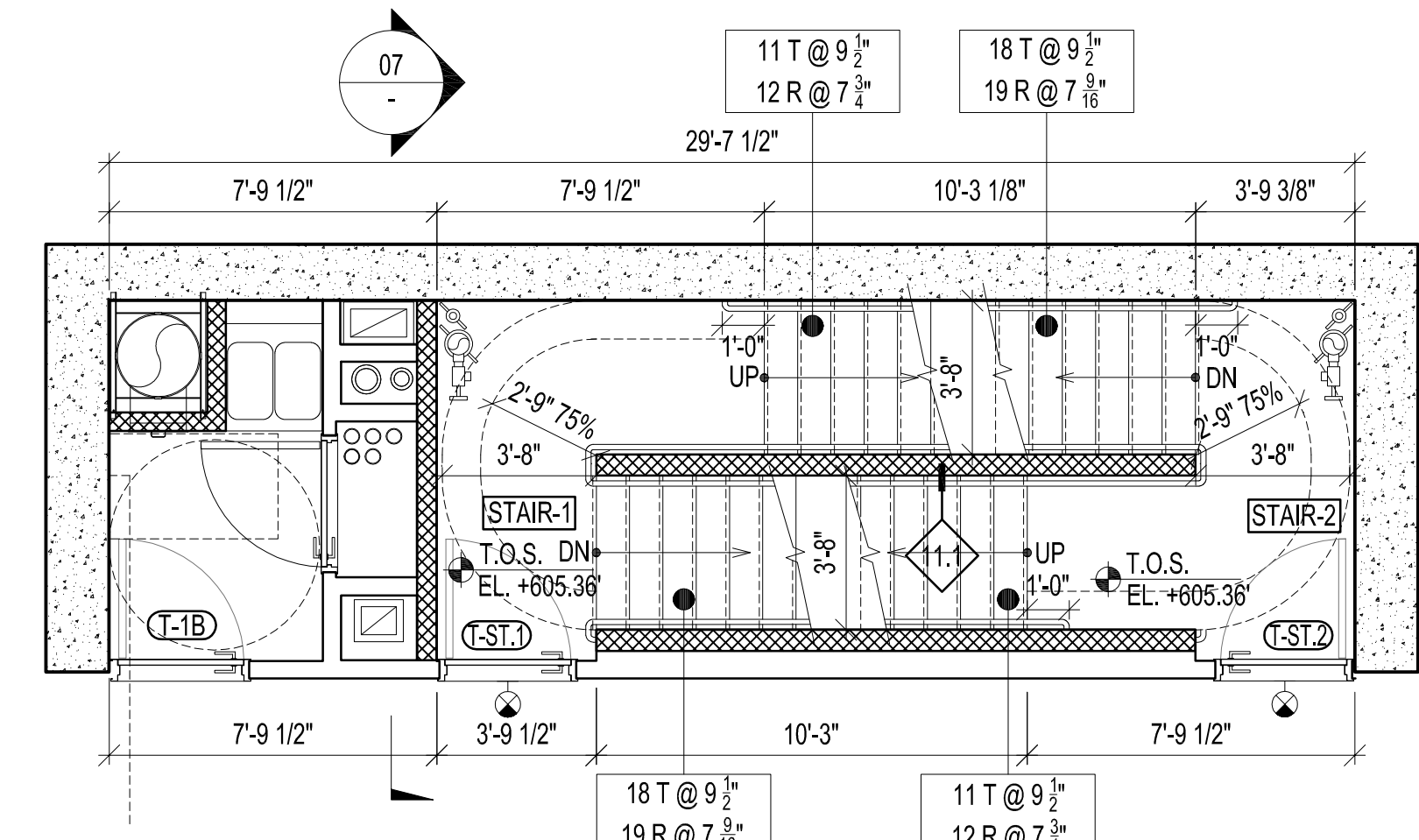
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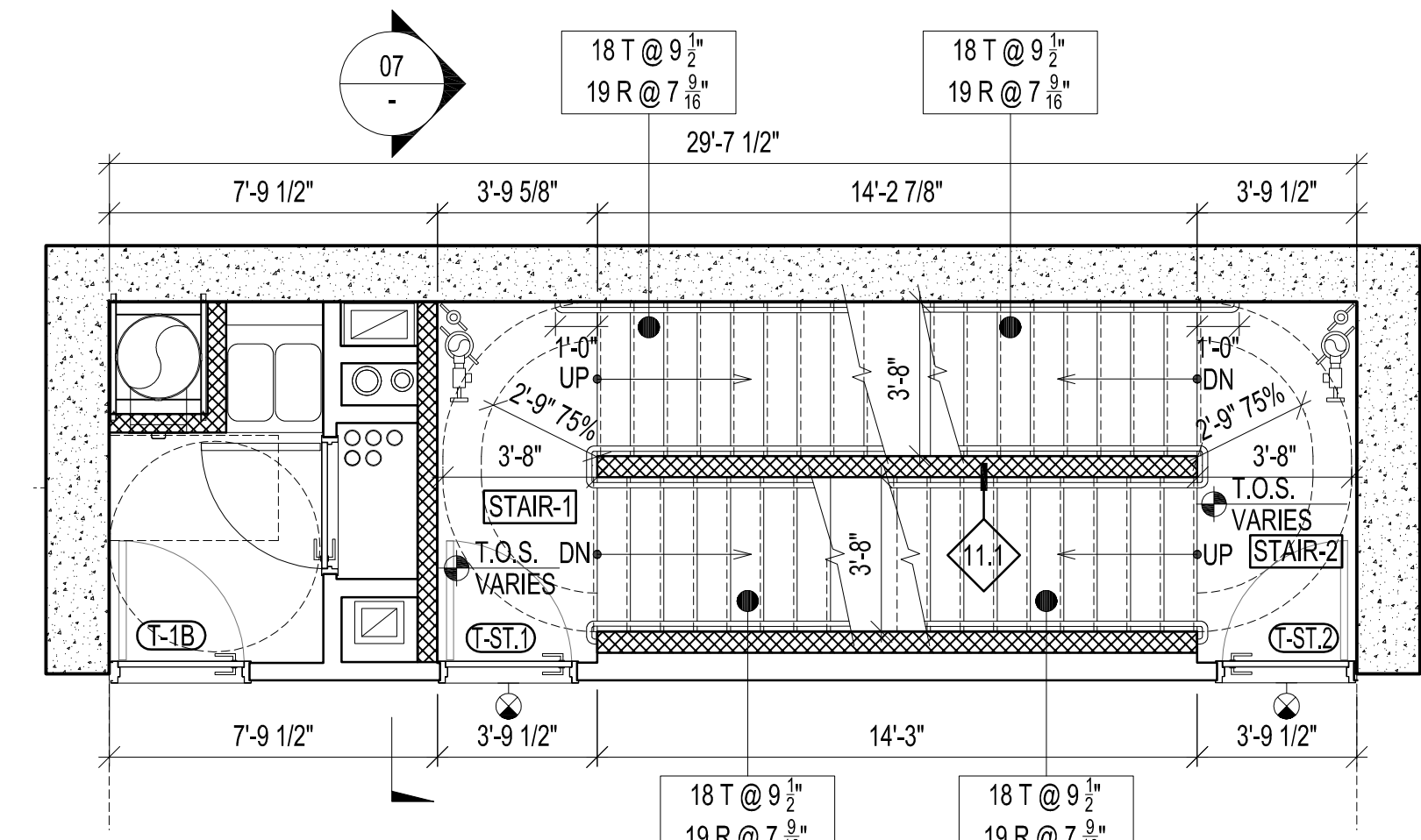
PLAN AT STAIR 1 AND 2 - PENTHOUSE LEVEL 49	0
SCALE 1/4" = 1'-0"	



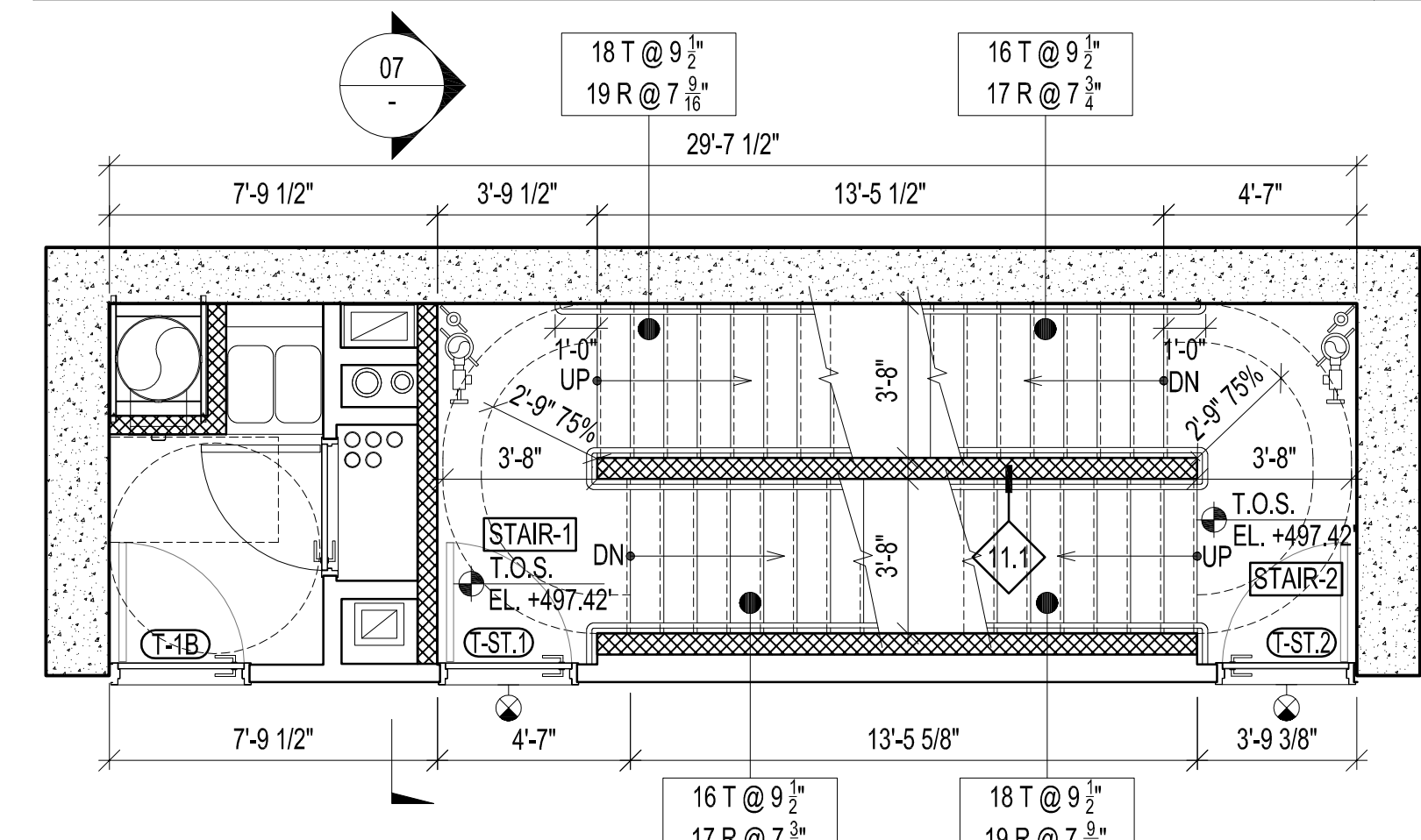
PLAN AT STAIR 1 AND 2 - INTERMEDIATE LANDING PENTHOUSE LEVEL 48
SCALE 1/4" = 1'-0"



PLAN AT STAIR 1 AND 2 - PENTHOUSE LEVEL 48	0
SCALE 1/4" = 1'-0"	



PLAN AT STAIR 1 AND 2 - TYPICAL RESIDENTIAL FLOOR LEVEL 40-47	0
SCALE 1/4" = 1'-0"	



PLAN AT STAIR 1 AND 2 - TYPICAL RESIDENTIAL FLOOR LEVEL 39	0
SCALE 1/4" = 1'-0"	

277
Fifth Avenue
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ARCHITECT :
RAFAEL VIÑOLY ARCHITECTS P
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NEW YORK, NY 10013
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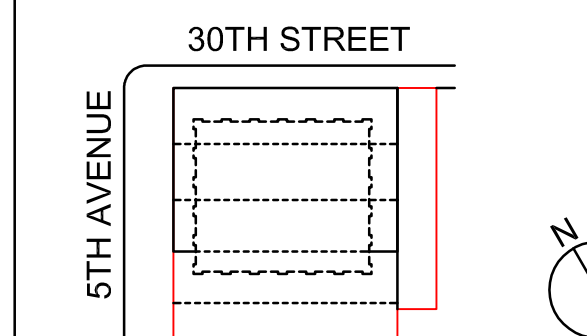
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U. [Signature]
APPROVED
Under Directive 2 of 1975
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Date: 04/19/2018
NYC Development Hu

ISSUE NO.	ISSUE DATE	DESCRIPTION
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	02/24/2017	PAA #1



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STAIR 1 AND 2 PLANS AND SECTIONS 05

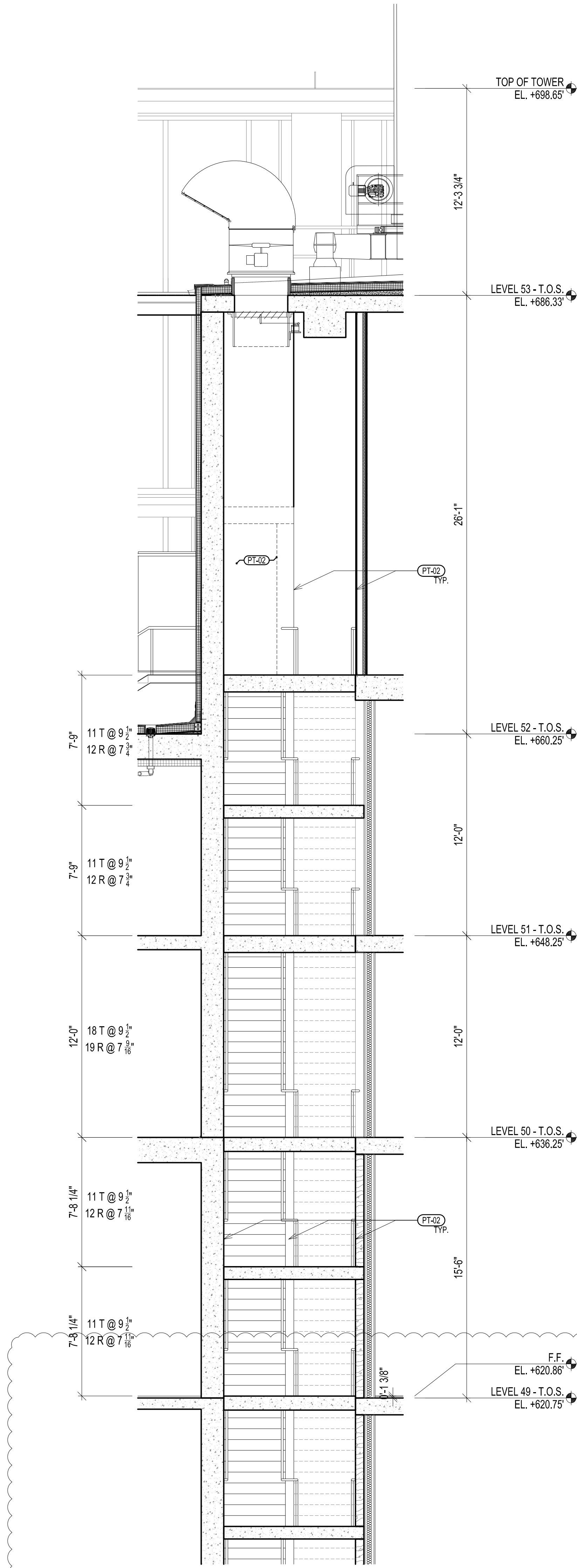
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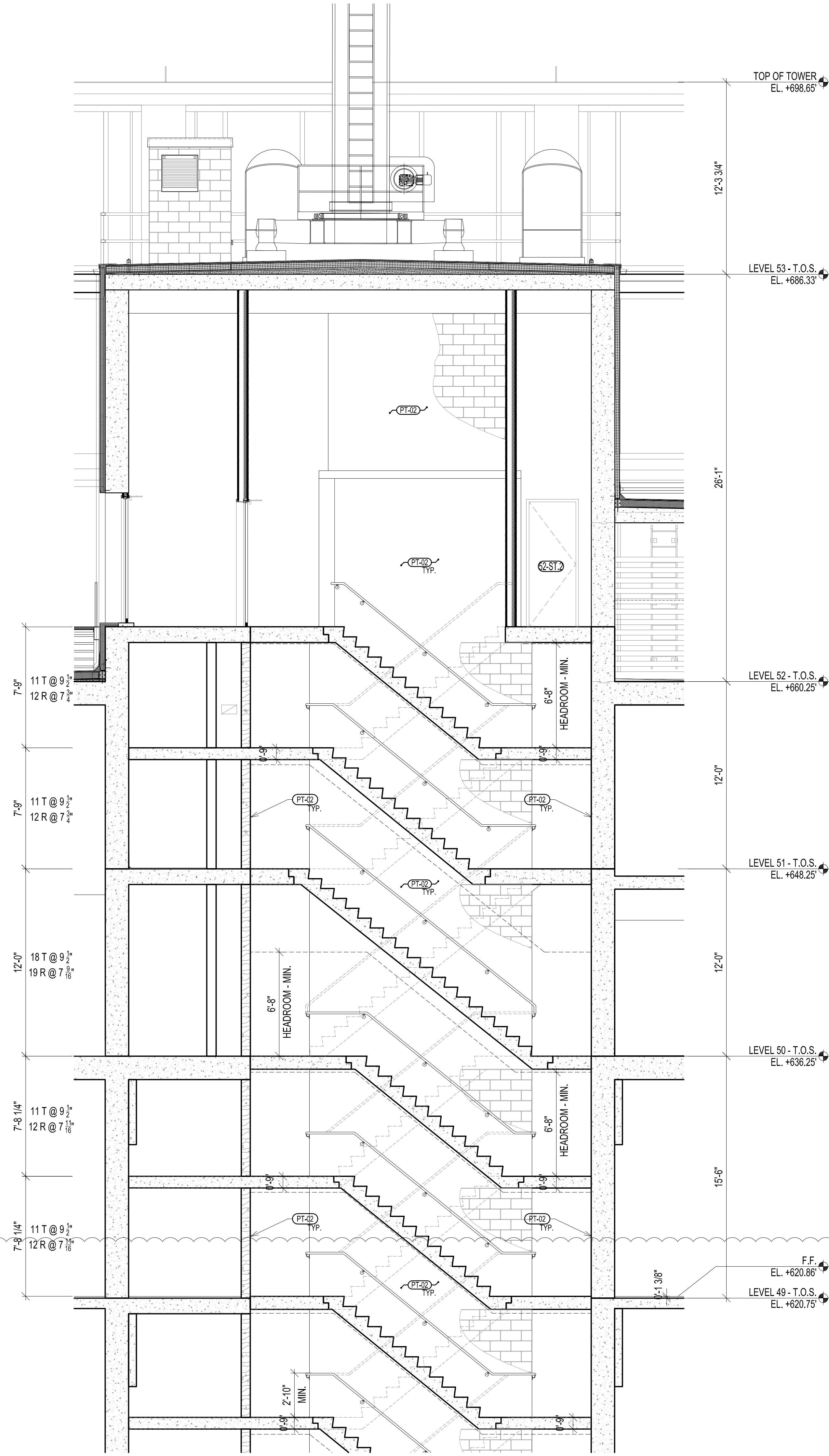
SHEET NUMBER :

2016 RAFAEL VINOLY ARCHITECTS

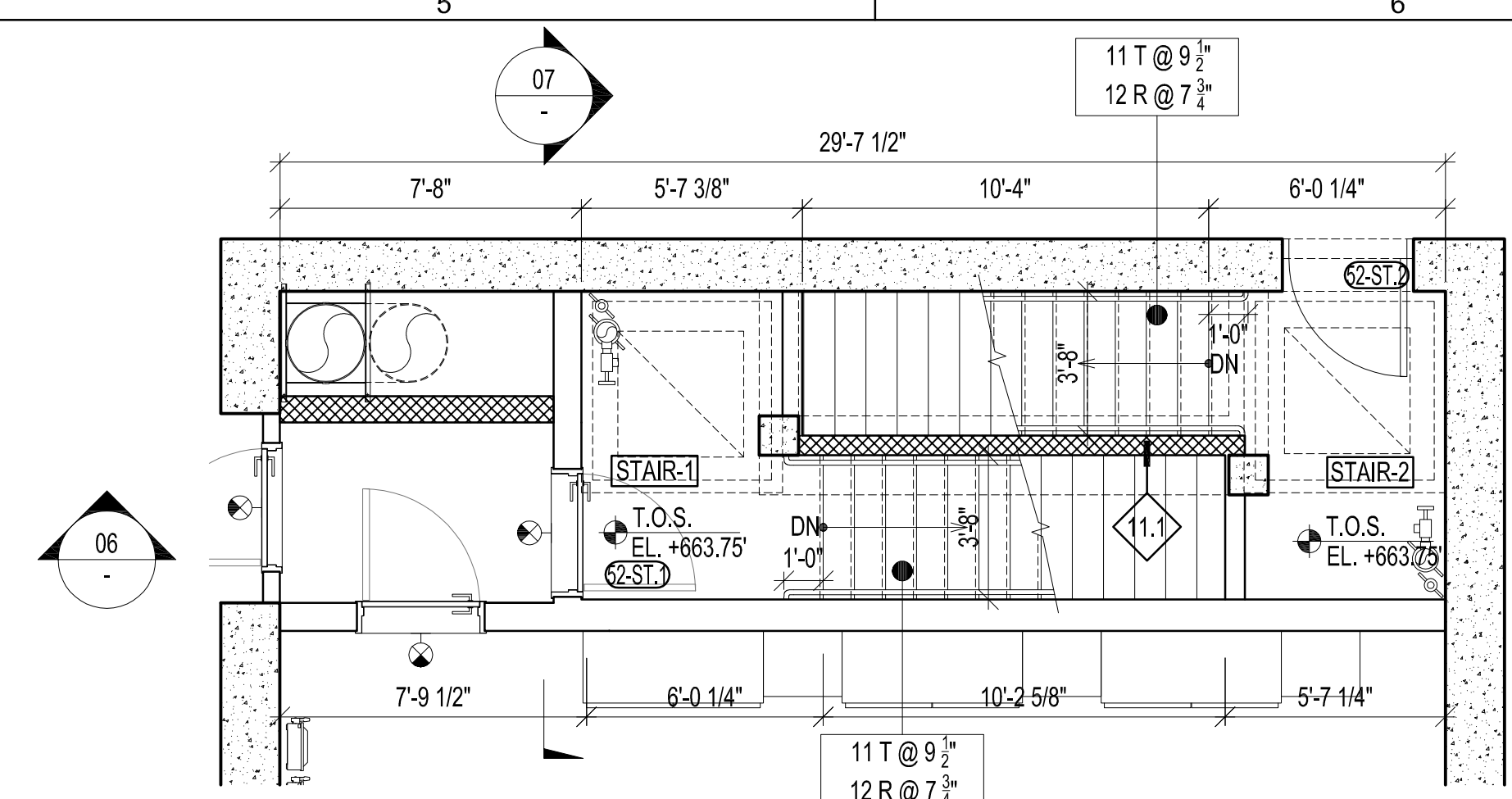
- GENERAL NOTES
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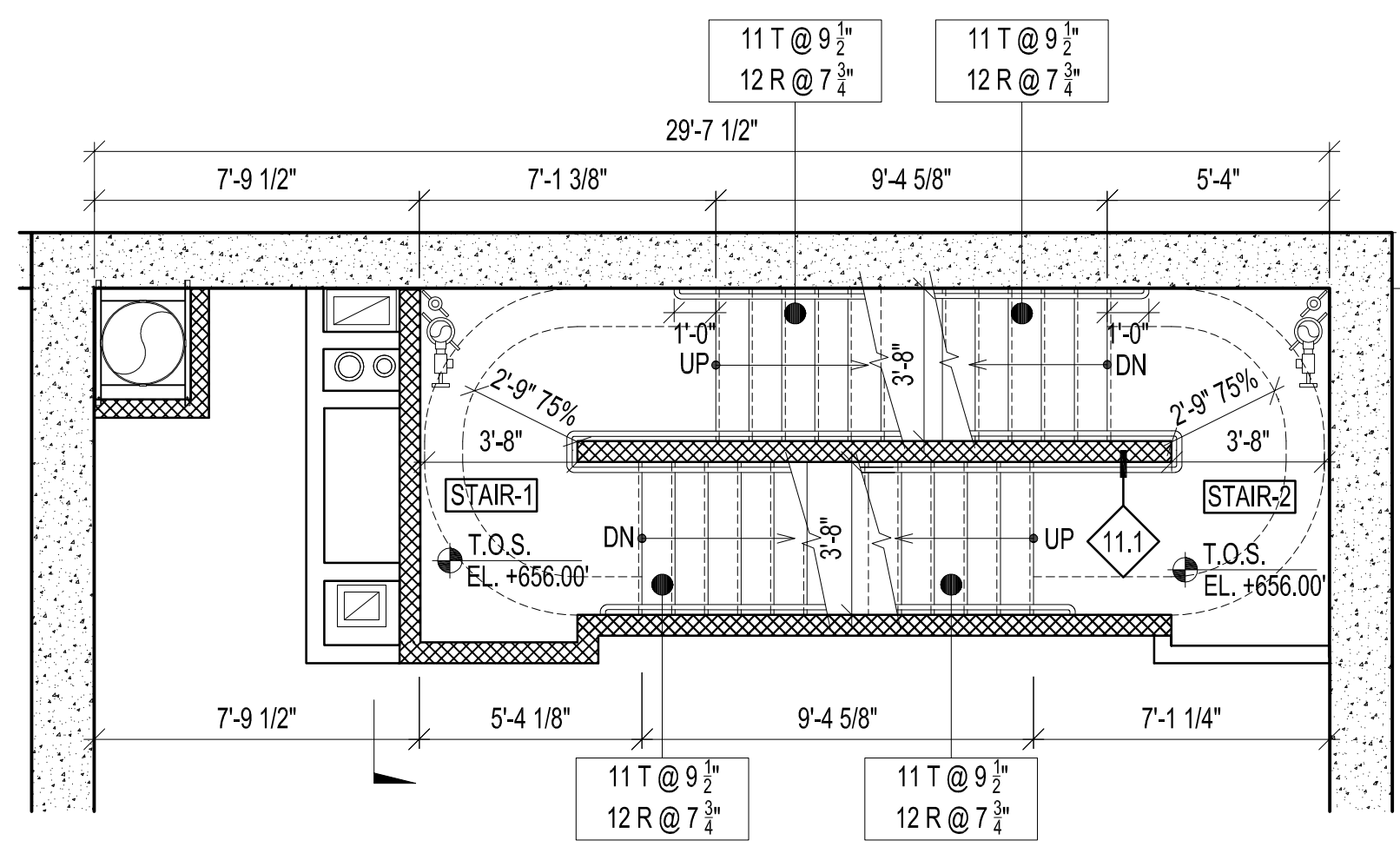
SECTION AT STAIR 1 AND 2 - NORTH/SOUTH
SCALE 1/4" = 1'-0" 07



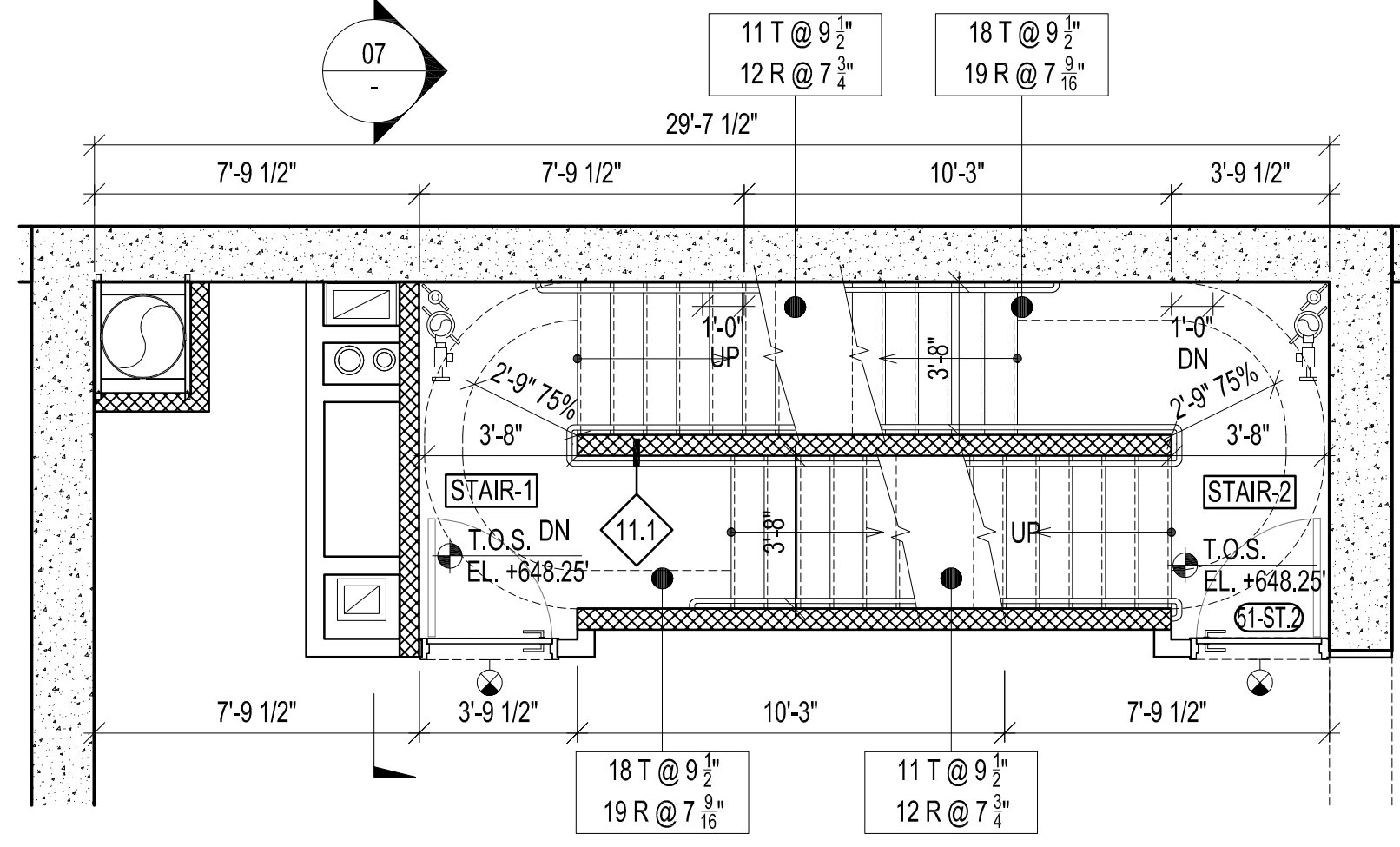
SECTION AT STAIR 1 AND 2 - EAST/WEST
SCALE 1/4" = 1'-0" 06



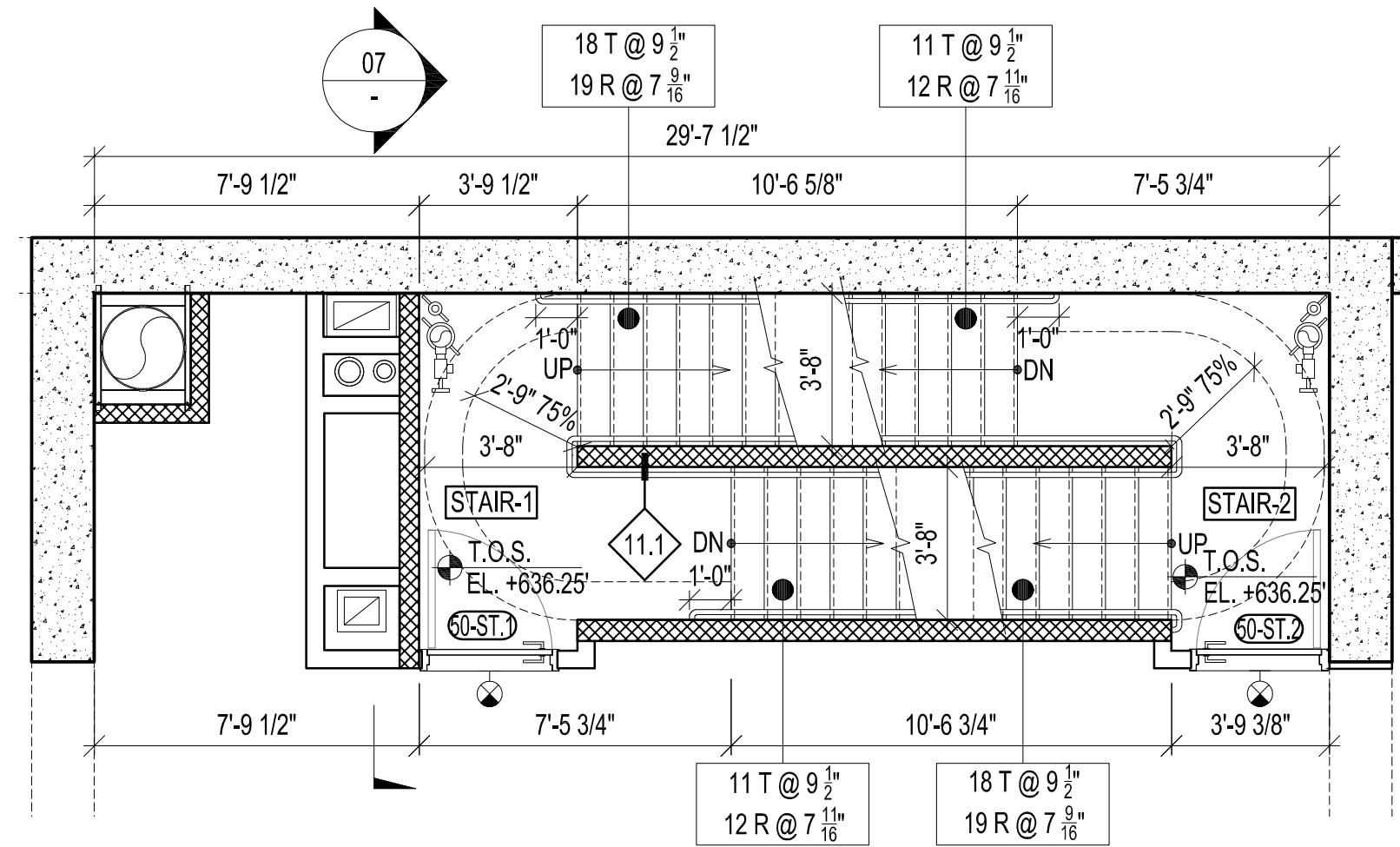
PLAN AT STAIR 1 AND 2 - EMR / SLOSH TANK LEVEL 52
SCALE 1/4" = 1'-0" 05



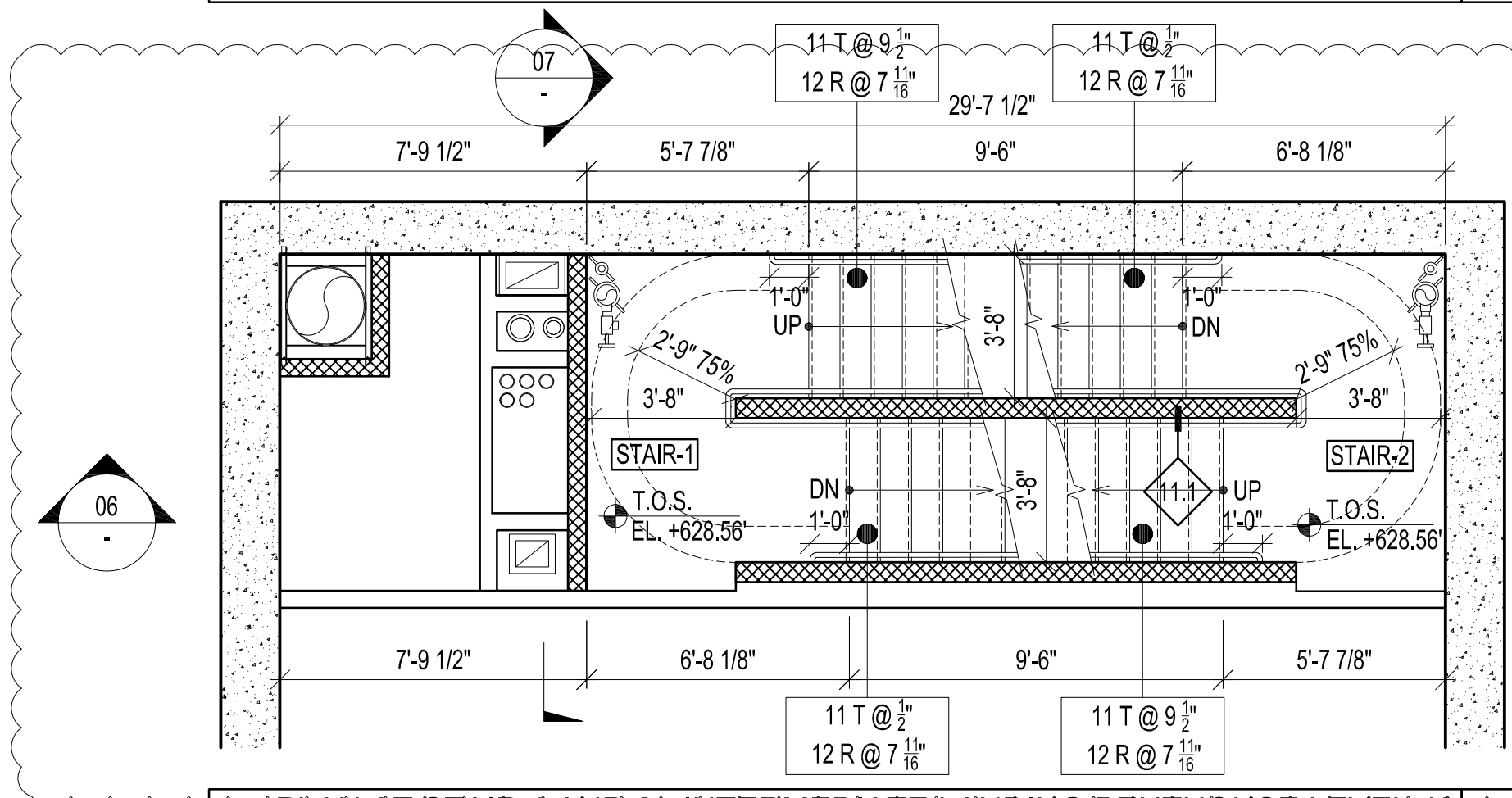
PLAN AT STAIR 1 AND 2 - INTERMEDIATE LANDING MECHANICAL LEVEL 51
SCALE 1/4" = 1'-0" 04



PLAN AT STAIR 1 AND 2 - MECHANICAL LEVEL 51
SCALE 1/4" = 1'-0" 03



PLAN AT STAIR 1 AND 2 - MECHANICAL LEVEL 50
SCALE 1/4" = 1'-0" 02



PLAN AT STAIR 1 AND 2 - INTERMEDIATE LANDING PENTHOUSE LEVEL 49
SCALE 1/4" = 1'-0" 01

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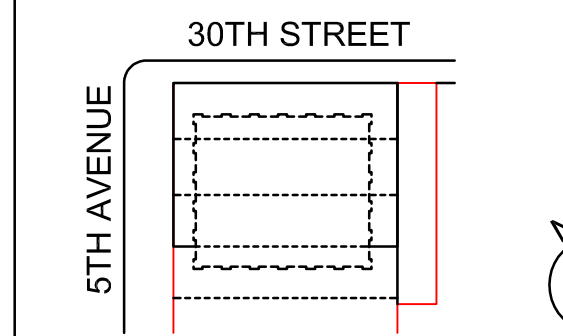
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NYC DEPT. OF BUILDINGS
PAA #2

ARCHITECT'S SEAL
Areg Asatryan, RA
U. [Signature]
APPROVED
Under Directive 2 of 1995
DESIGN PROFESSIONAL
Date: 09/19/2018
NYC Development Hub

09/08/2017 PAA #2
02/24/2017 PAA #1
ISSUE DATE DESCRIPTION



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STAIR 1 AND 2
PLANS AND
SECTIONS 06

SHEET TITLE:

A-335.01

SHEET NUMBER:

SHEET NUMBER : _____

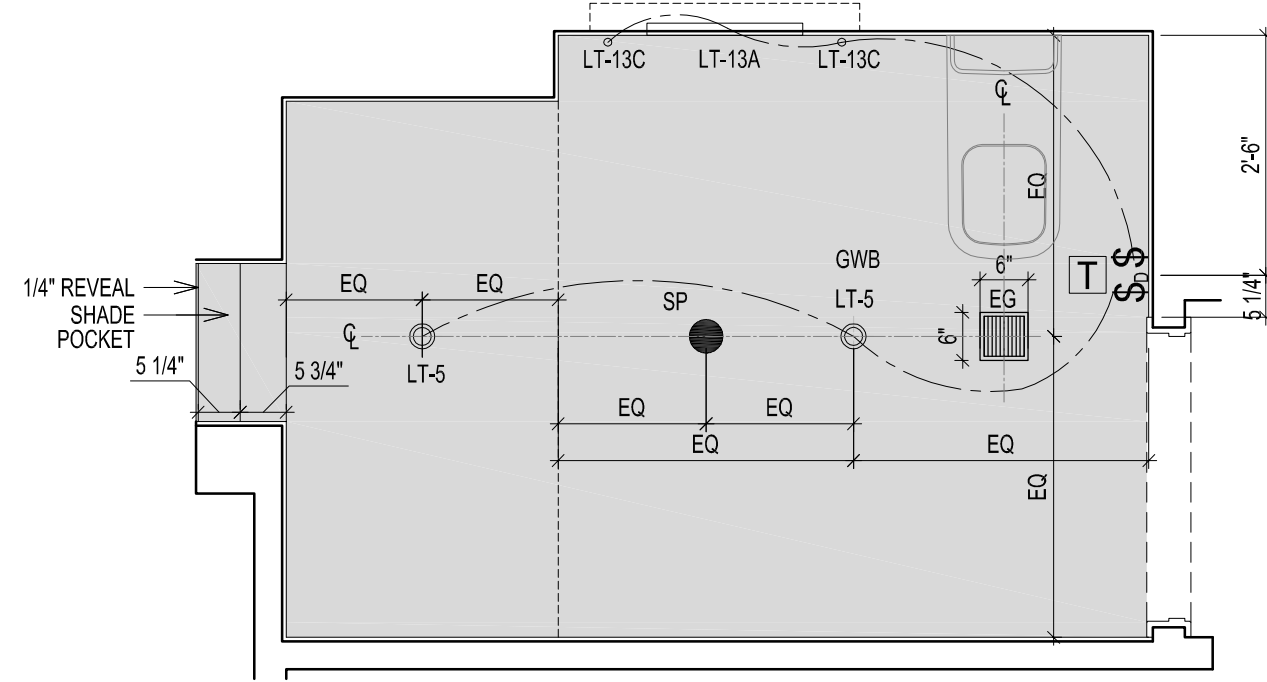


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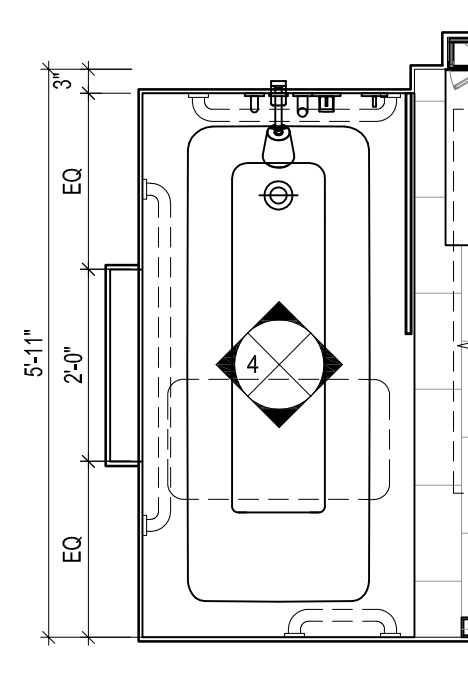
2016 RAFAEL VINOLY ARCHITECTS

BATHROOM TYPE	FLOOR	UNIT	CEILING HT	REMARK	VANITY TYPE
B-1A	LV 7	UNIT A	9'-0"	NYC ADAPTABLE "APPENDIX-P" BATHROOM	TYPE 2 34"
B-1B	LV 28-35	UNIT C	8'-6"	NYC ADAPTABLE "APPENDIX-P" BATHROOM	TYPE 1 32"
B-1C	LV 8-25	UNIT A	9'-0"	NYC ADAPTABLE "APPENDIX-P" BATHROOM	TYPE 2 34"

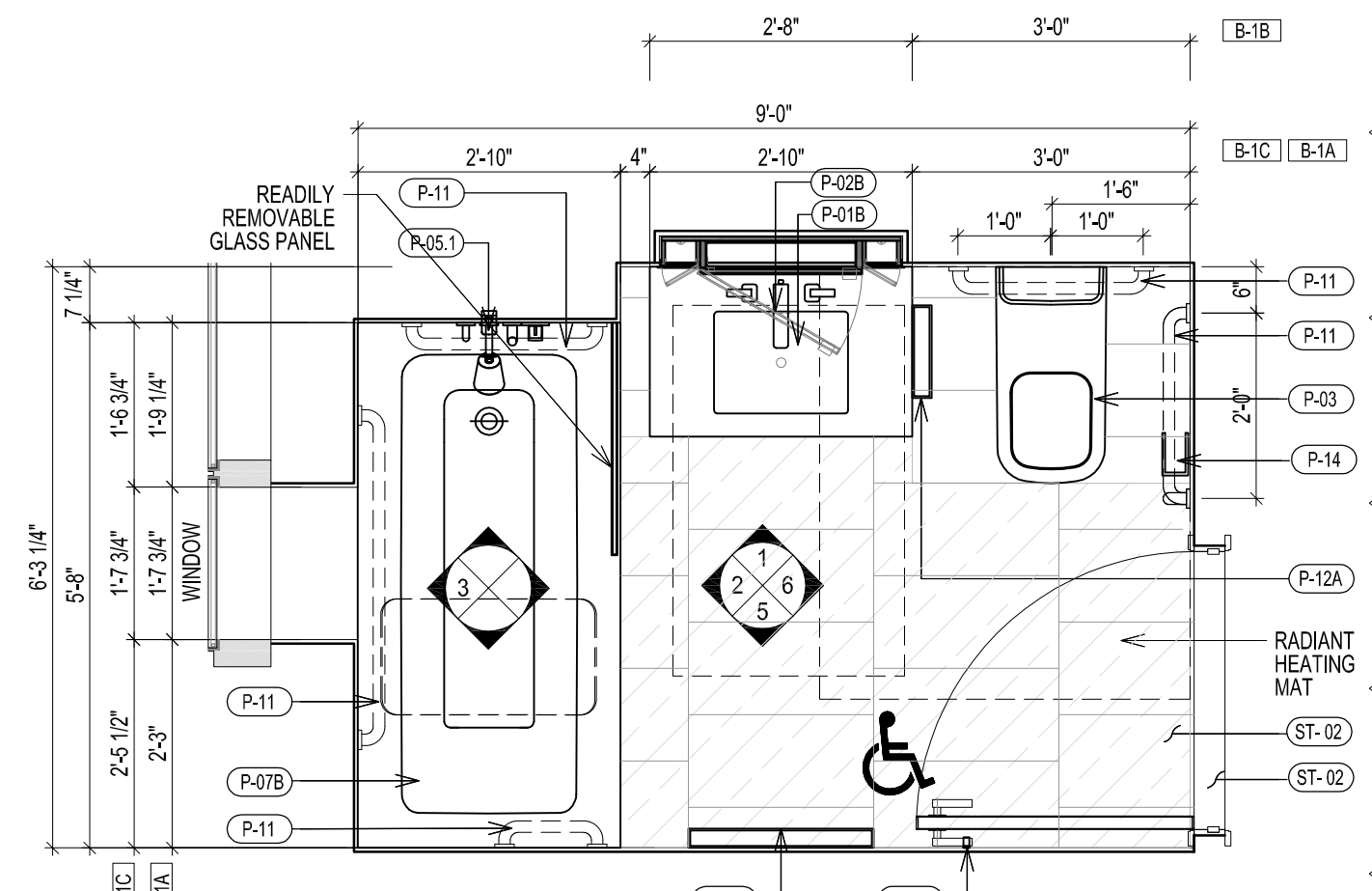
NOTE: ALL BATHROOM TO BE INSTALLED HEATING MAT UNDERNEATH FLOOR FINISH UNLESS OTHERWISE INDICATED



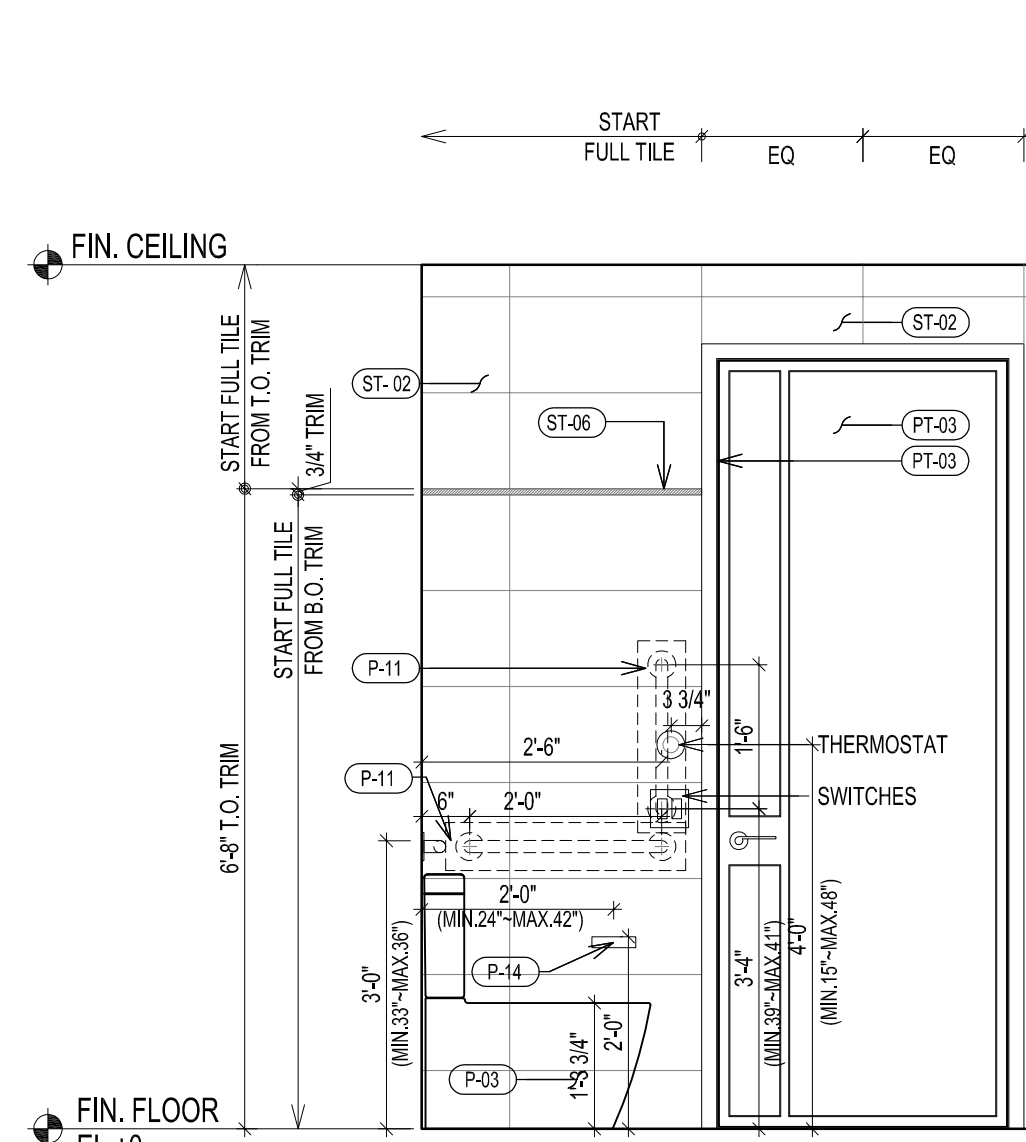
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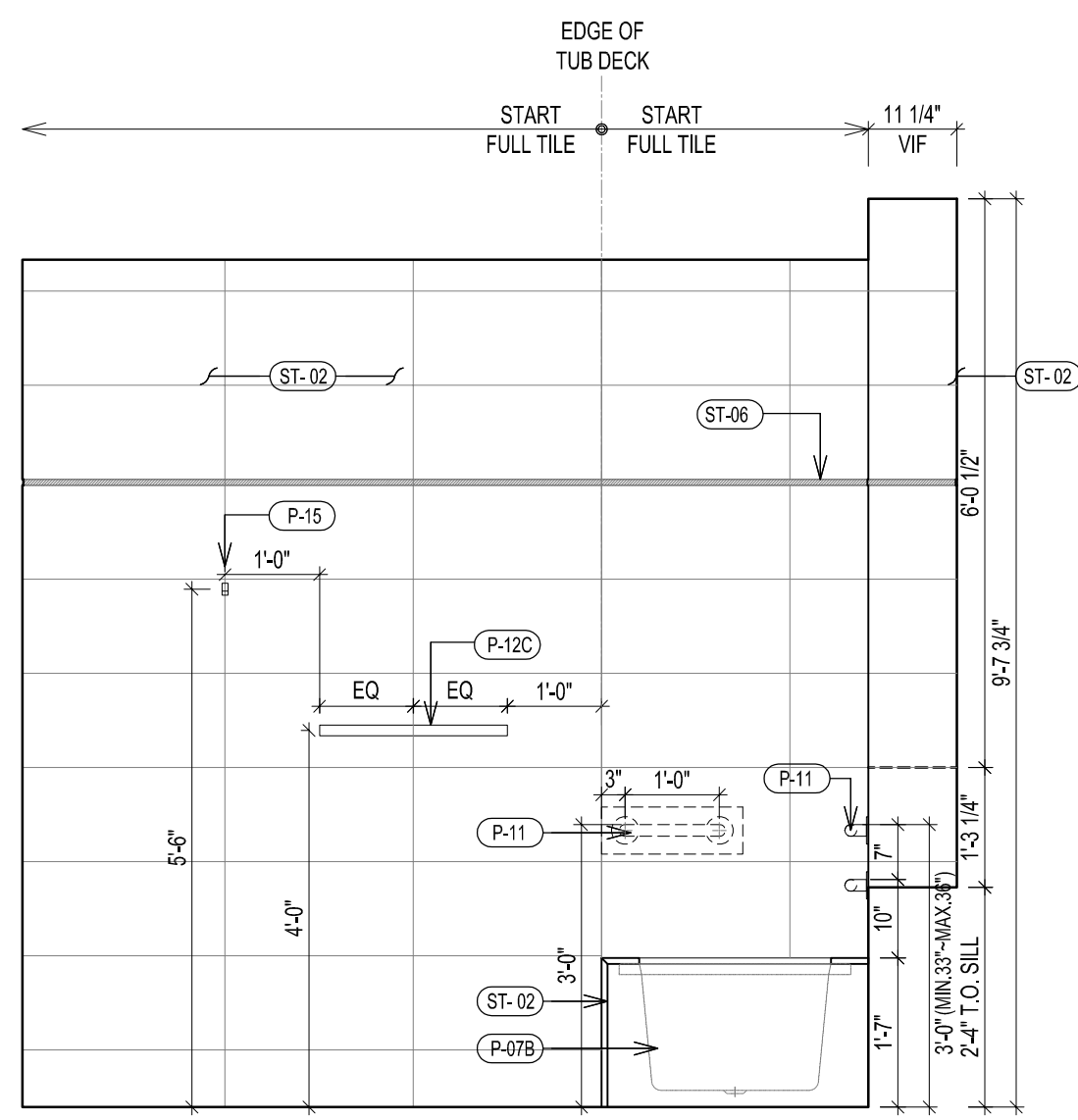
B TYPE B-1B PARTIAL FLOOR PLAN



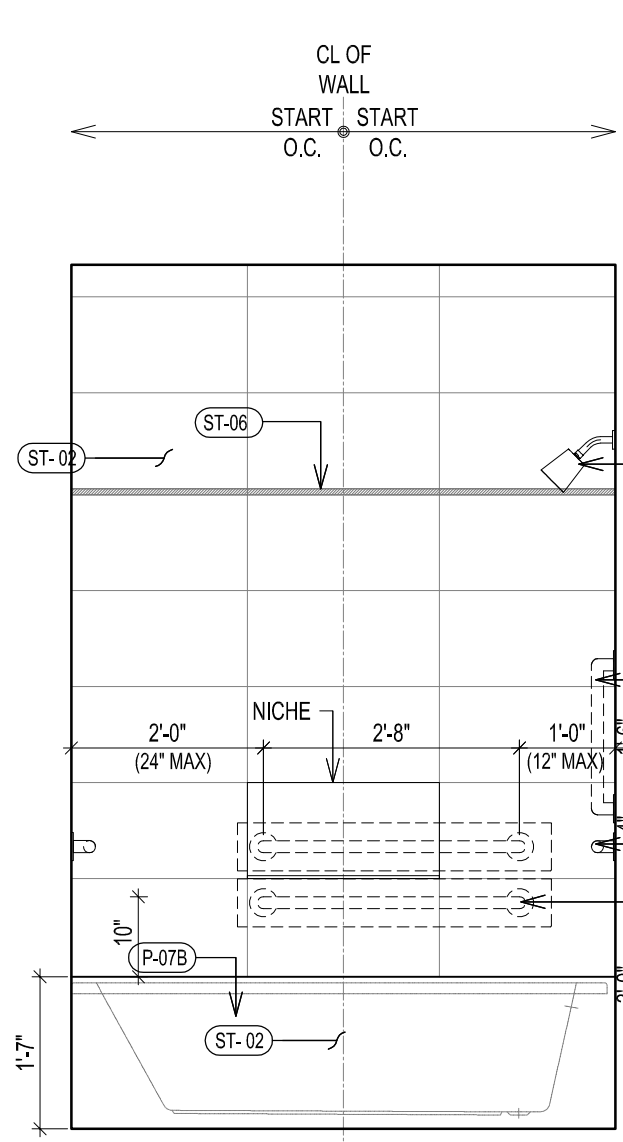
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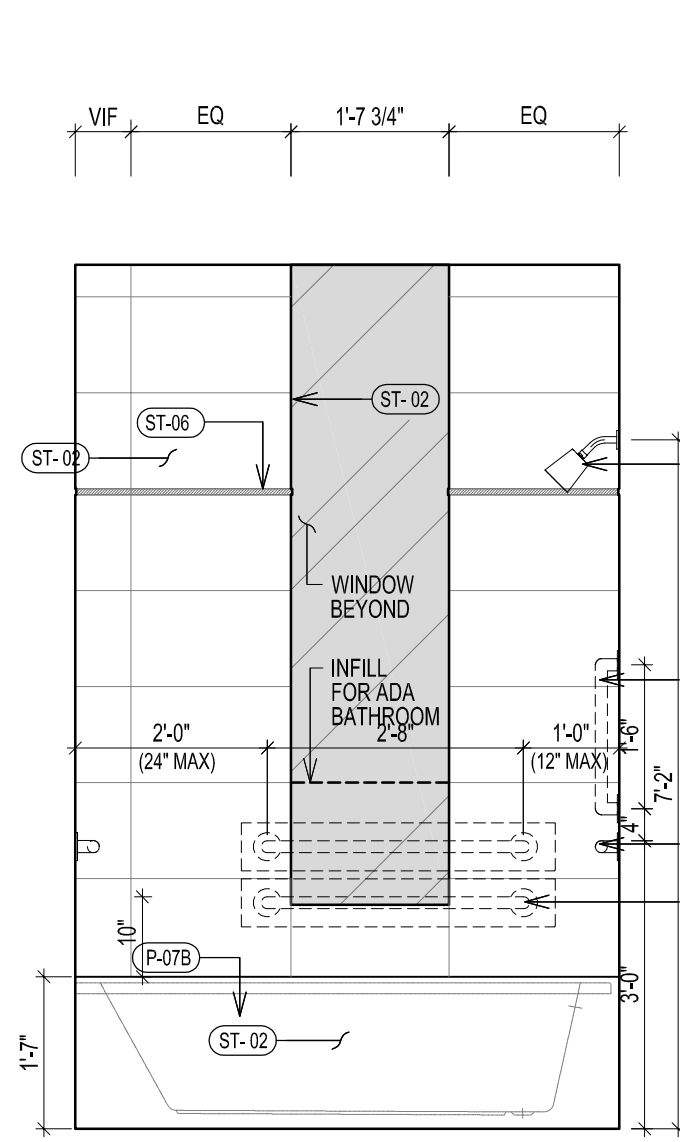
6 ELEVATION



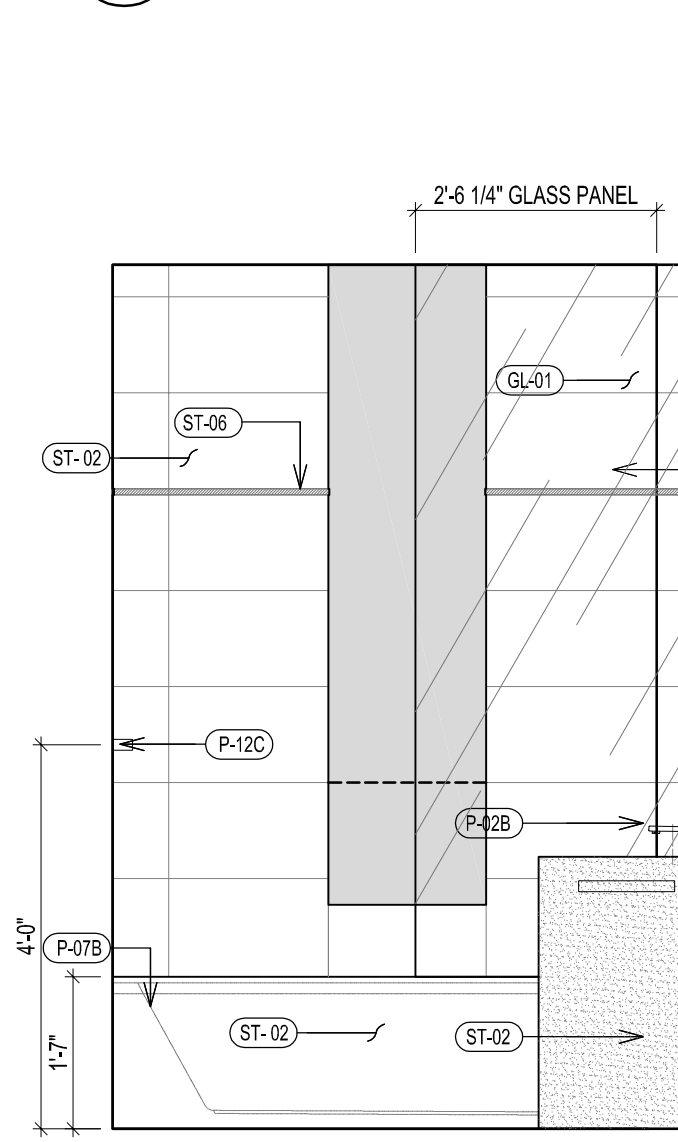
5 ELEVATION



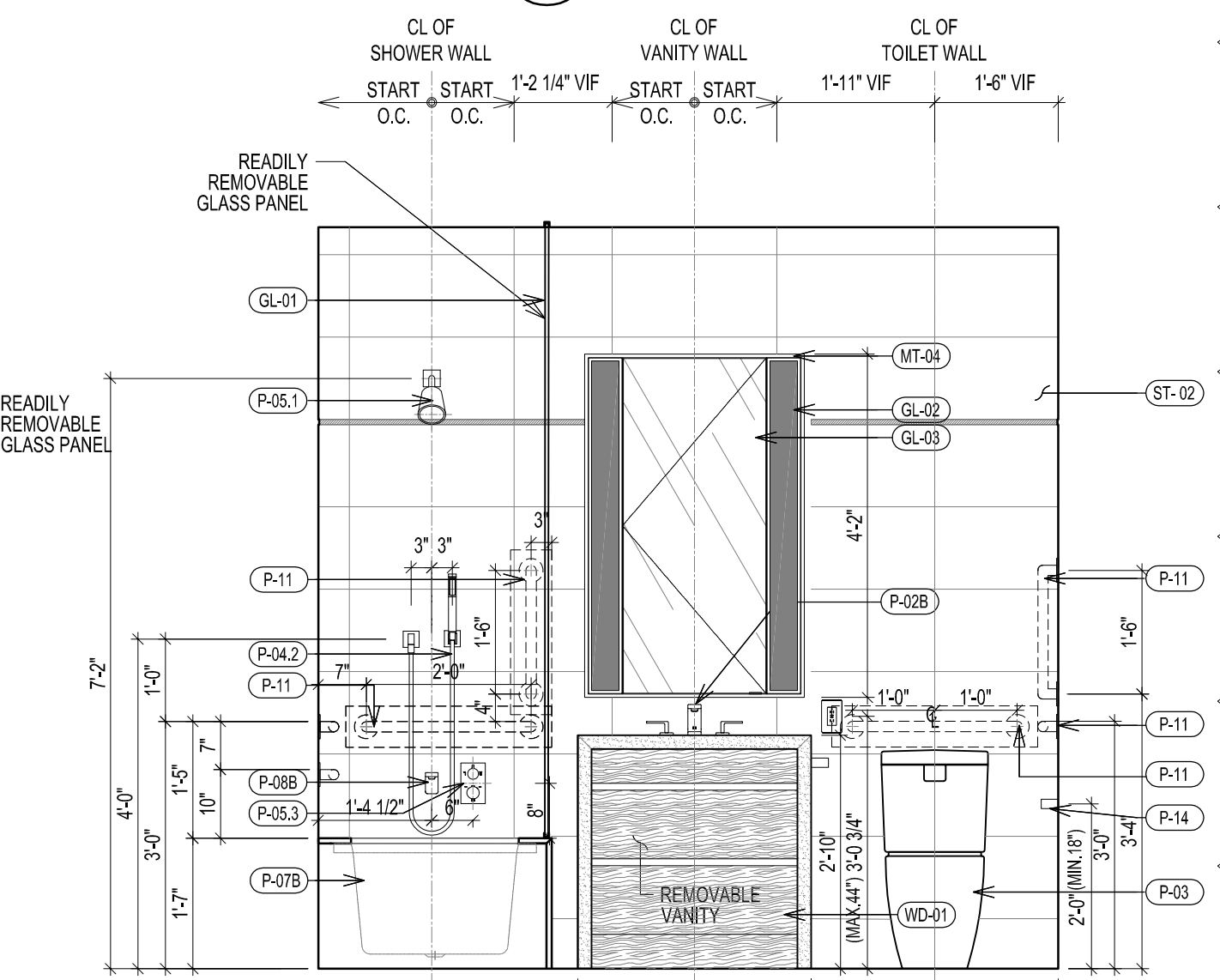
4 ELEVATION



3 ELEVATION



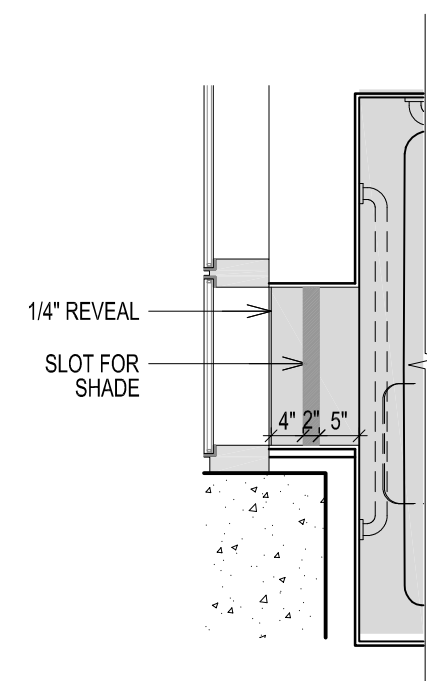
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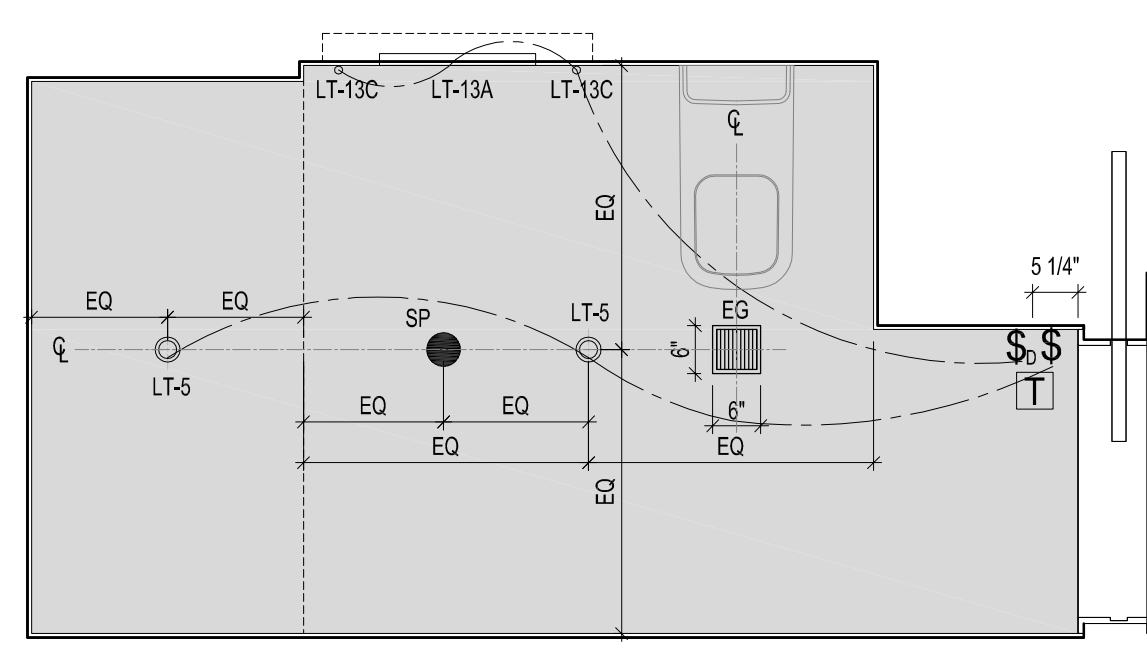
1 ELEVATION

BATHROOM TYPE	FLOOR	UNIT	CEILING HT	REMARK	VANITY TYPE
B-2A	LV 7	UNIT D	9'-2"	NYC ADAPTABLE "APPENDIX-P" BATHROOM	TYPE 1 32"
B-2B	LV 9-25	UNIT D	9'-2"	NYC ADAPTABLE "APPENDIX-P" BATHROOM	TYPE 1 32"
B-2C	LV 8	UNIT D	9'-2"	NYC ADAPTABLE "APPENDIX-P" BATHROOM	TYPE 1 32"

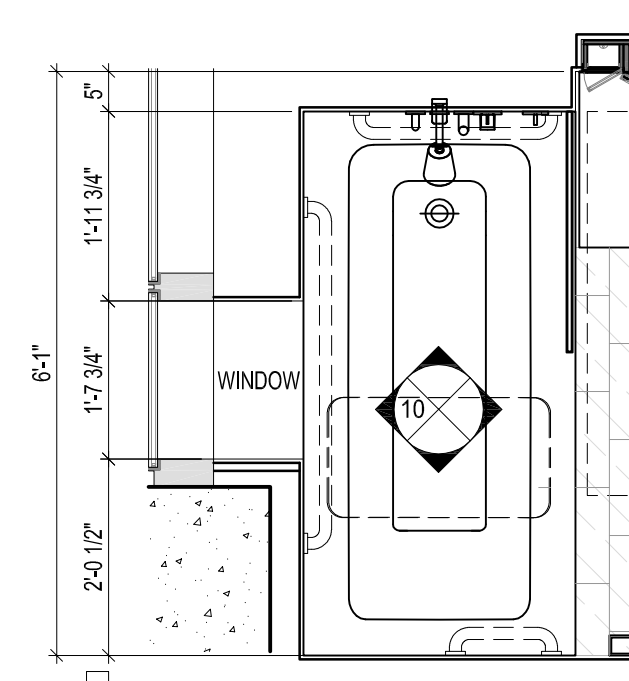
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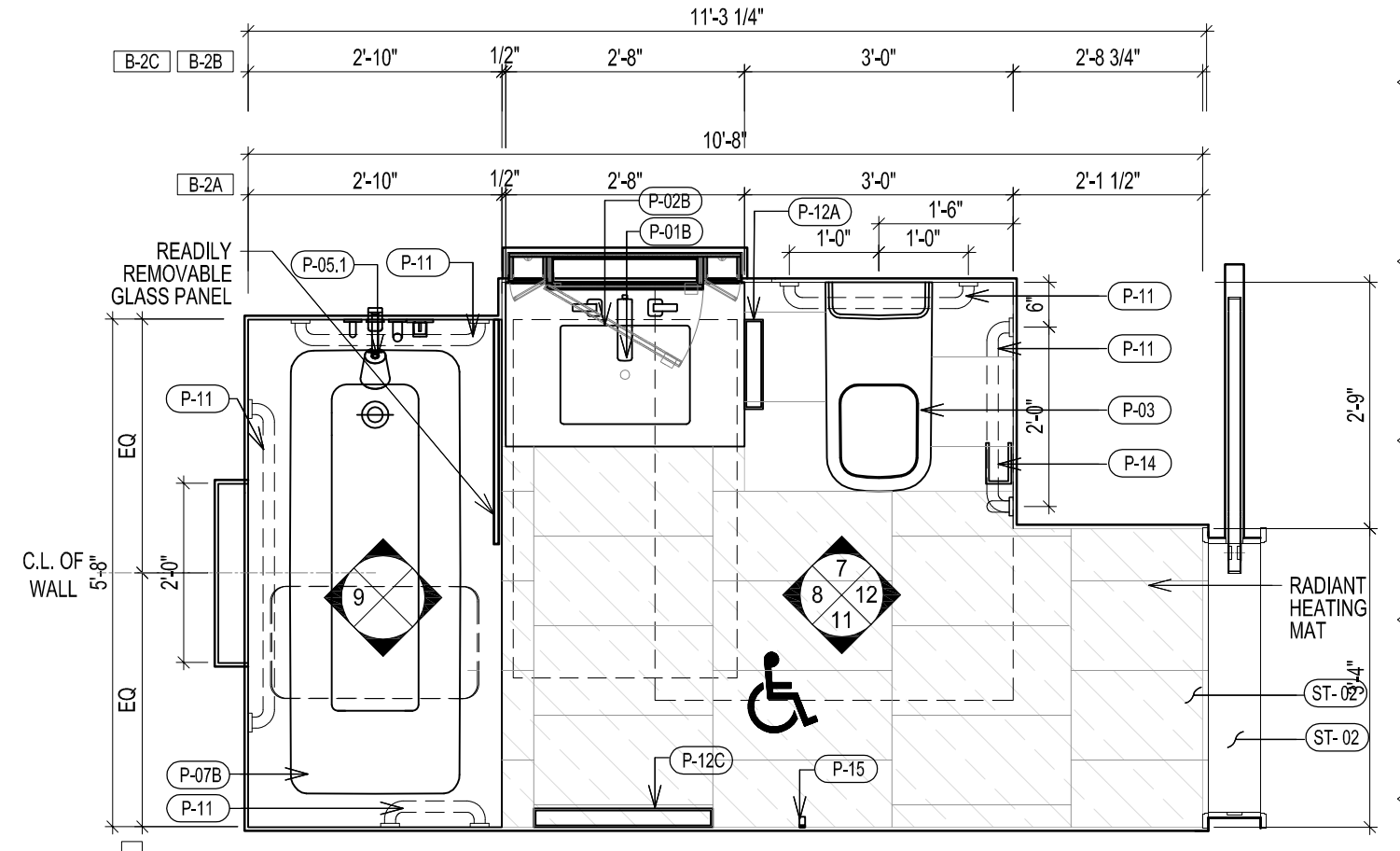
G TYPE B-2B PARTIAL RCP



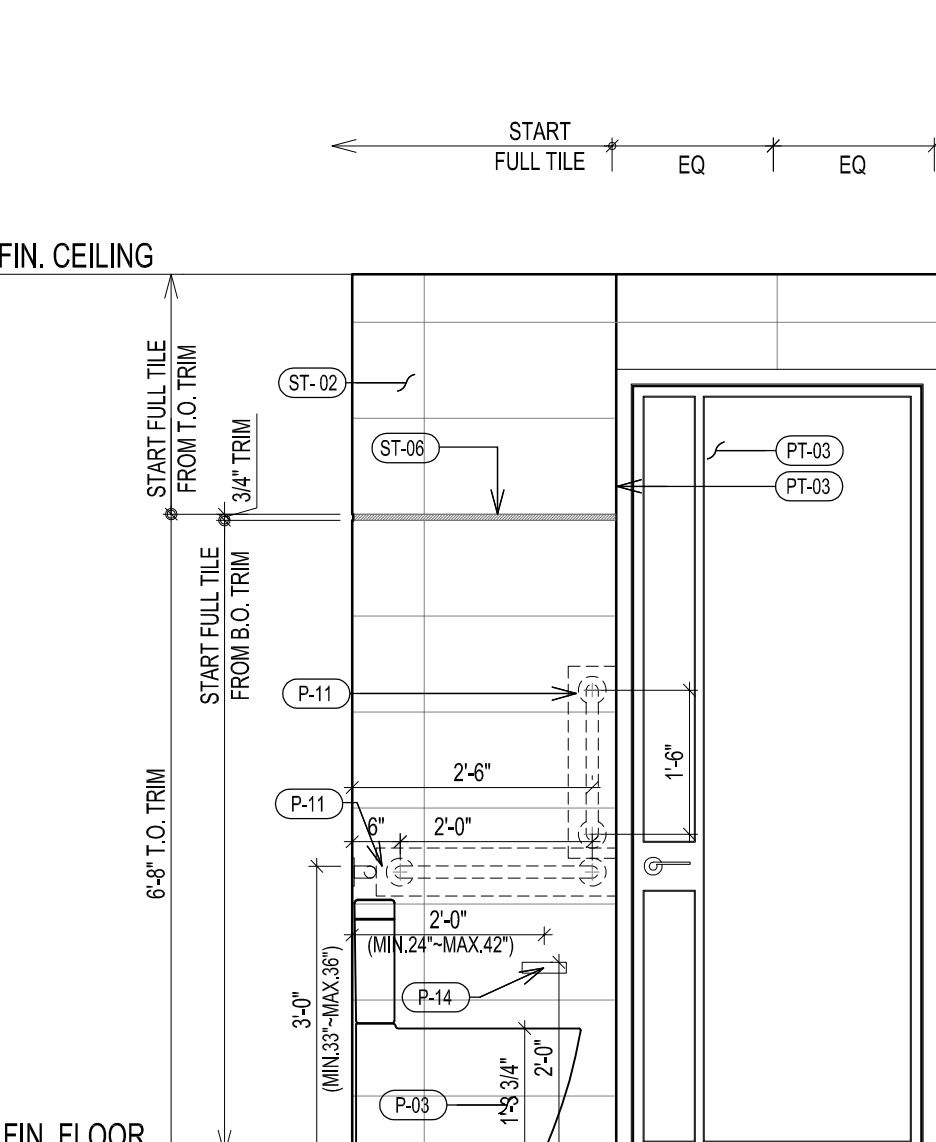
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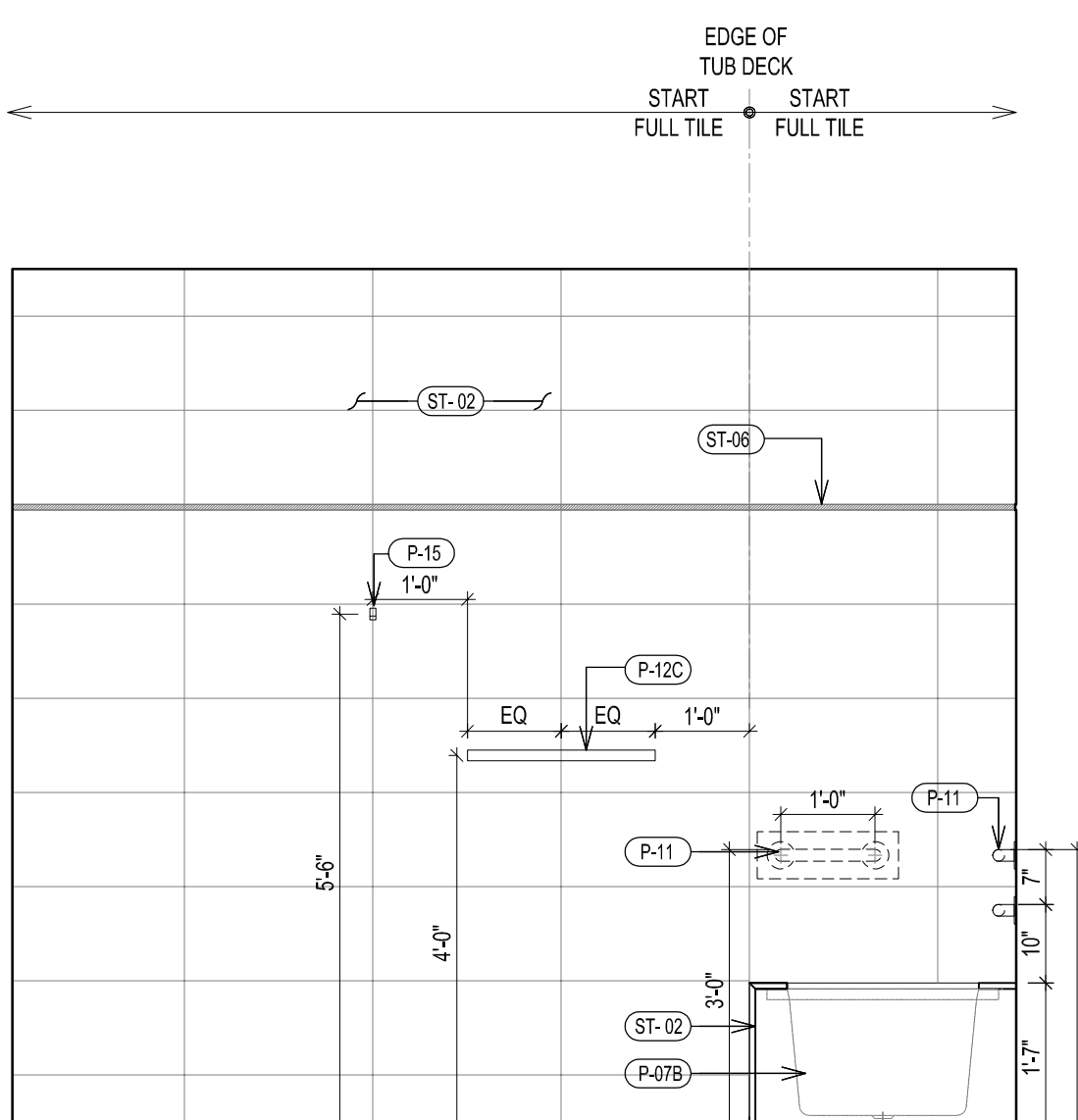
E TYPE B-2B PARTIAL FLOOR PLAN



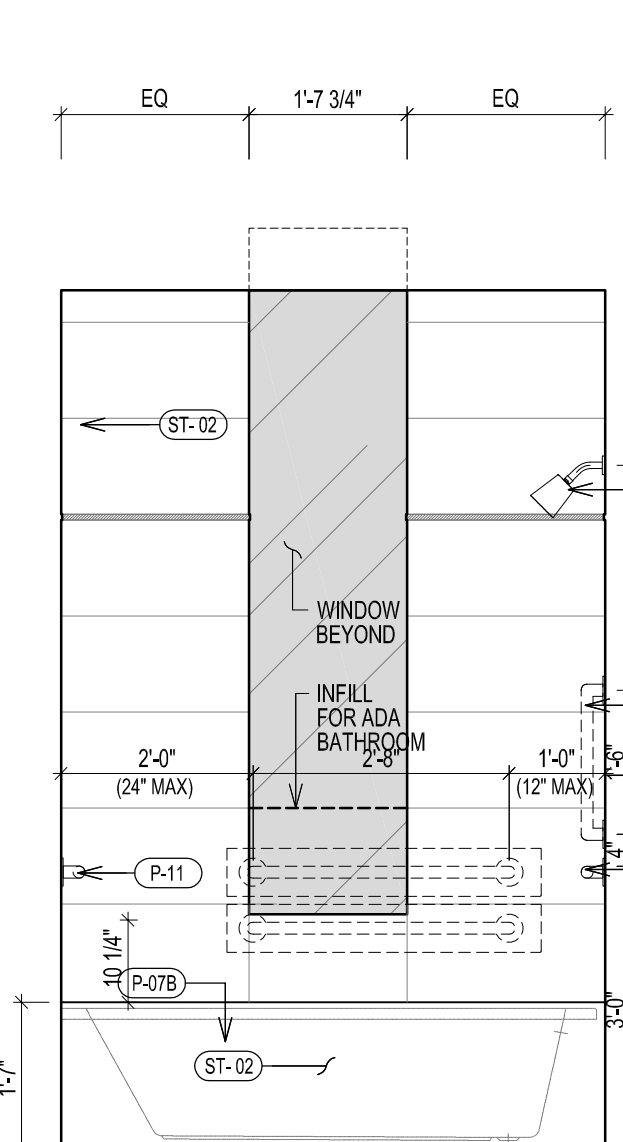
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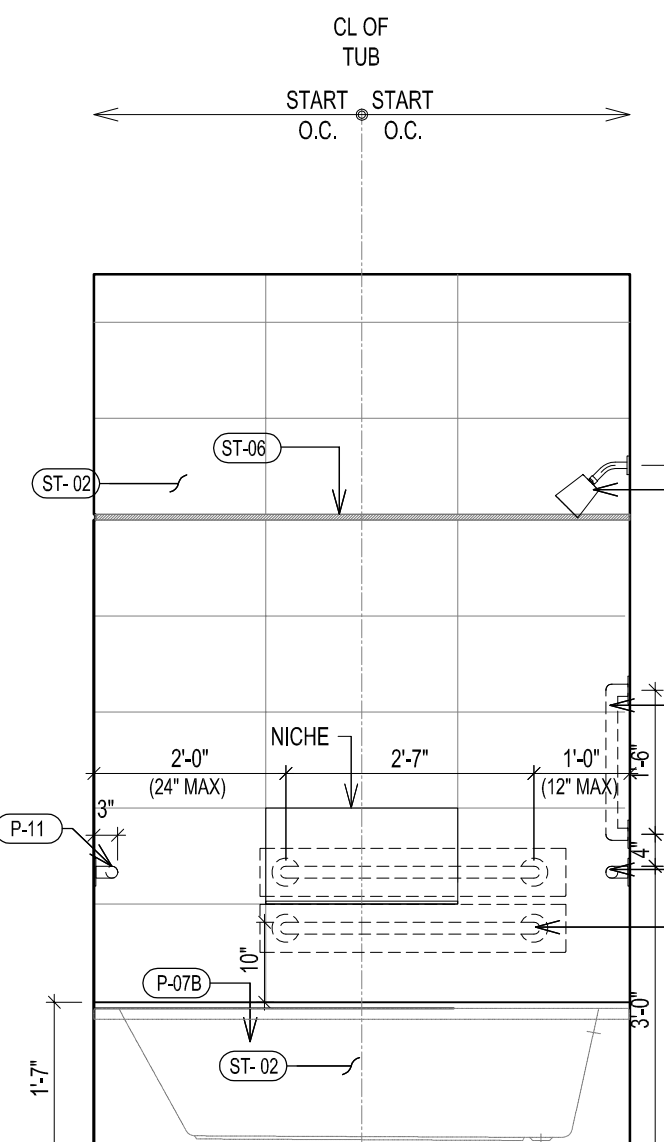
12 ELEVATION



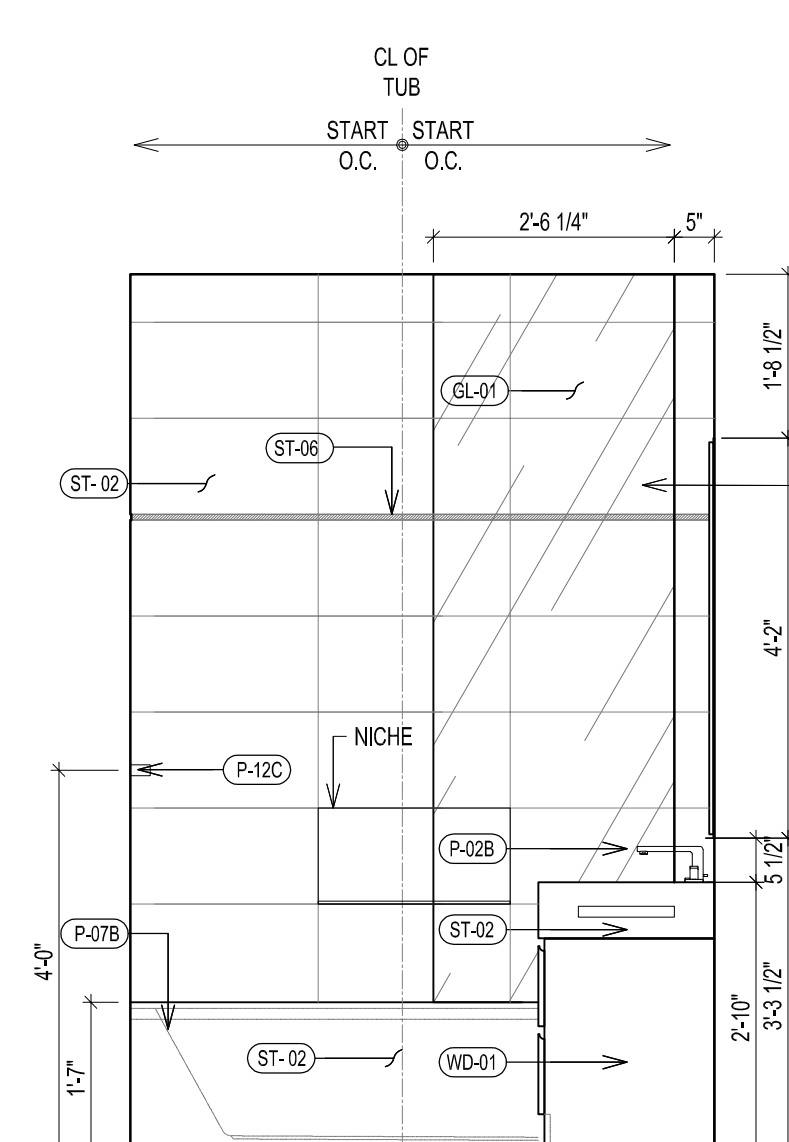
11 ELEVATION



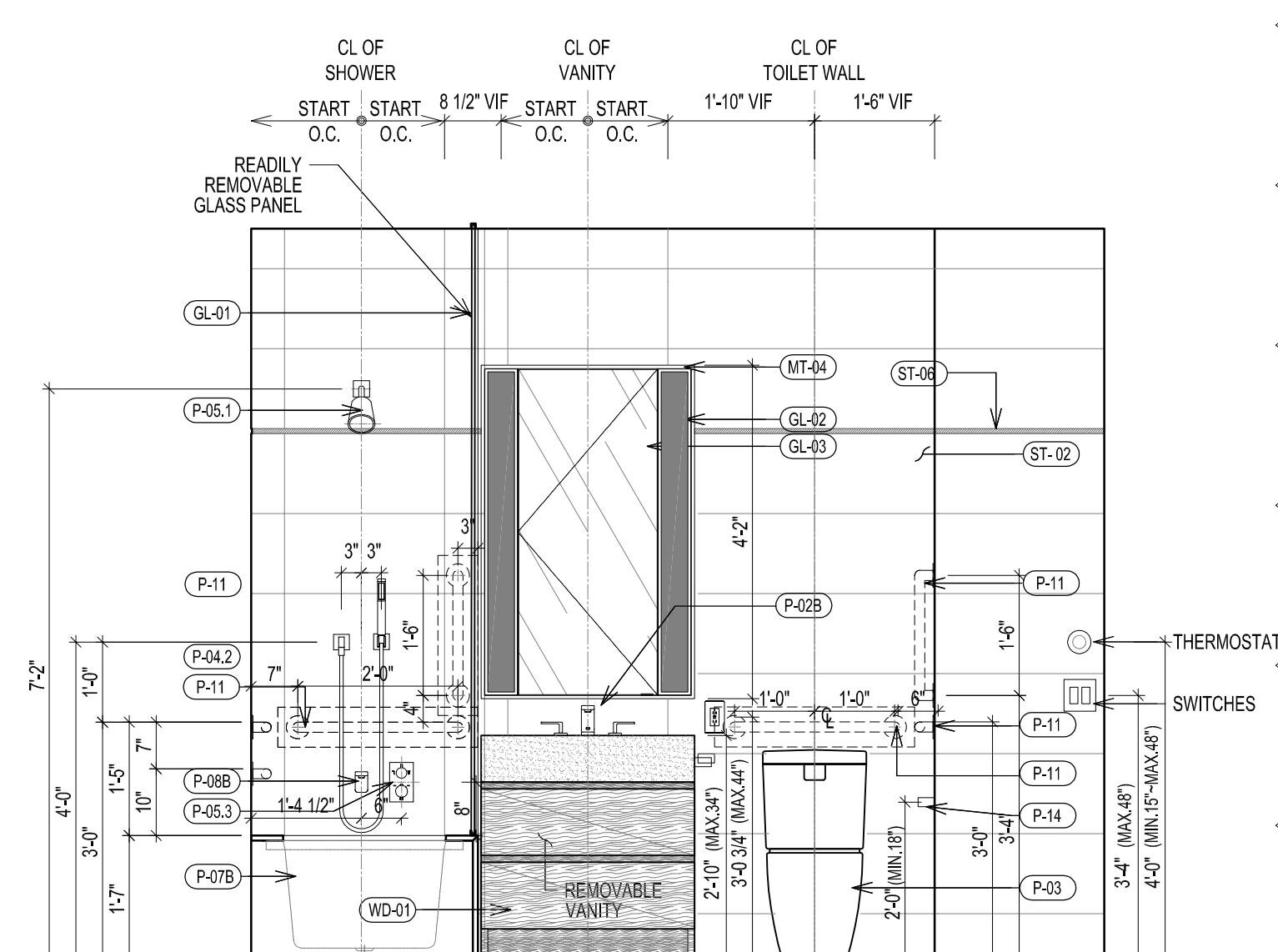
10 ELEVATION



9 ELEVATION



8 ELEVATION



7 ELEVATION

TYPICAL BATHROOM TYPE B-2 PLAN, RCP & ELEVATIONS
SCALE 1/2" = 1'-0"

277

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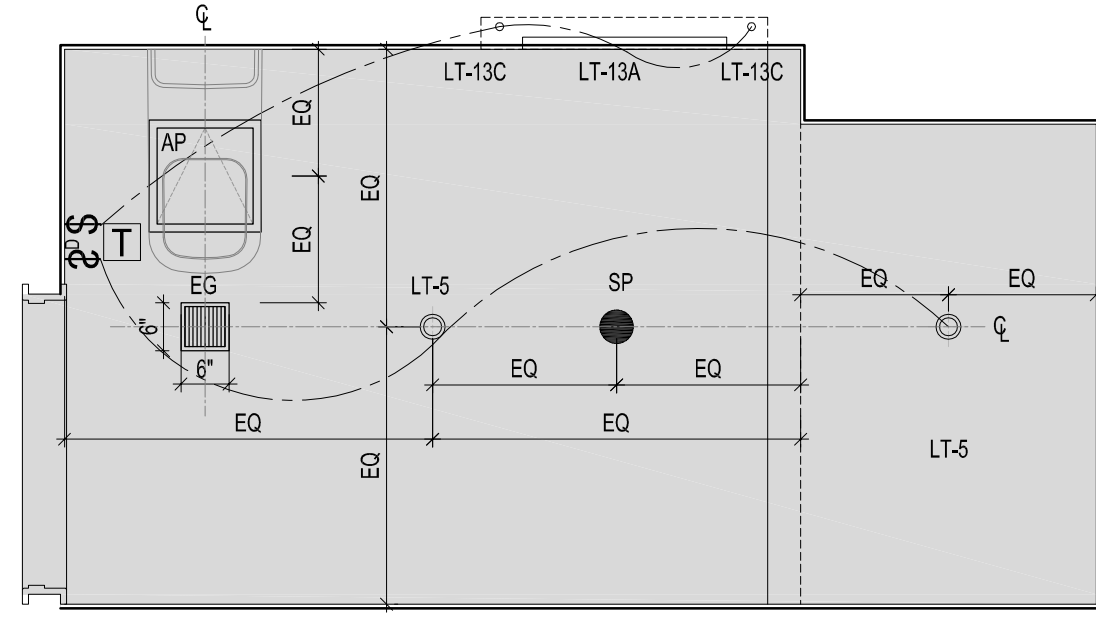
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0 2 4
SCALE 1/2" = 1'-0"
TYPICAL BATHROOM
TYPES PLANS, RCPs &
ELEVATIONS
B-1, B-2
SHEET TITLE:
A-521.01
SHEET NUMBER:

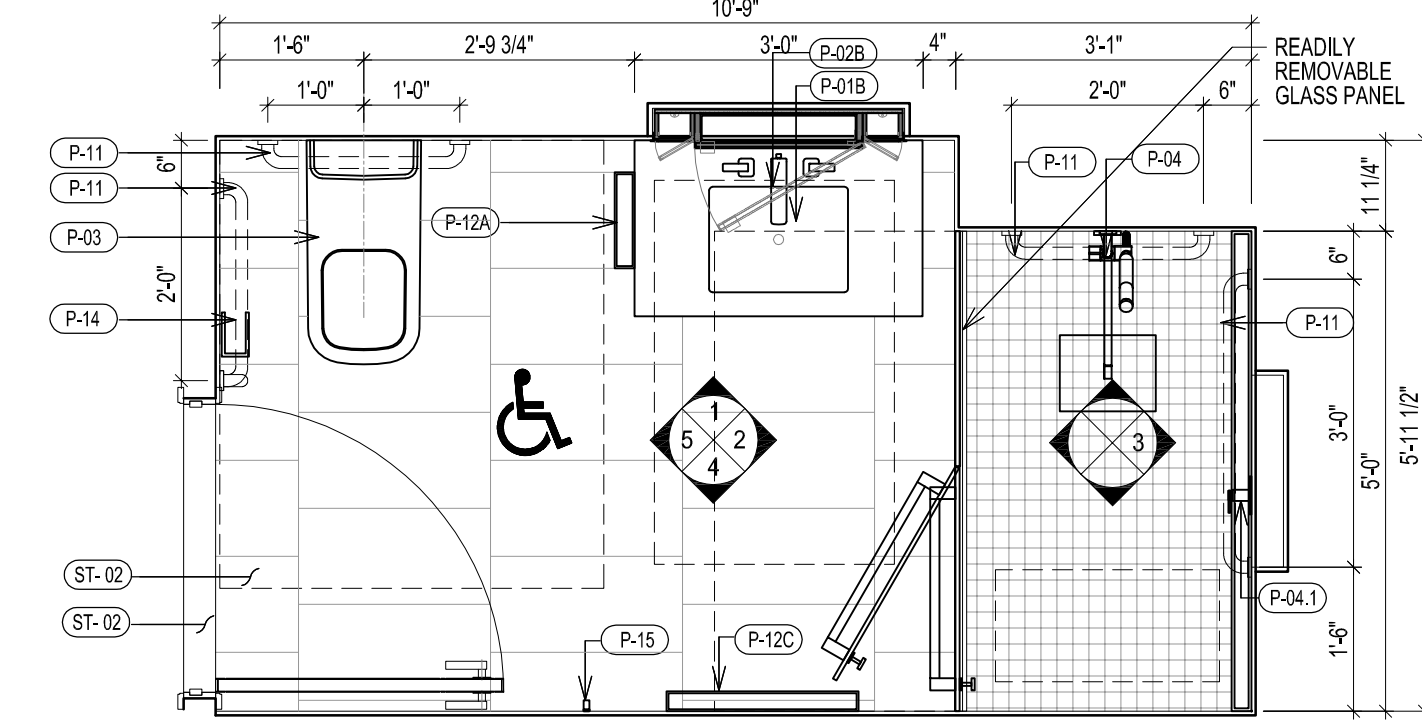
1
2
3
4
5
6
B
C
D
E

BATHROOM TYPE	FLOOR	UNIT	CEILING HT	REMARK	VANITY TYPE
B-3A	LV 7-25	UNIT B	9'-2"	NYC ADAPTABLE "APPENDIX-P" BATHROOM NO HEATING MAT	TYPE 3 36"

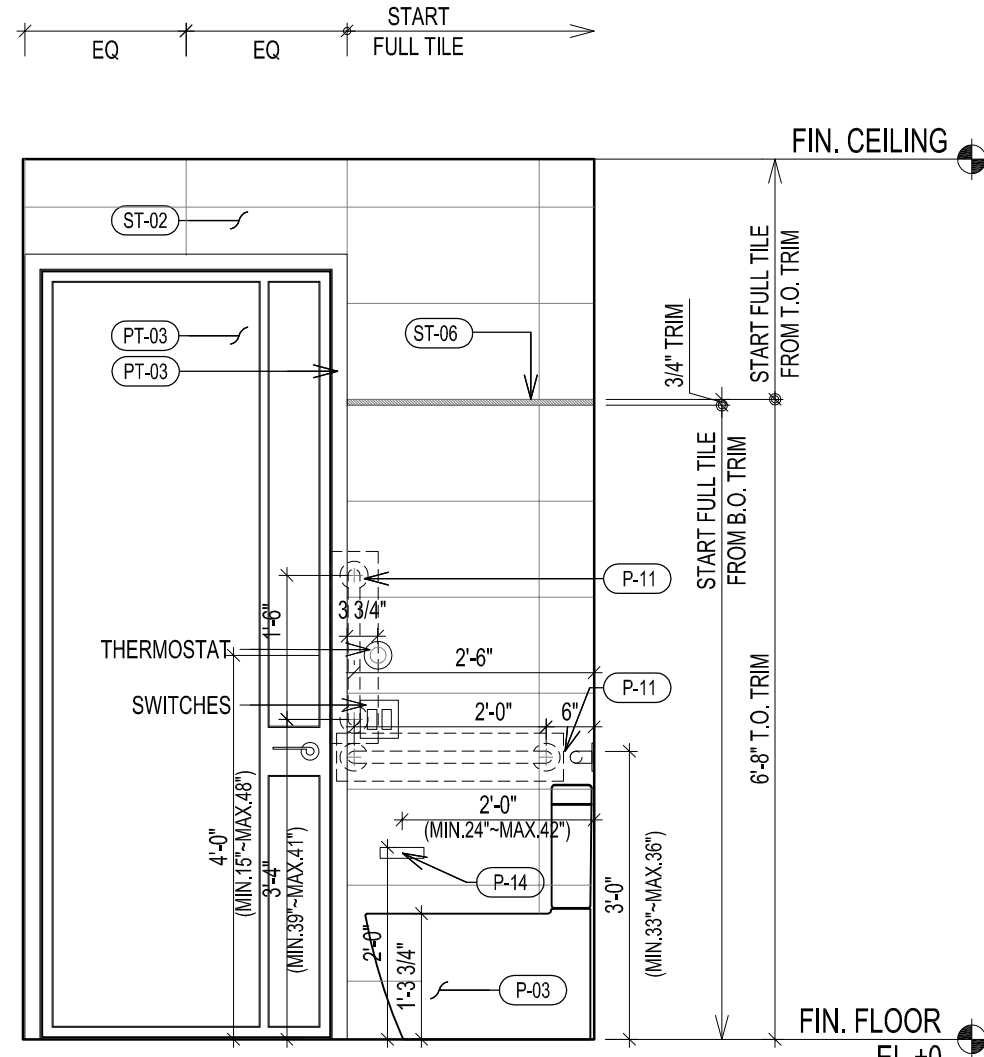
NOTE: ALL BATHROOM TO BE INSTALLED HEATING MAT UNDERNEATH FLOOR FINISH
UNLESS OTHERWISE INDICATED



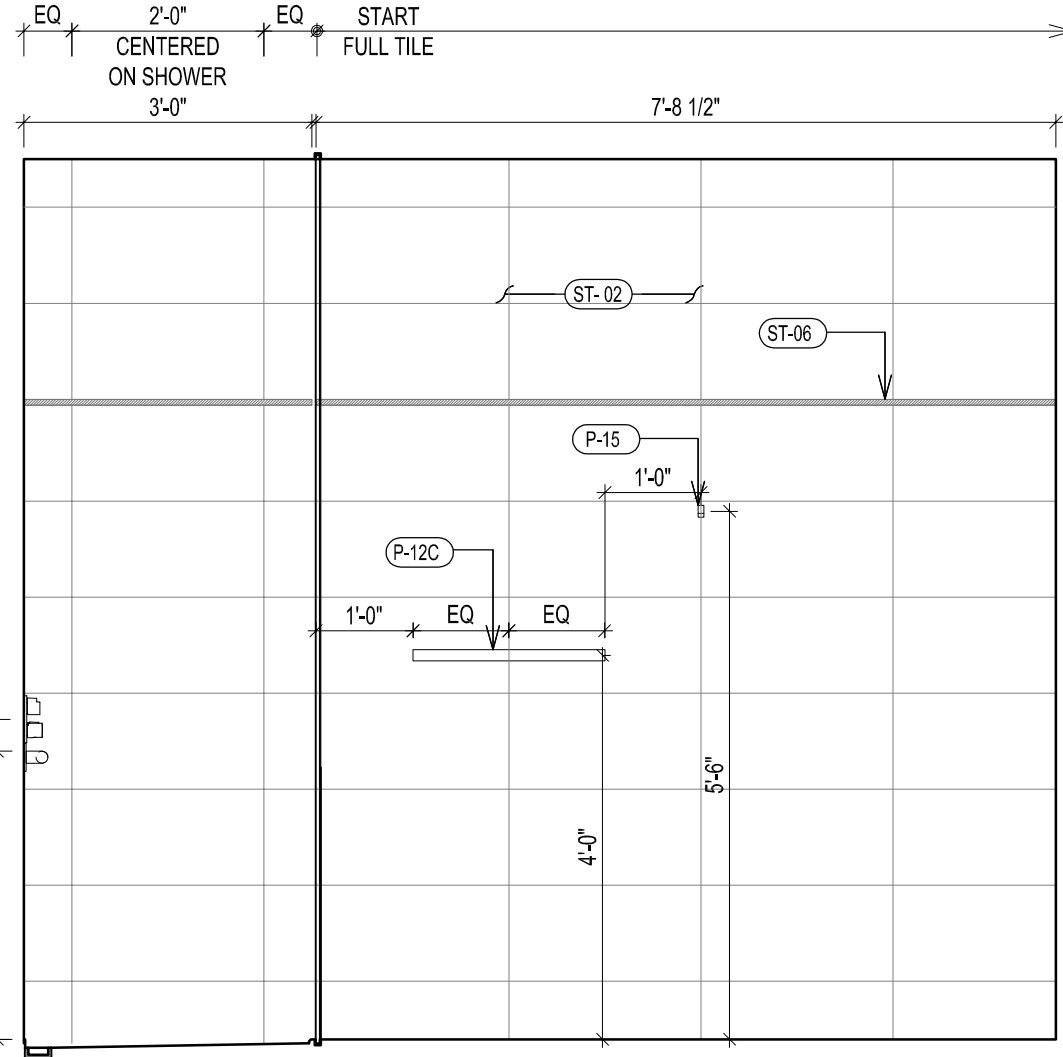
B TYPE B-3 RCP



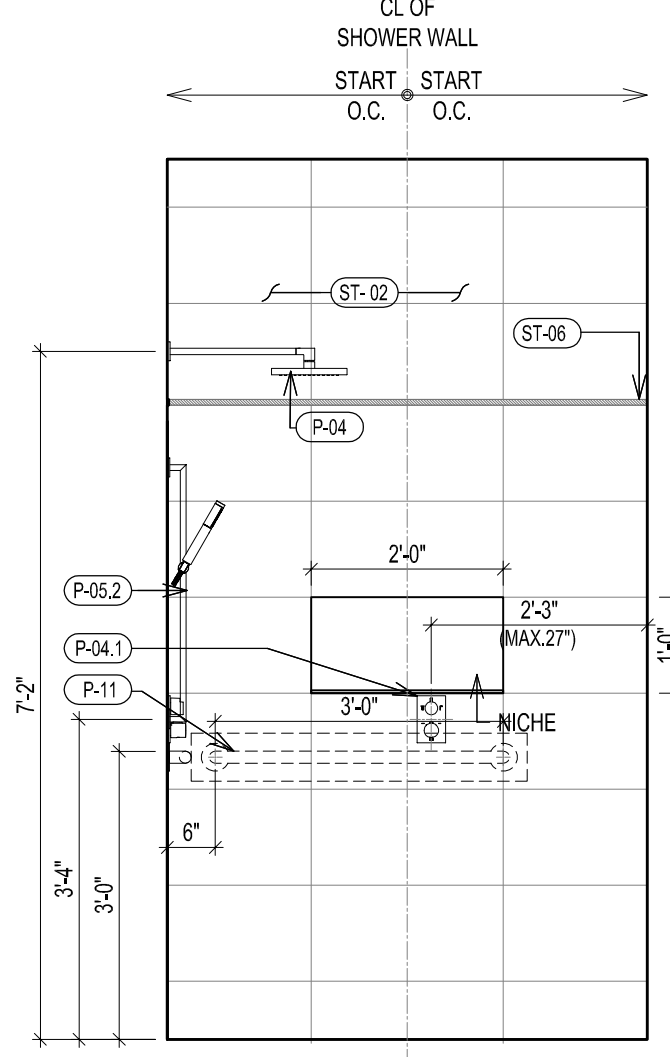
A TYPE B-3 FLOOR PLAN



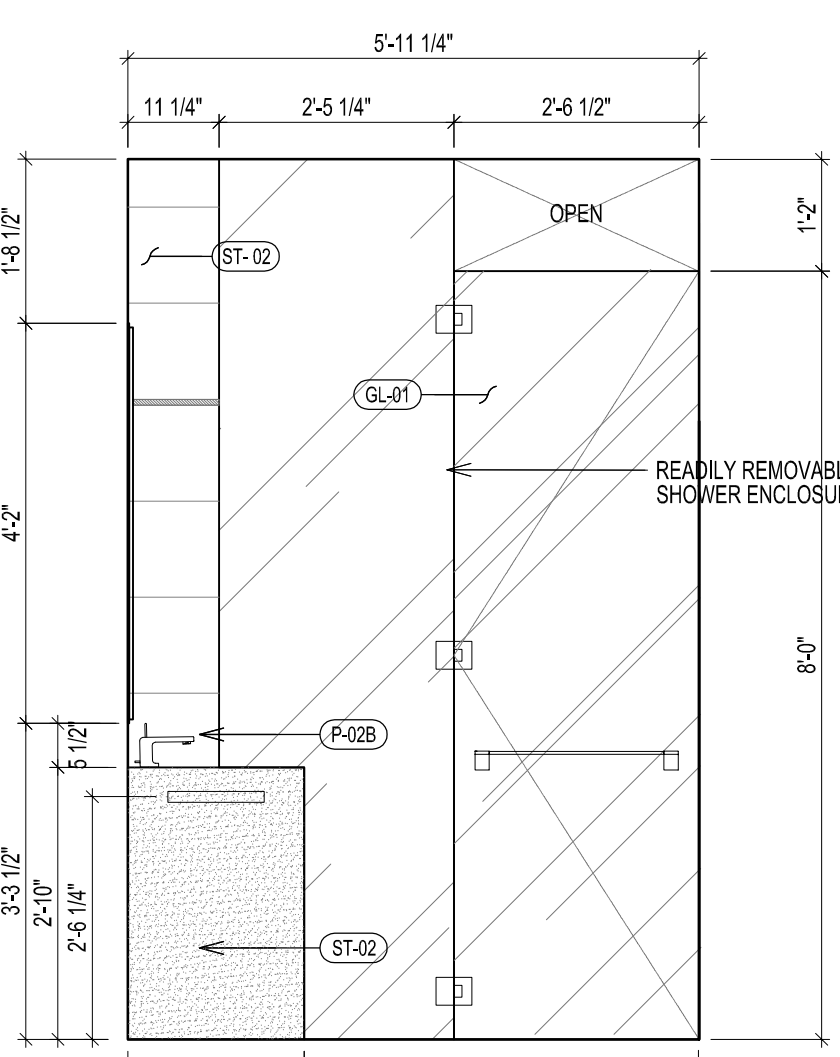
5 ELEVATION



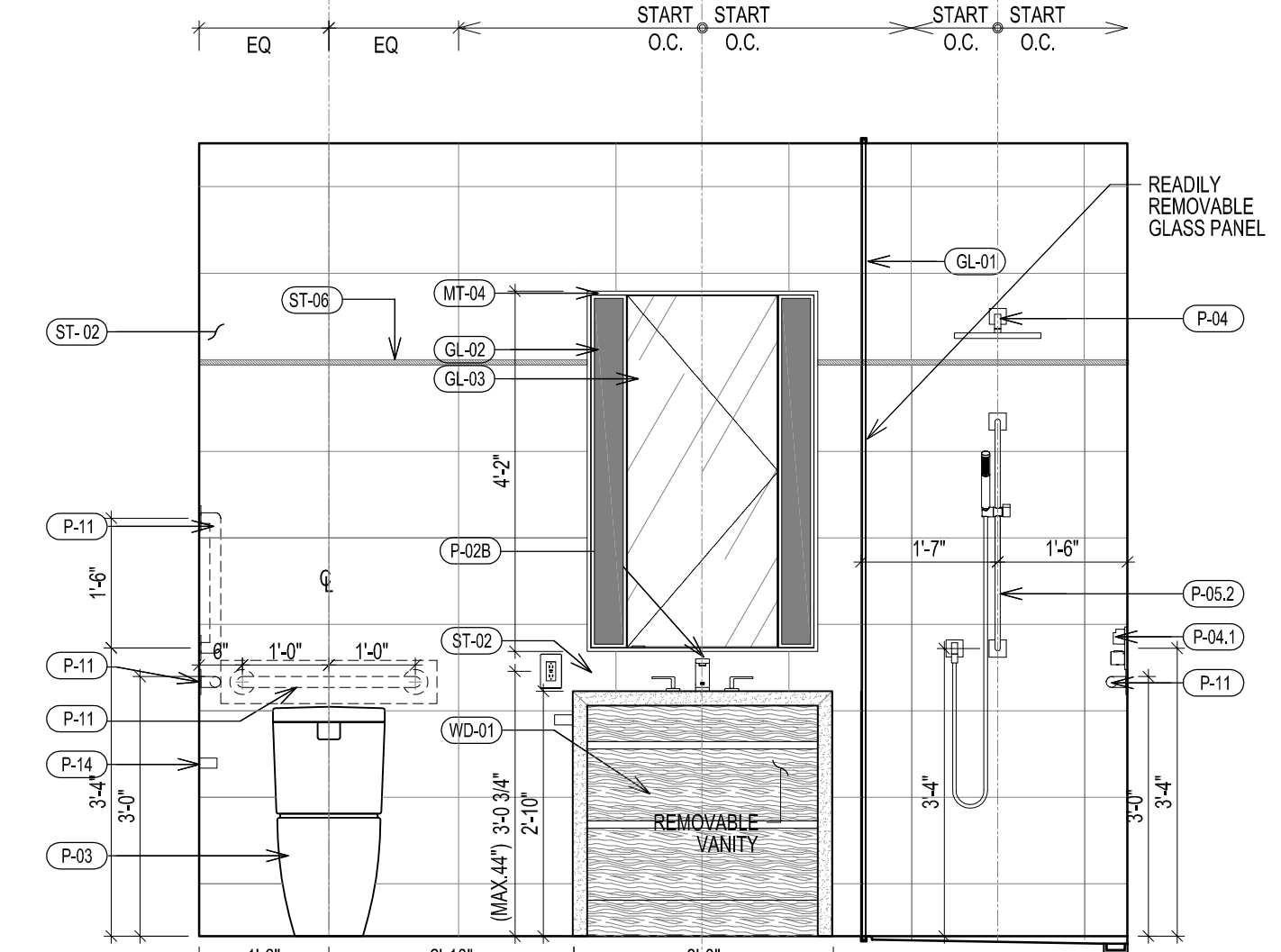
4 ELEVATION



3 ELEVATION



2 ELEVATION

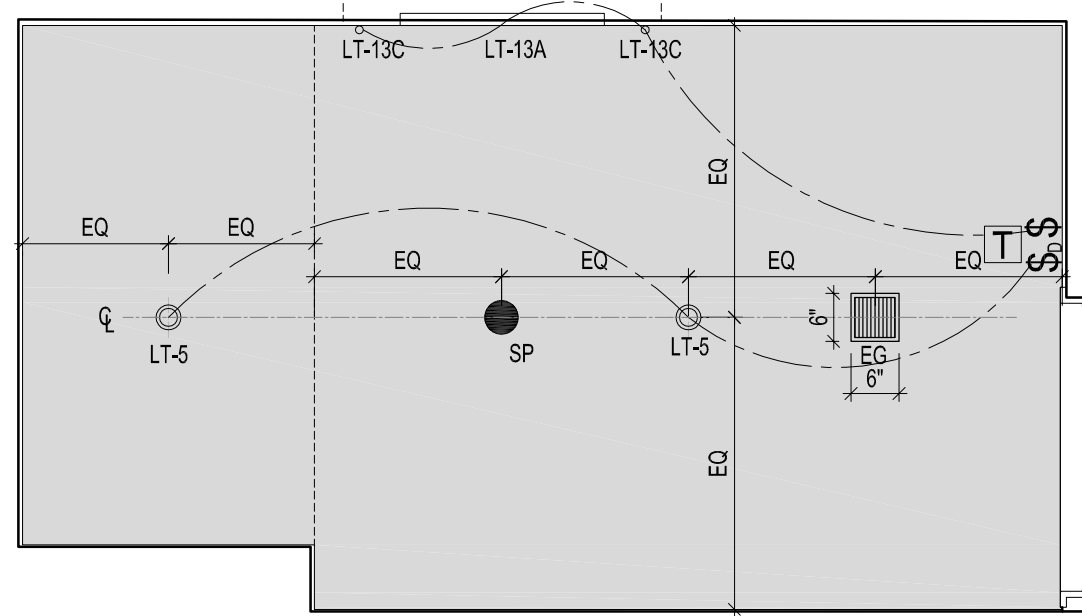


1 ELEVATION

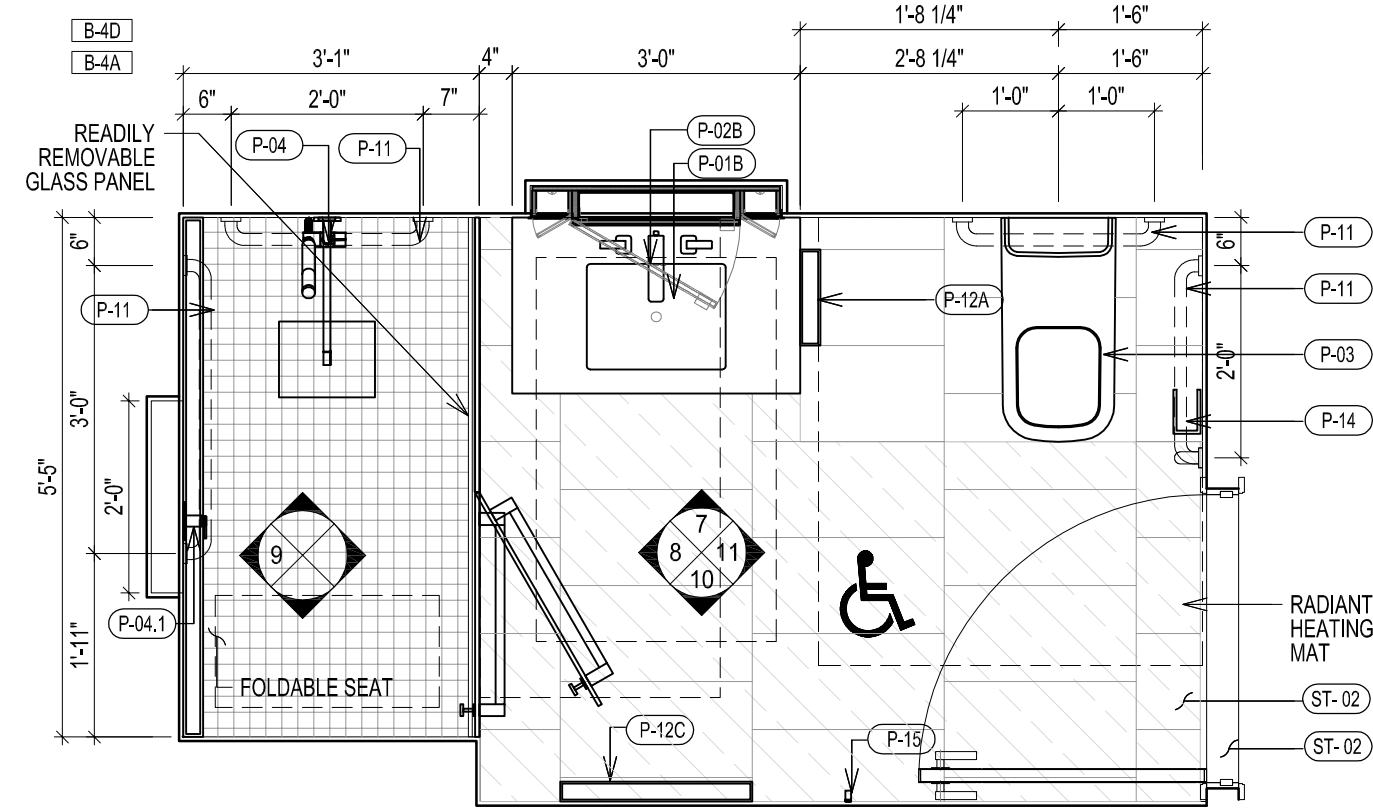
TYPICAL BATHROOM TYPE B-3 PLAN, RCP & ELEVATIONS
SCALE 1/2" = 1'-0"

BATHROOM TYPE	FLOOR	UNIT	CEILING HT	REMARK	VANITY TYPE
B-4A	LV 8-25	UNIT C	9'-0"	NYC ADAPTABLE "APPENDIX-P" BATHROOM	TYPE 3 36"
B-4D	LV 7				

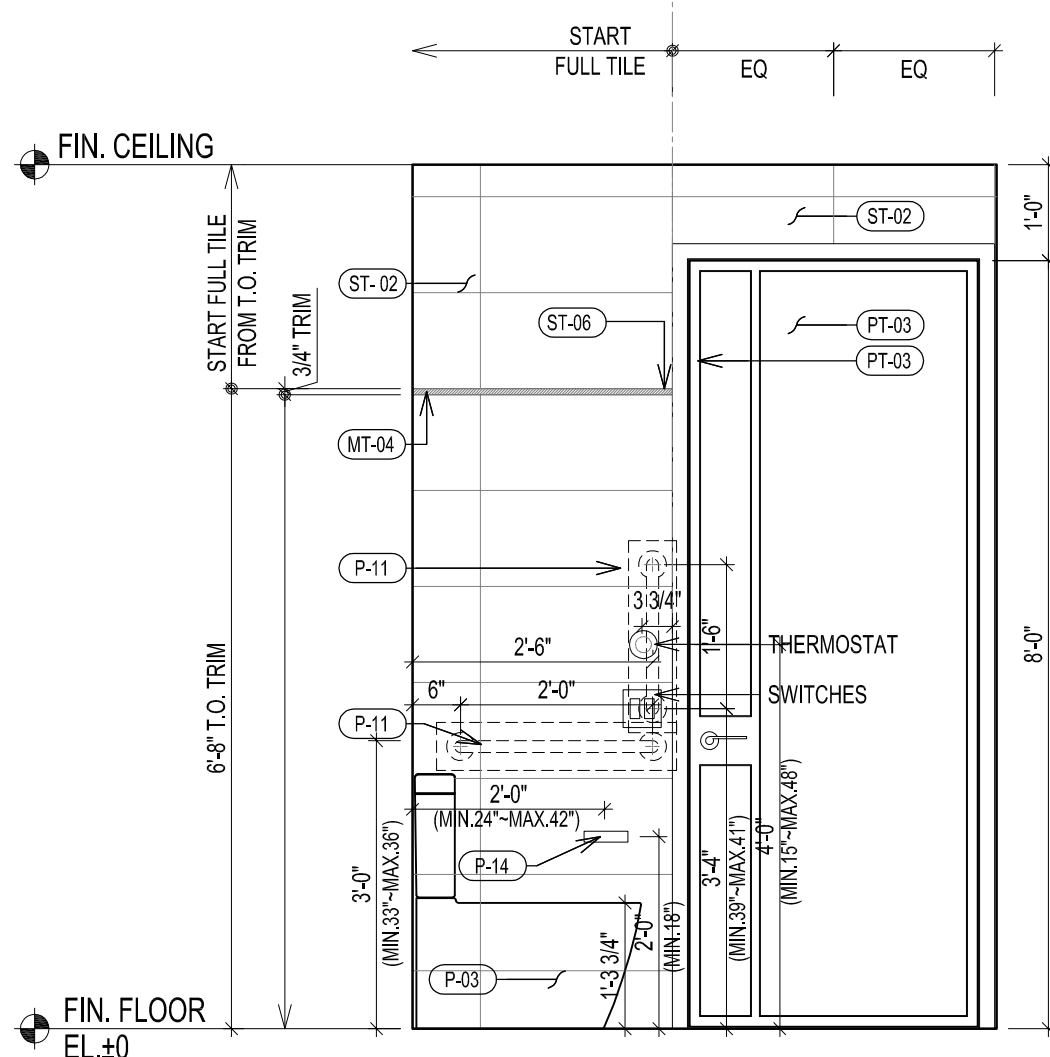
NOTE: ALL BATHROOM TO BE INSTALLED HEATING MAT UNDERNEATH FLOOR FINISH
UNLESS OTHERWISE INDICATED



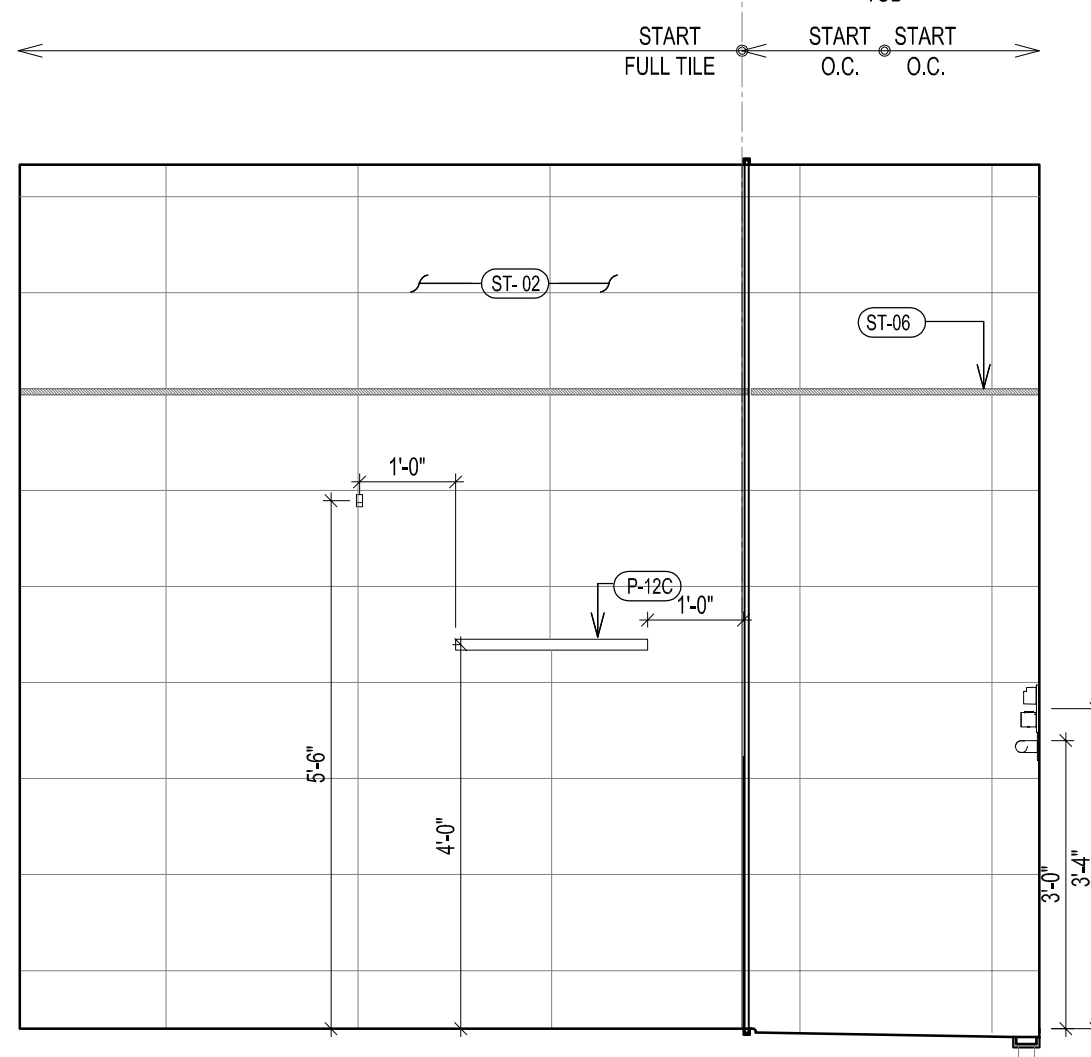
F TYPE B-4 RCP



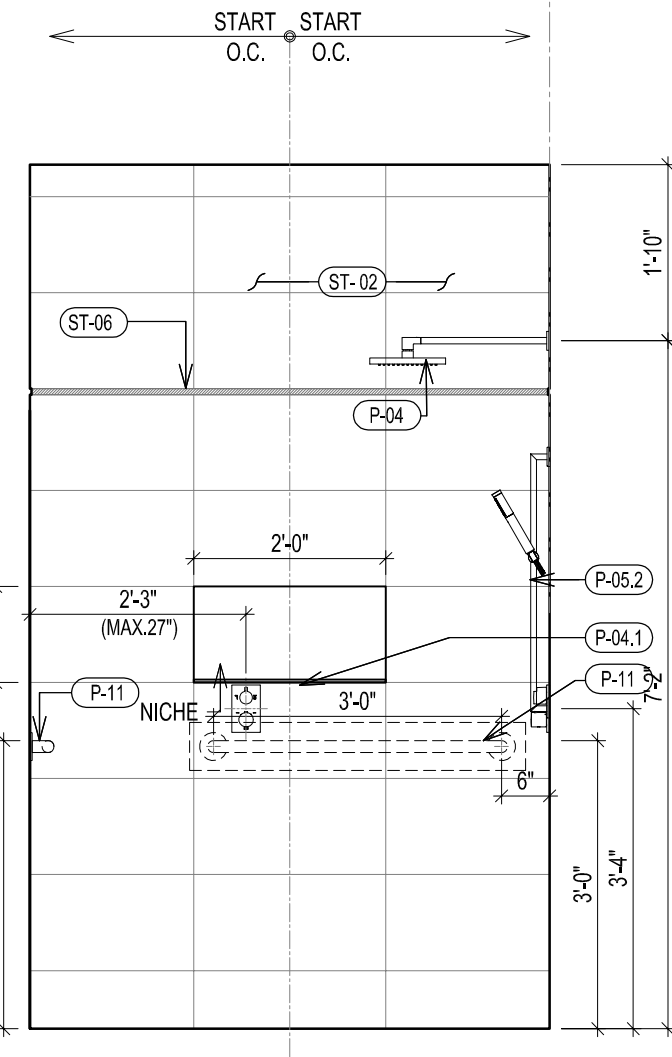
C TYPE B-4 FLOOR PLAN



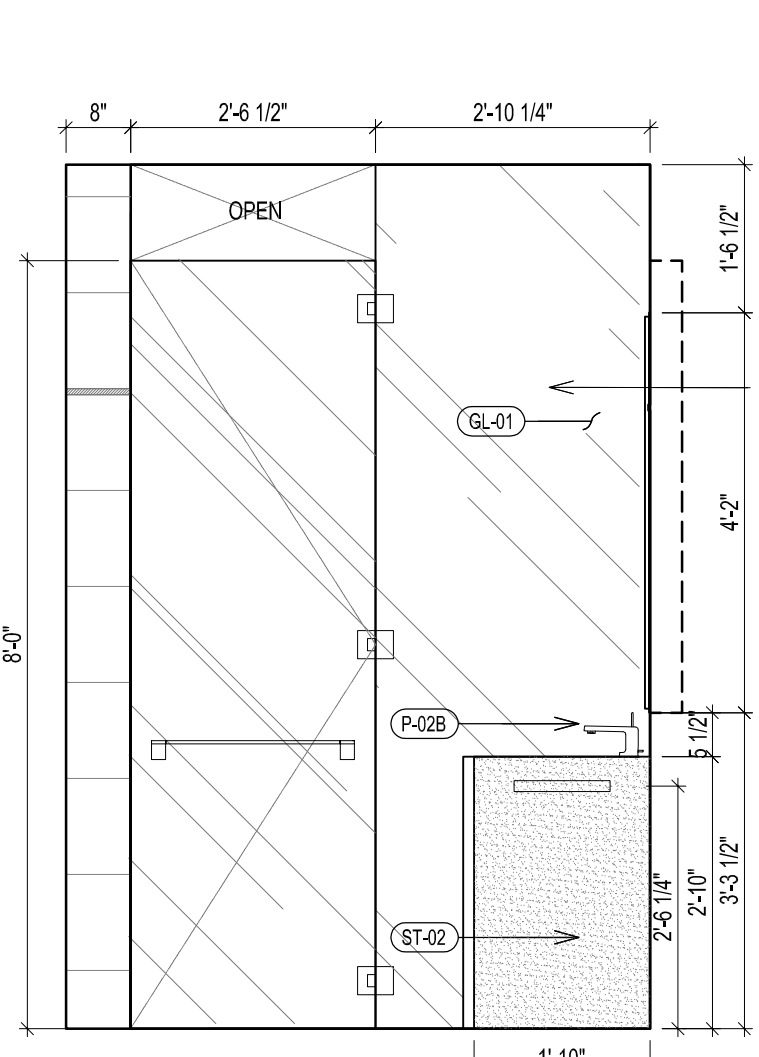
11 ELEVATION



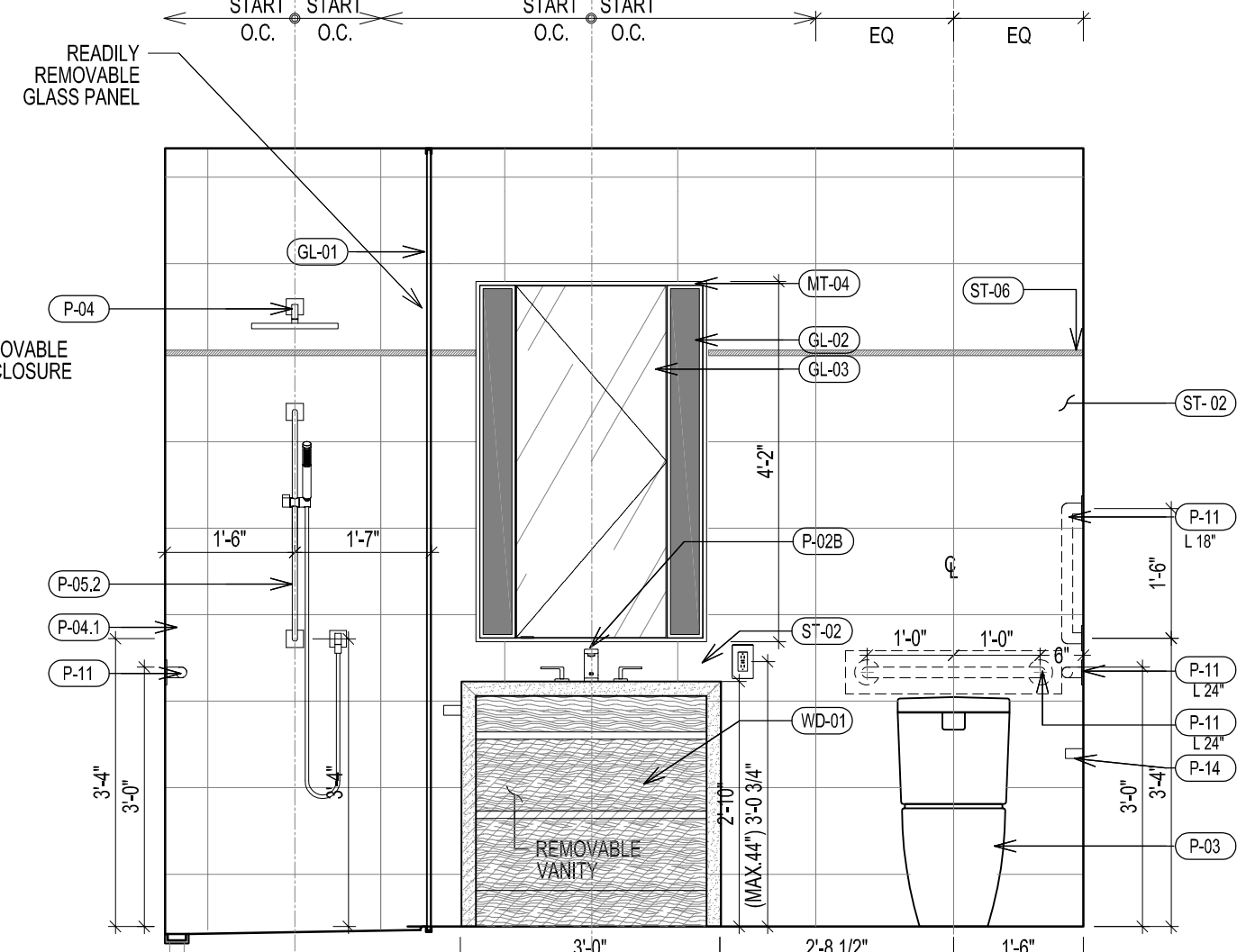
10 ELEVATION



9 ELEVATION



8 ELEVATION



7 ELEVATION

TYPICAL BATHROOM TYPE B-4 PLAN, RCP & ELEVATIONS
SCALE 1/2" = 1'-0"

277
Fifth Avenue
NEW YORK, NY

OWNER:
VICTOR NOMAD LLC

CONSTRUCTION MANAGER:
LEND LEASE
200 PARK AVENUE, 9TH FLOOR
NEW YORK, NY 10166
TEL: 212 592 6700

ARCHITECT :
RAFAEL VINOLY ARCHITECTS PC
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NEW YORK, NY 10013
TEL: 212 924 5060 FAX: 212 924 5858

STRUCTURAL ENGINEER:
WSP PARSONS BRINCKERHOFF
ONE PENN PLAZA, 4TH FLOOR
NEW YORK, NY 10119
TEL: 212 687 9888

MEP/FP/IT ENGINEER:
MGE ENGINEERING
116 WEST 32ND STREET, 12TH FLOOR
NEW YORK, NY 10001
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GEOTECH CIVIL ENGINEER:
LANGAN ENGINEERING
300 KIMBALL DRIVE, 4TH FLOOR
PARSIPPANY, NJ, 07054
TEL: 973 560 4900

VERTICAL TRANSPORT, CONSULTANT:
VAN DEUSEN & ASSOCIATES
120 EAGLE ROCK AVENUE, SUITE 310
EAST HANOVER, NJ, 07936
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ENCLOSURE CONSULTANT:
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360 PARK AVENUE SOUTH, 15TH FLOOR
NEW YORK, NY, 10010
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FAÇADE MAINTENANCE CONSULTANT:
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166 AMES STREET
HACKENSACK, NJ, 07601
TEL: 201 820 2801

ACOUSTICAL CONSULTANT:
CERAMI & ASSOCIATES
404 FIFTH AVENUE
NEW YORK, NY, 10018
TEL: 212 616 4179

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ONE LUX STUDIO
158 WEST 29TH STREET, 10TH FLOOR
NEW YORK, NY, 10001
TEL: 212 201 5790

SPECIFICATIONS CONSULTANT:
ROBERT SCHWARTZ & ASSOCIATES
589 EIGHTH AVENUE, 17TH FLOOR
NEW YORK, NY, 10018
TEL: 212 691 3248

ENERGY MODELING CONSULTANT:
STEVEN WINTER ASSOCIATES, INC
307 SEVENTH AVENUE, SUITE 1701
NEW YORK, NY, 10001
TEL: 212 564 5800

INTERIOR DESIGN CONSULTANT:
BEERS INTERIORS
156 5TH AVENUE, PENTHOUSE 2
NEW YORK, NY, 10010
TEL: 212 352 2020

NYC DEPT. OF BUILDINGS
PAA #2

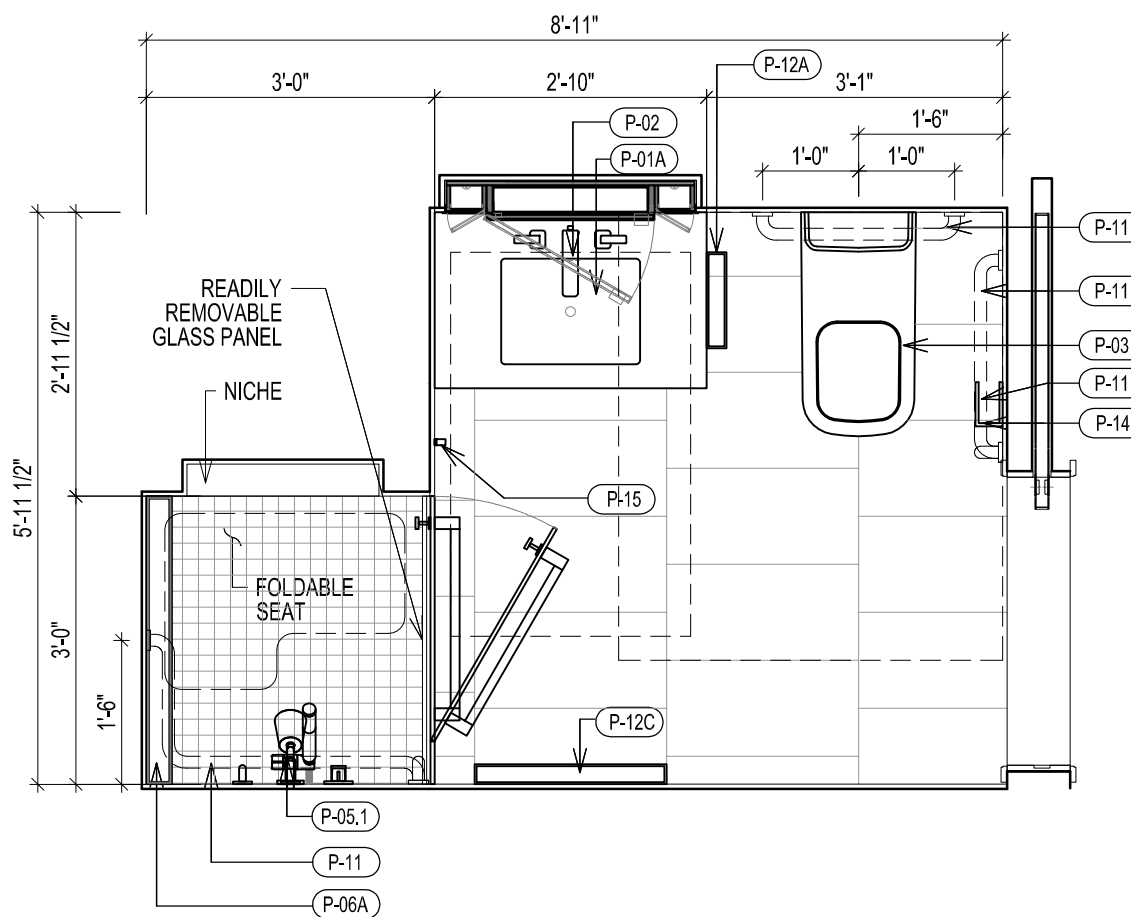
ARCHITECT'S SEAL
Areg Asatryan, RA
U. [Signature]
APPROVED
Under Directive 2 of 1995
ADMINISTRATIVE REGULATION
Date: 04/19/2018
NYC Development Hub

30TH STREET
5TH AVENUE
KEY PLAN AND NORTH SIGN
IF THIS DRAWING IS NOT 42" X 30" IT IS
A REDUCED PRINT;
REFER TO GRAPHIC SCALE
0 2 4
SCALE 1/2" = 1'-0"
TYPICAL BATHROOM
TYPES PLANS, RCPs &
ELEVATIONS
B-3, B-4
SHEET TITLE :
A-522.01
SHEET NUMBER :

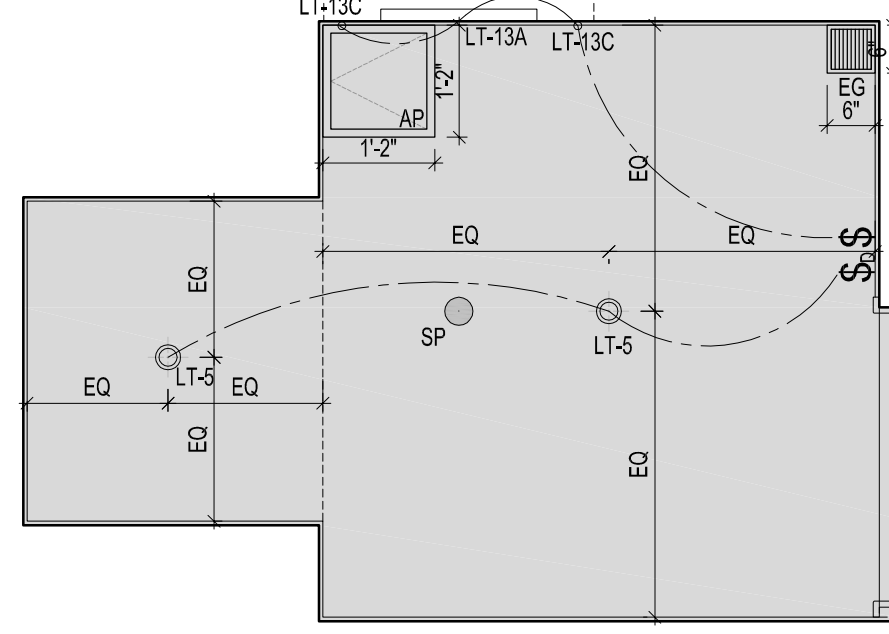
2016 RAFAEL VINOLY ARCHITECTS

BATHROOM TYPE	FLOOR	UNIT	CEILING HT	REMARK	VANITY TYPE
B-5A	LV 28-35	UNIT A	9'-0"	NYC ADAPTABLE "APPENDIX-P" BATHROOM NO HEAT MAT	TYPE 1 32"
B-5B	LV 28-35	UNIT B	9'-0"	NYC ADAPTABLE "APPENDIX-P" BATHROOM NO HEAT MAT	TYPE 1 32"
B-5C	LV 36-39	UNIT B	8'-6"	NYC ADAPTABLE "APPENDIX-P" BATHROOM NO HEAT MAT	TYPE 2 34"

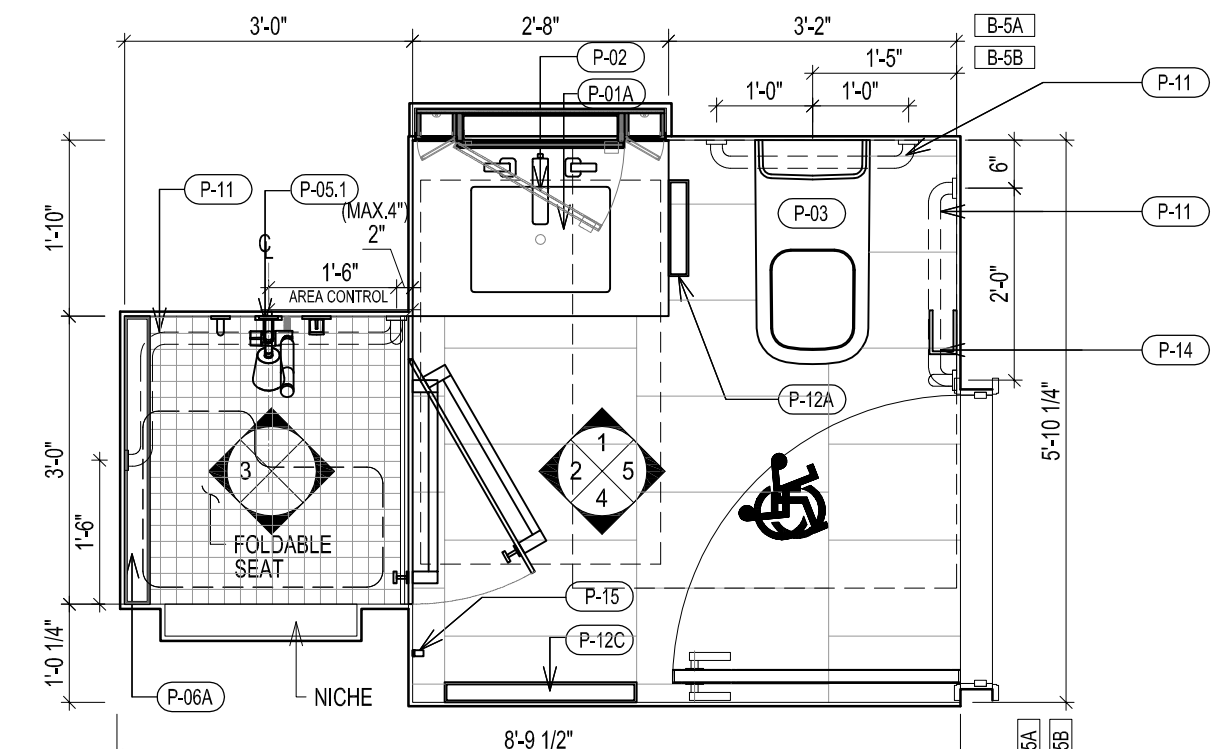
NOTE: ALL BATHROOM TO BE INSTALLED HEATING MAT UNDERNEATH FLOOR FINISH
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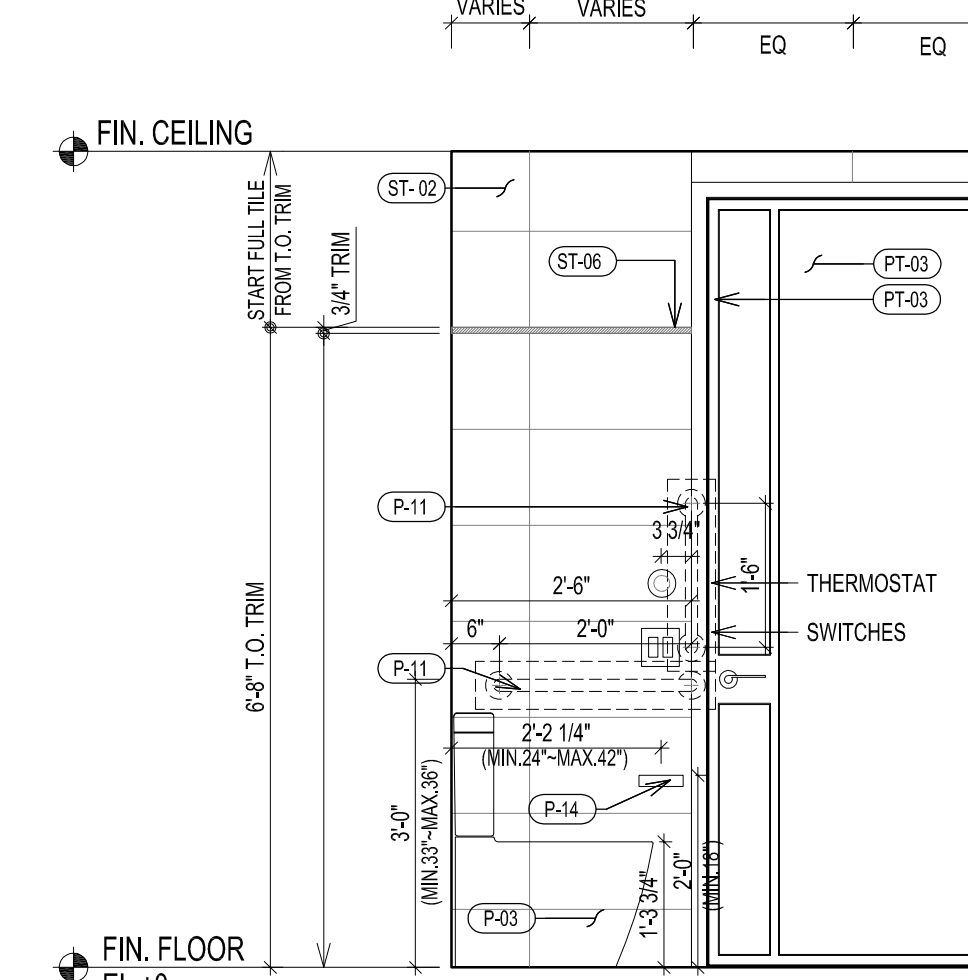
C TYPE B-5C FLOOR PLAN



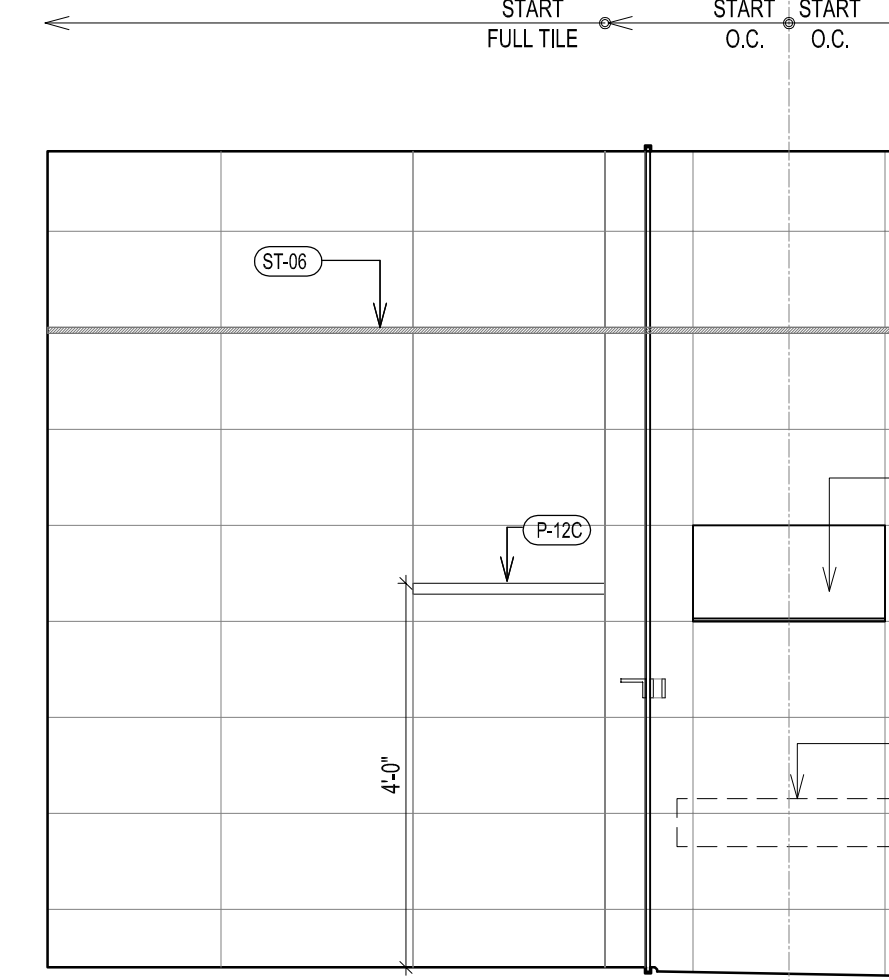
B TYPE B-5 RCP



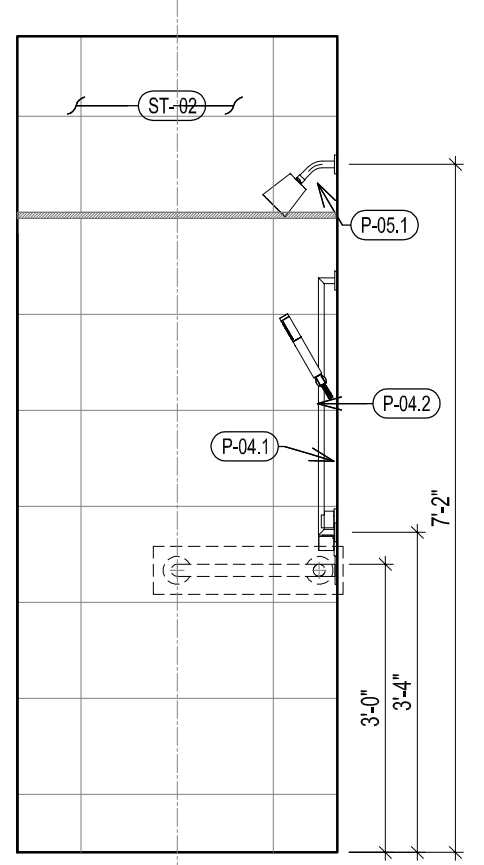
A TYPE B-5A, B-5B FLOOR PLAN



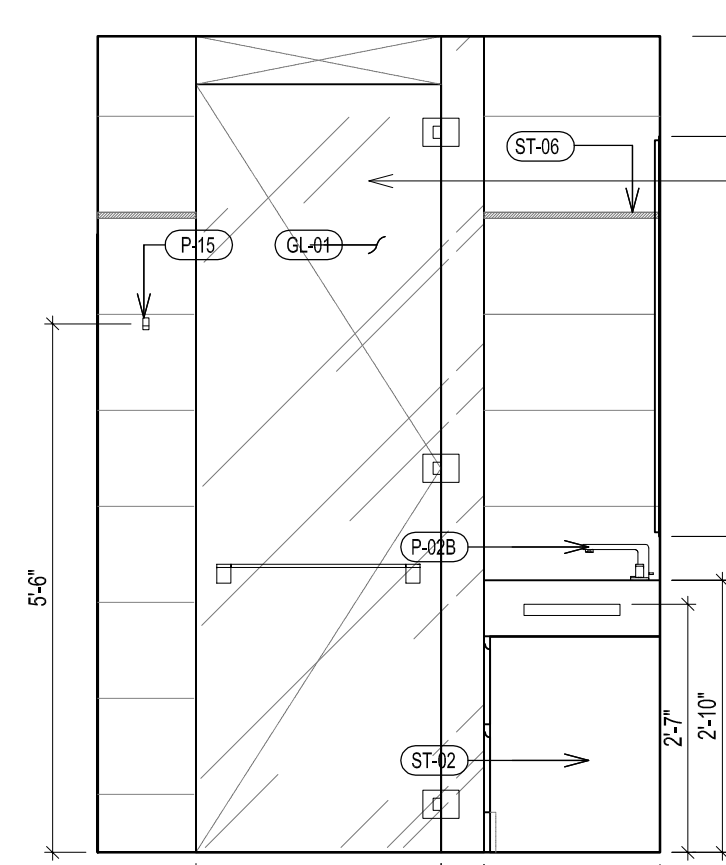
5 ELEVATION



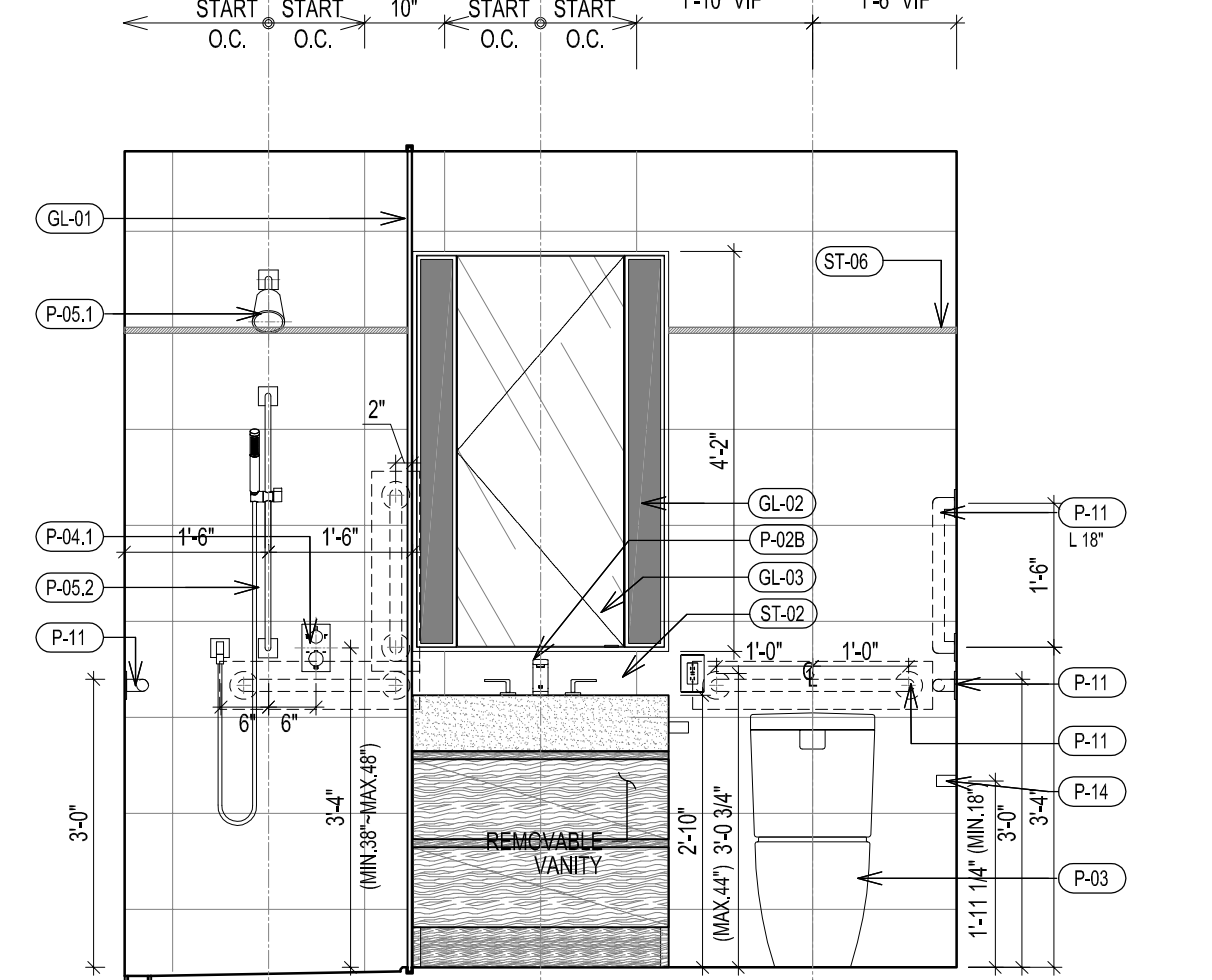
4 ELEVATION



3 ELEVATION



2 ELEVATION

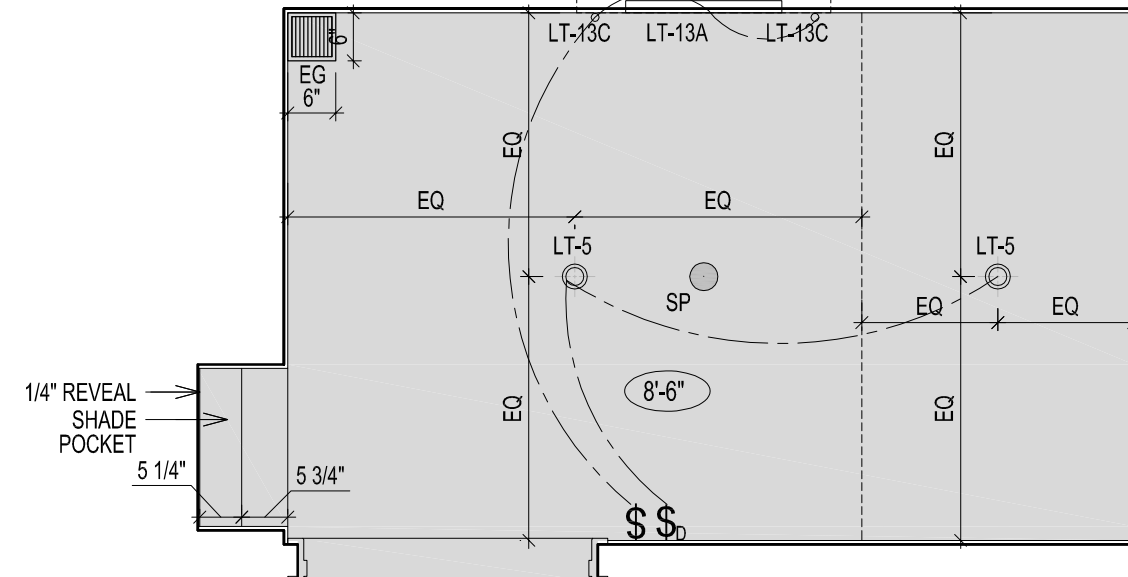


1 ELEVATION

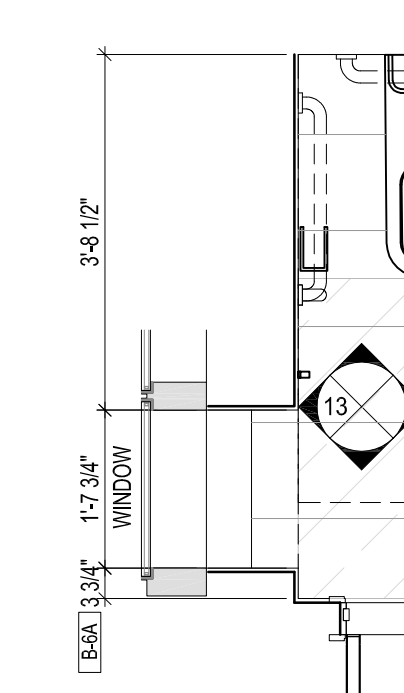
TYPICAL BATHROOM TYPE B-5 PLAN, RCP & ELEVATIONS
SCALE 1/2" = 1'-0"

BATHROOM TYPE	FLOOR	UNIT	CEILING HT	REMARK	VANITY TYPE
B-6A	LV 28	UNIT A	8'-6"	NYC ADAPTABLE "APPENDIX-P" BATHROOM	TYPE 1 32"
B-6B	LV 29-35	UNIT A	8'-8"	NYC ADAPTABLE "APPENDIX-P" BATHROOM	TYPE 3 36"
B-6B	LV 36-39	UNIT A	8'-6"	NYC ADAPTABLE "APPENDIX-P" BATHROOM	TYPE 3 36"
B-6C-M	LV 36-39	UNIT C	8'-6"	NYC ADAPTABLE "APPENDIX-P" BATHROOM MIRRORED PLAN	TYPE 3 36"

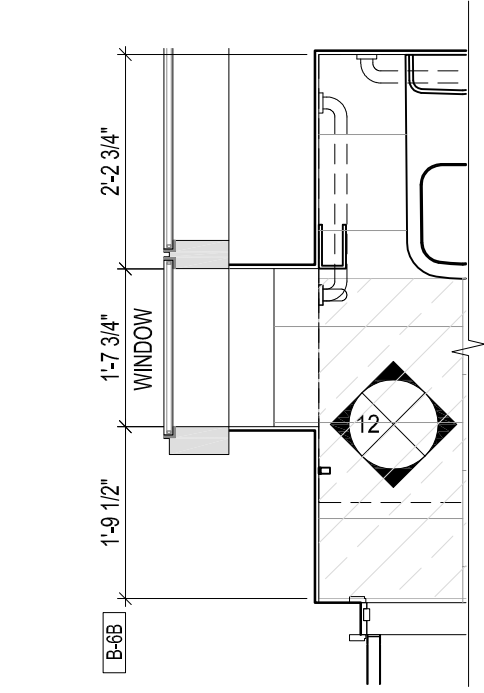
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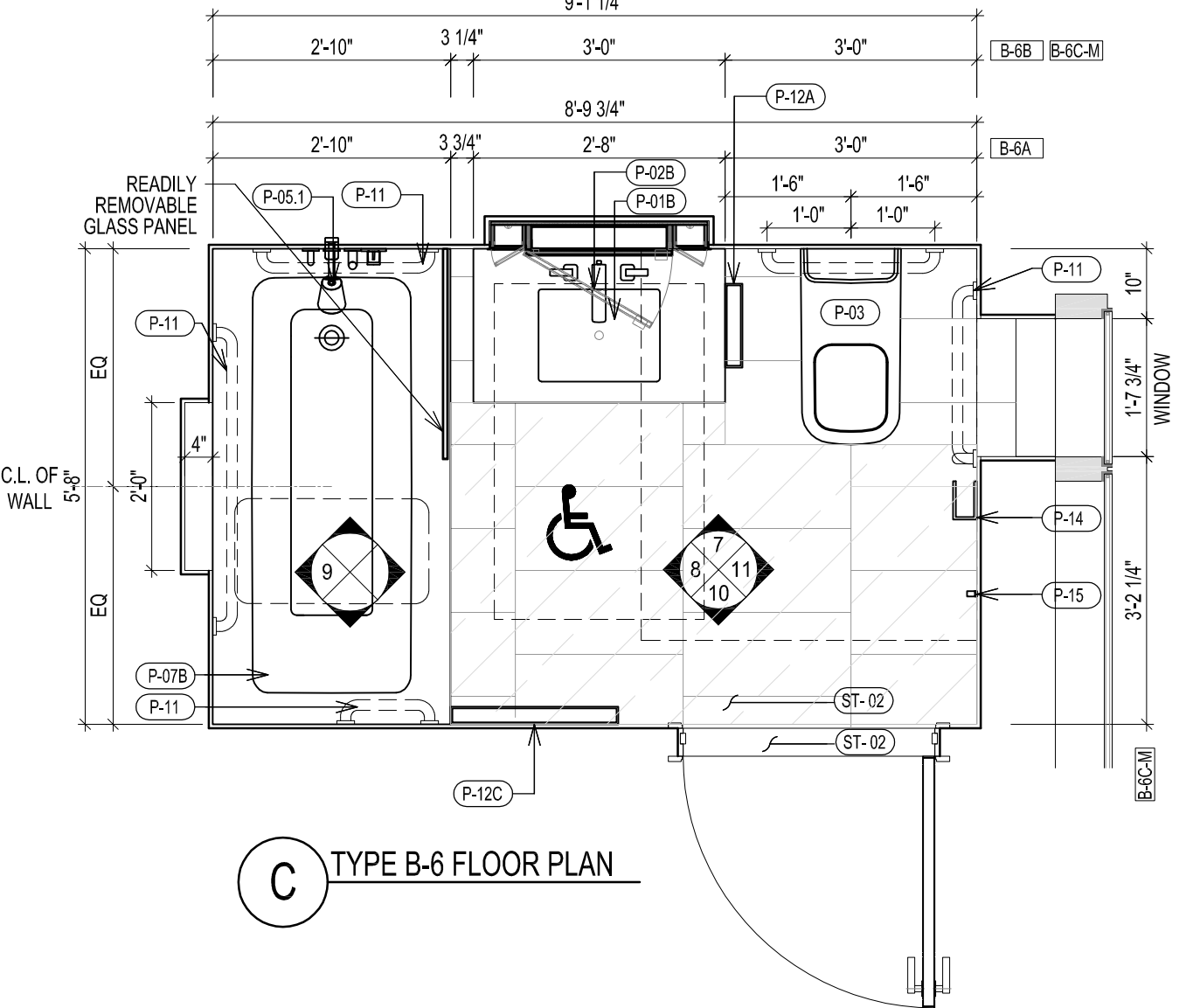
F TYPE B-6 RCP



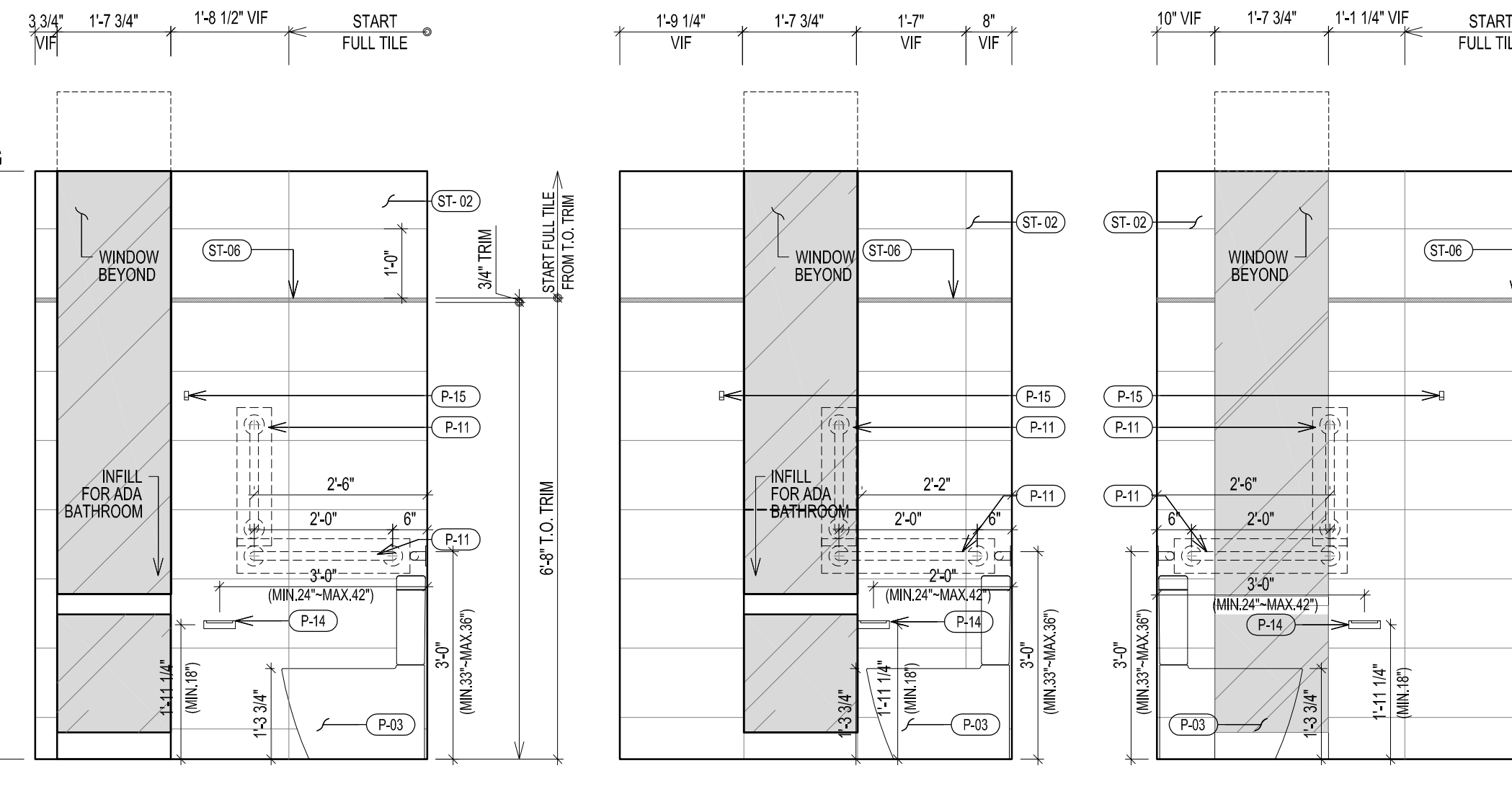
E TYPE B-6C-M PARTIAL FLOOR PLAN



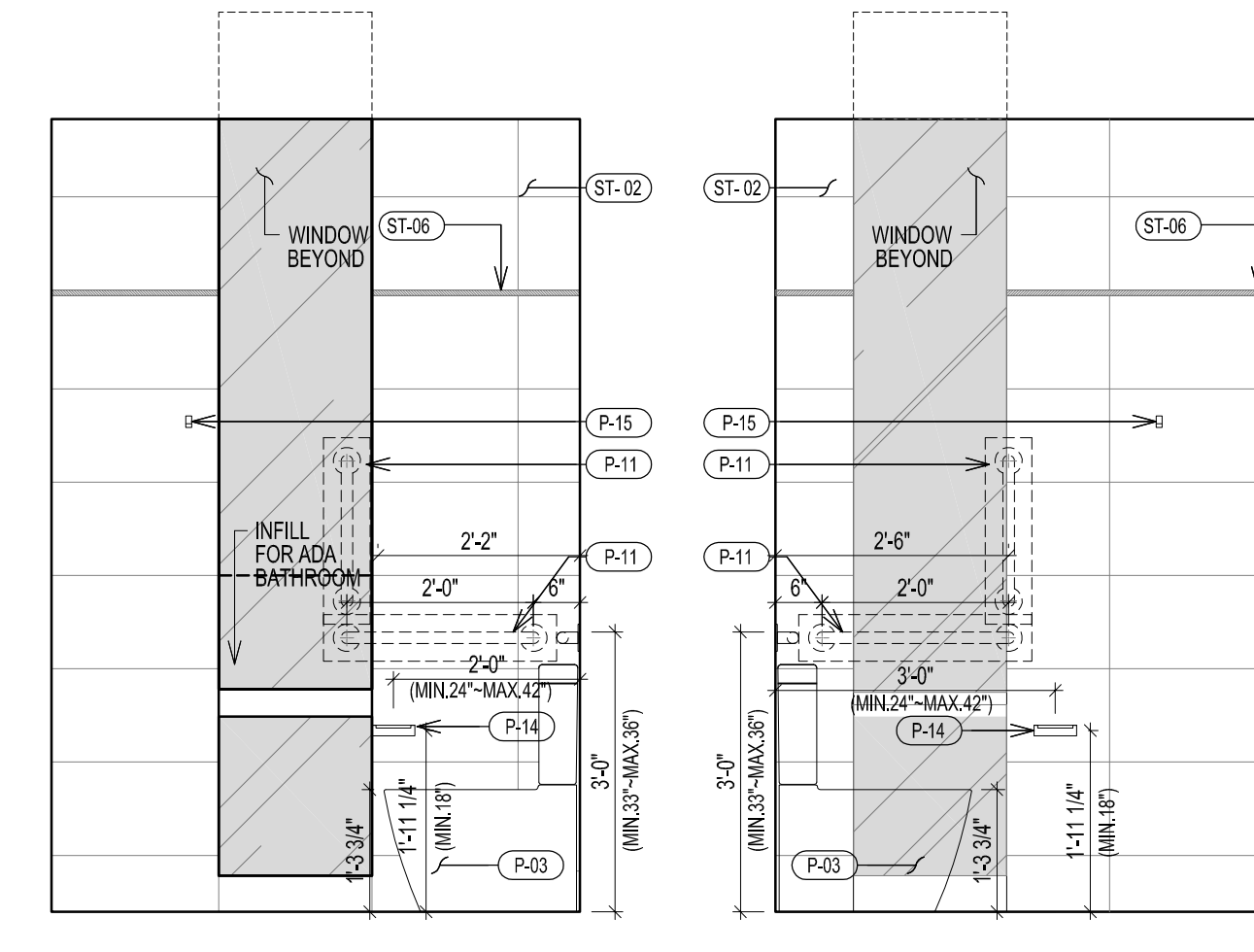
D TYPE B-6B PARTIAL FLOOR PLAN



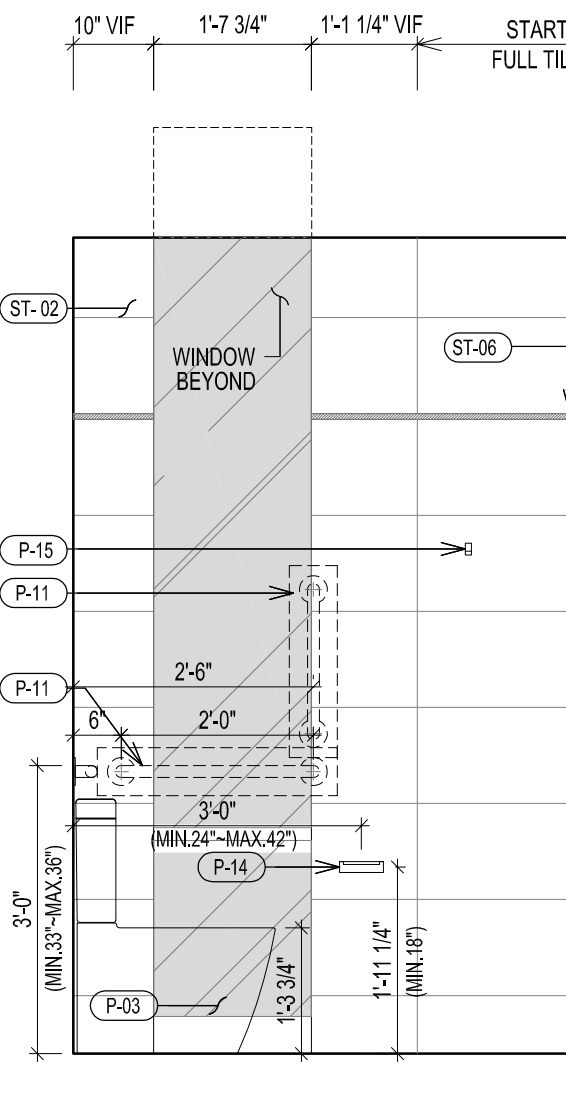
C TYPE B-6 FLOOR PLAN



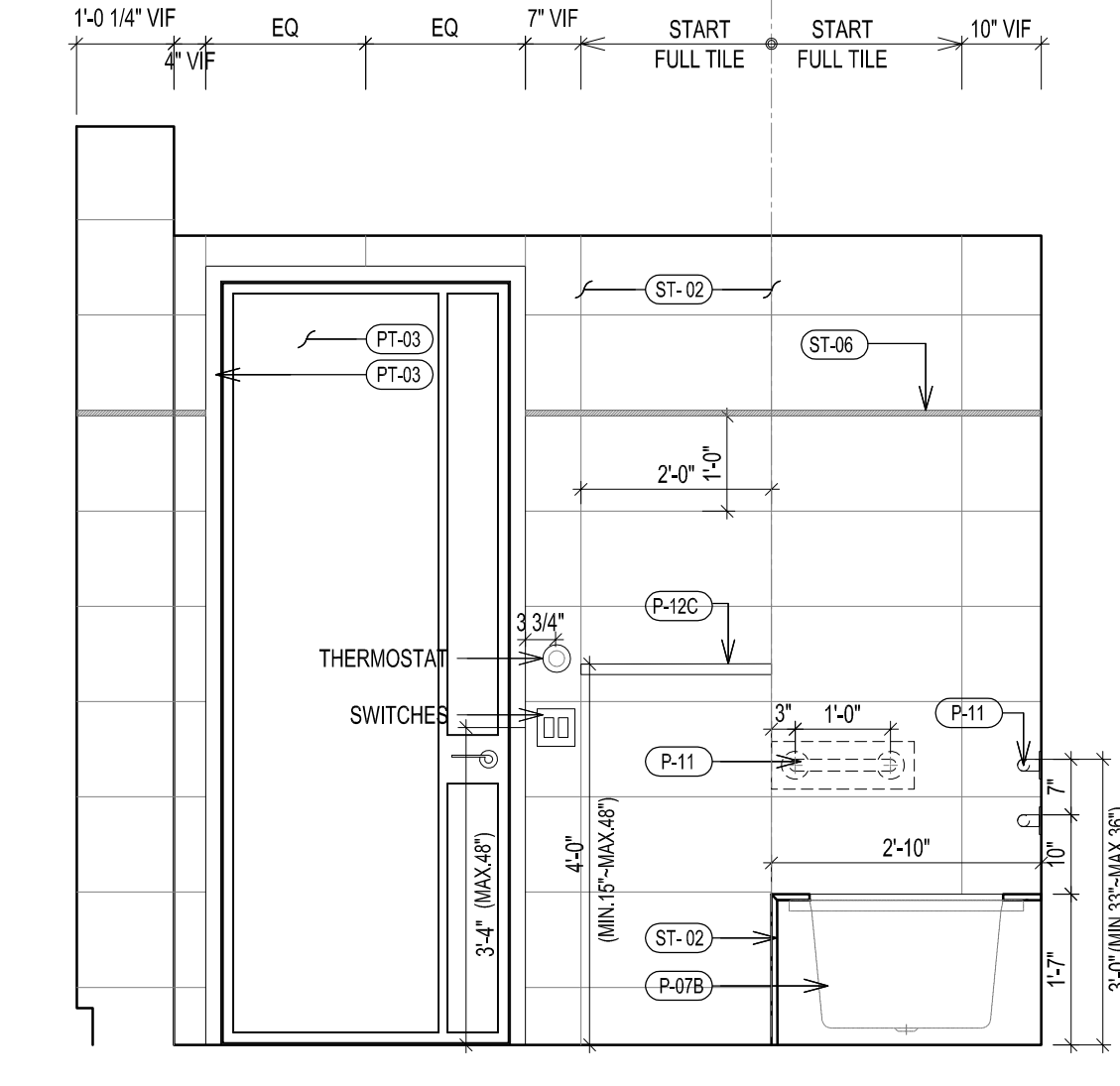
13 ELEVATION



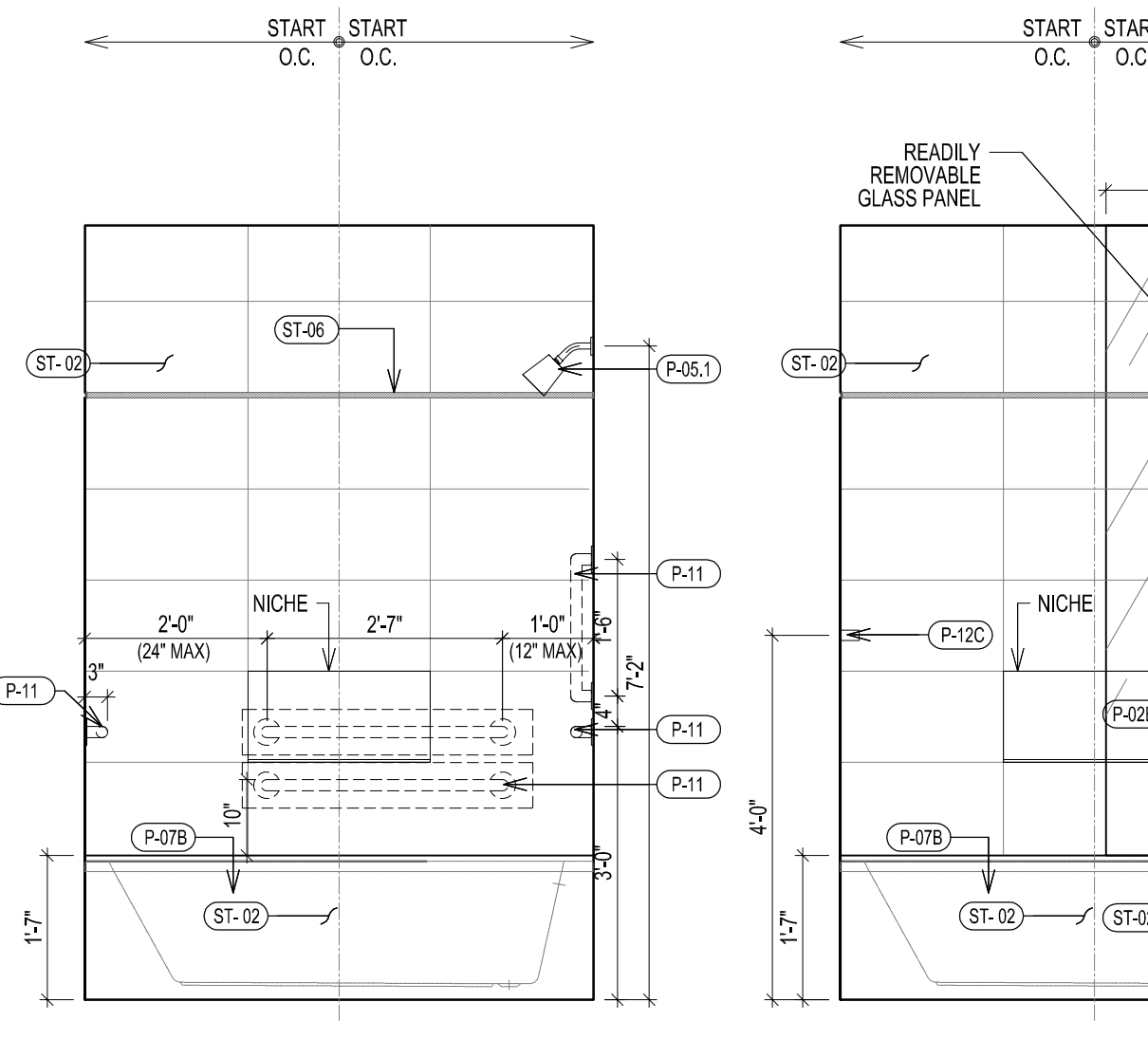
12 ELEVATION



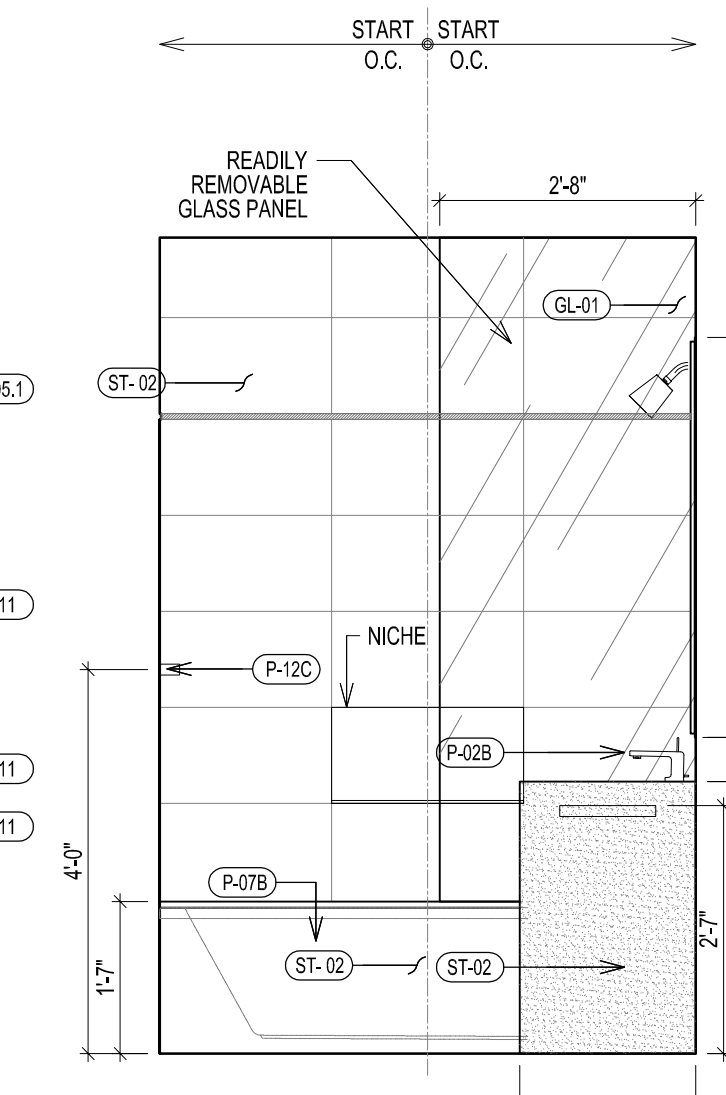
11 ELEVATION



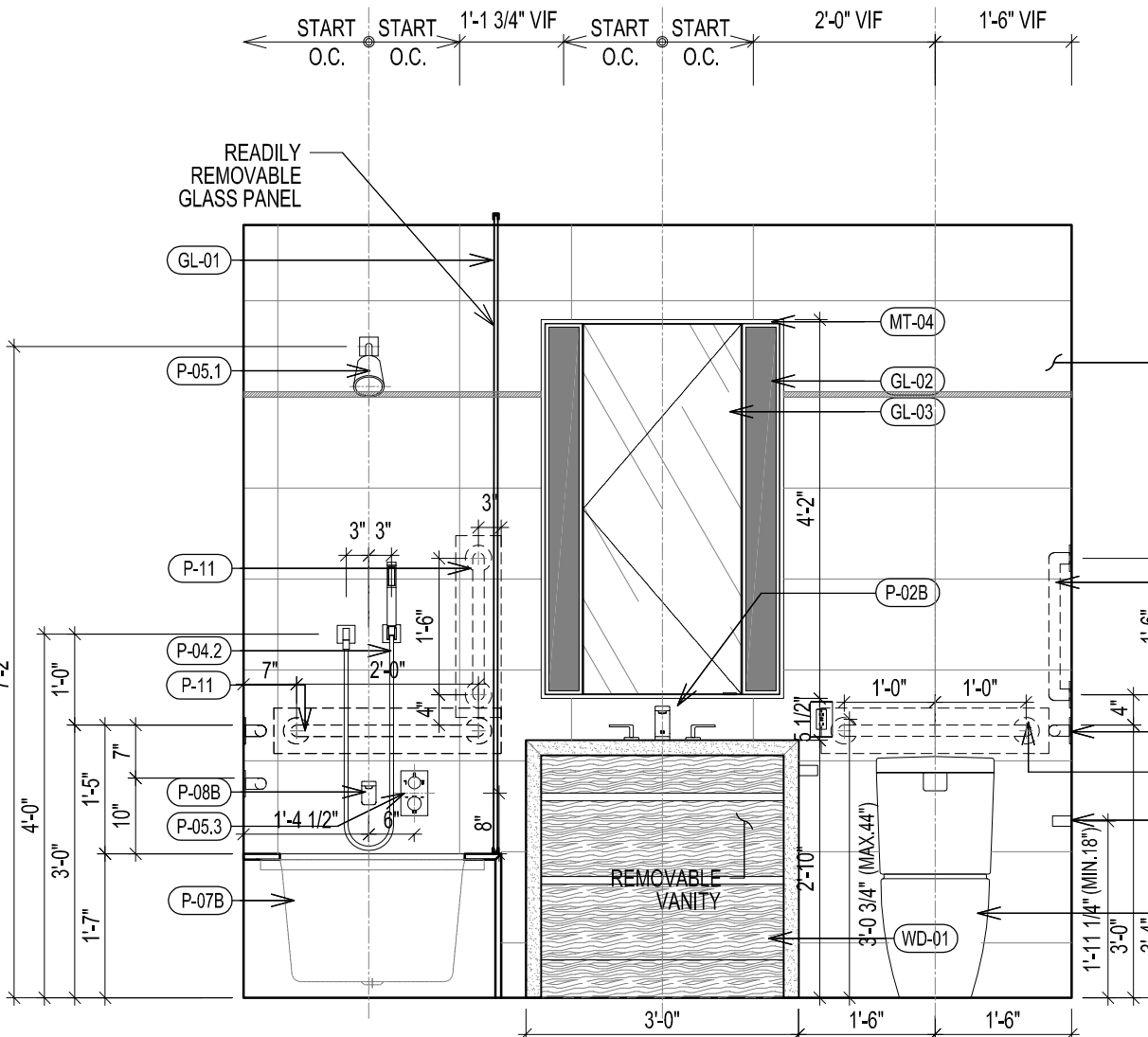
10 ELEVATION



9 ELEVATION



8 ELEVATION



7 ELEVATION

TYPICAL BATHROOM TYPE B-6 PLAN, RCP & ELEVATIONS
SCALE 1/2" = 1'-0"

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VERTICAL TRANSPORT CONSULTANT:
VAN DEUSEN & ASSOCIATES
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EAST HANOVER, NJ 07936
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FACADE MAINTENANCE CONSULTANT:
ENTEK ENGINEERING LLC
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HACKENSACK, NJ 07601
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ACOUSTICAL CONSULTANT:
CERAMI & ASSOCIATES
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NEW YORK, NY 10018
TEL: 212 616 4179

LIGHTING CONSULTANT:
ONE LUX STUDIO
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NEW YORK, NY 10001
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589 EIGHTH AVENUE, 17TH FLOOR
NEW YORK, NY 10018
TEL: 212 691 3248

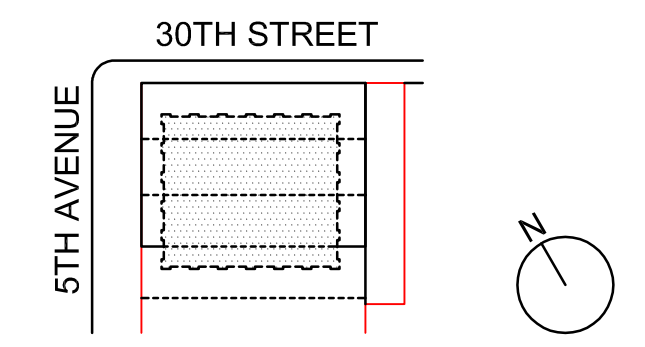
ENERGY MODELING CONSULTANT:
STEVEN WINTER ASSOCIATES, INC
307 SEVENTH AVENUE, SUITE 1701
NEW YORK, NY 10001
TEL: 212 564 5800

INTERIOR DESIGN CONSULTANT:
BEERS INTERIORS
156 5TH AVENUE, PENTHOUSE 2
NEW YORK, NY 10010
TEL: 212 352 2020

NYC DEPT. OF BUILDINGS
PAA #2

ARCHITECT'S SEAL
Areg Asatryan, RA
U. [Signature]
APPROVED
Under Directive 2 of 1995
ADDITIONAL PROFESSIONAL
Date: 09/19/2018
NYC Development Hub

09/08/2017 PAA #2
02/24/2017 PAA #1
ISSUE DATE DESCRIPTION
NO. DATE



KEY PLAN AND NORTH SIGN
IF THIS DRAWING IS NOT 42" X 30" IT IS
A REDUCED PRINT;
REFER TO GRAPHIC SCALE

SCALE 1/2" = 1'-0"

TYPICAL BATHROOM
TYPES PLANS, RCPs &
ELEVATIONS
B-5, B-6

SHEET TITLE :

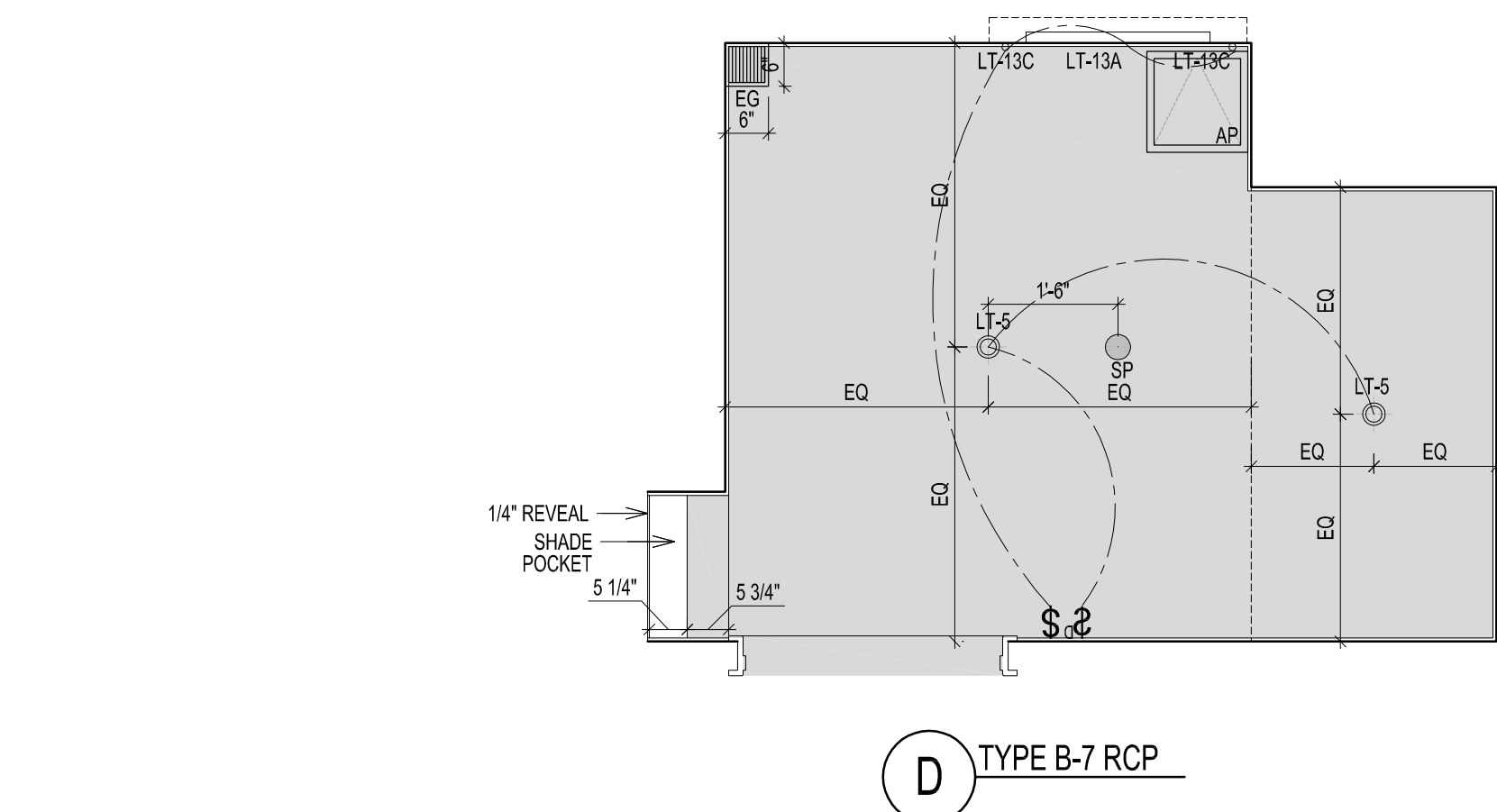
A-523.01

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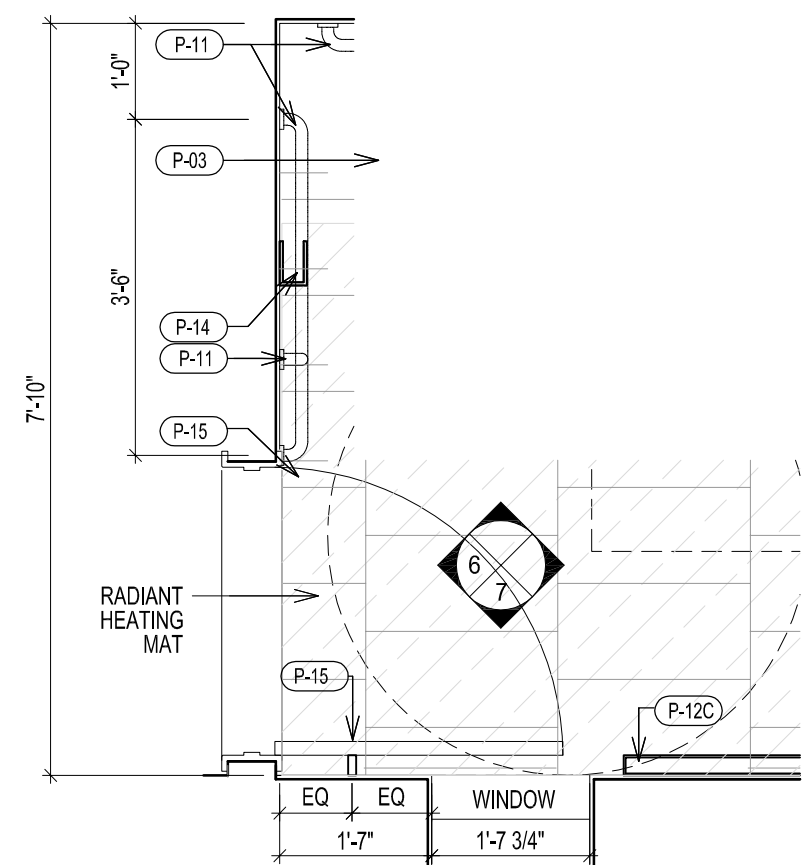
2016 RAFAEL VINOLY ARCHITECTS

BATHROOM TYPE	FLOOR	UNIT	CEILING HT	REMARK	VANITY TYPE
B-7A	LV 41	UNIT A	8'-6"	"TYPE A" BATHROOM	TYPE 3 36"
	LV 45	UNIT B	8'-6"		
B-7A-M	LV 43	UNIT A	8'-6"	"TYPE A" BATHROOM TYPE B-7A MIRRORED PLAN	TYPE 3 36"
B-7B	LV 40	UNIT A	8'-6"	"TYPE A" BATHROOM	TYPE 3 36"
	LV 44	UNIT B	8'-6"		
B-7B-M	LV 42	UNIT A	8'-6"	"TYPE A" BATHROOM TYPE B-7B MIRRORED PLAN	TYPE 3 36"
	LV 46	UNIT B	8'-6"		
B-7D	LV 40-41	UNIT B	8'-6"	"TYPE A" BATHROOM NO HEATING MAT	TYPE 3 36"
	LV 44-45	UNIT A	8'-6"		
B-7D-M	LV 42-43	UNIT B	8'-6"	"TYPE A" BATHROOM TYPE B-7D MIRRORED PLAN NO HEATING MAT	TYPE 3 36"
	LV 46-47	UNIT A	8'-6"		
B-7E	LV 49	PH 49	8'-6"	"TYPE A" BATHROOM	TYPE 3 36"
B-7E-M	LV 48	PH 48	8'-6"	"TYPE A" BATHROOM TYPE B-7E MIRRORED PLAN	TYPE 3 36"

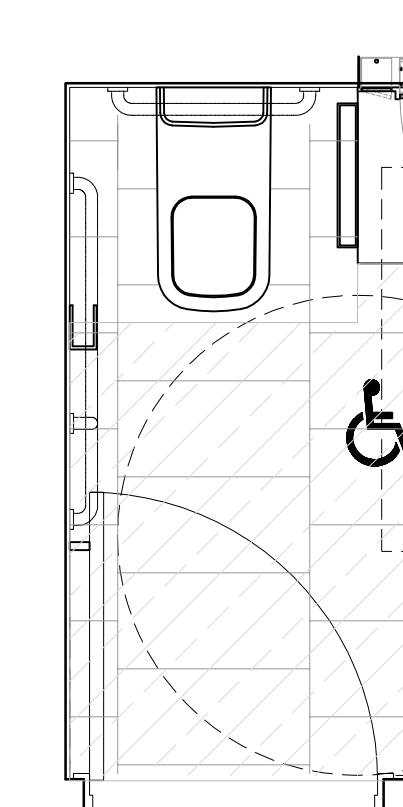
NOTE: ALL BATHROOM TO BE INSTALLED HEATING MAT UNDERNEATH FLOOR FINISH UNLESS OTHERWISE INDICATED



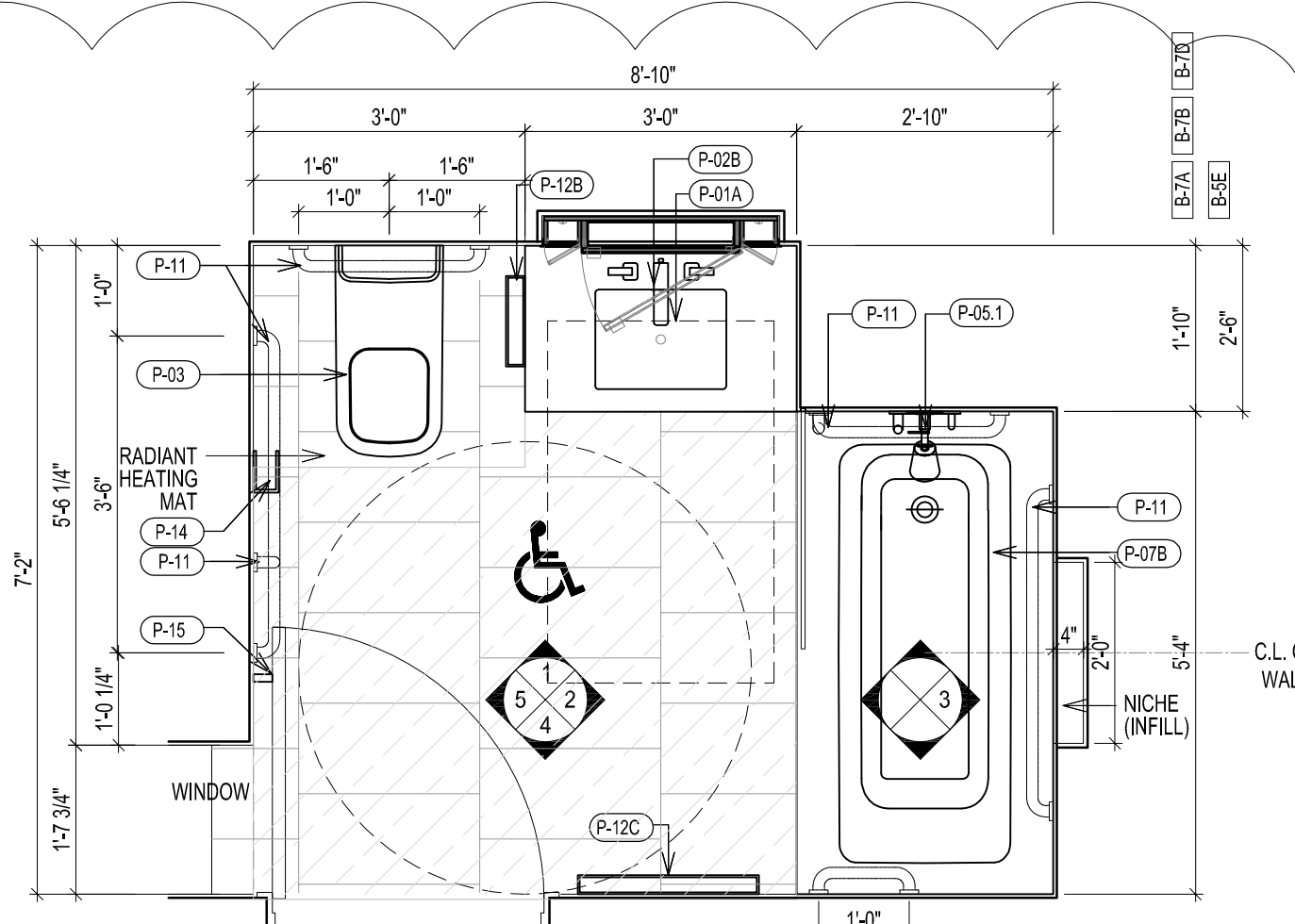
D TYPE B-7 RCP



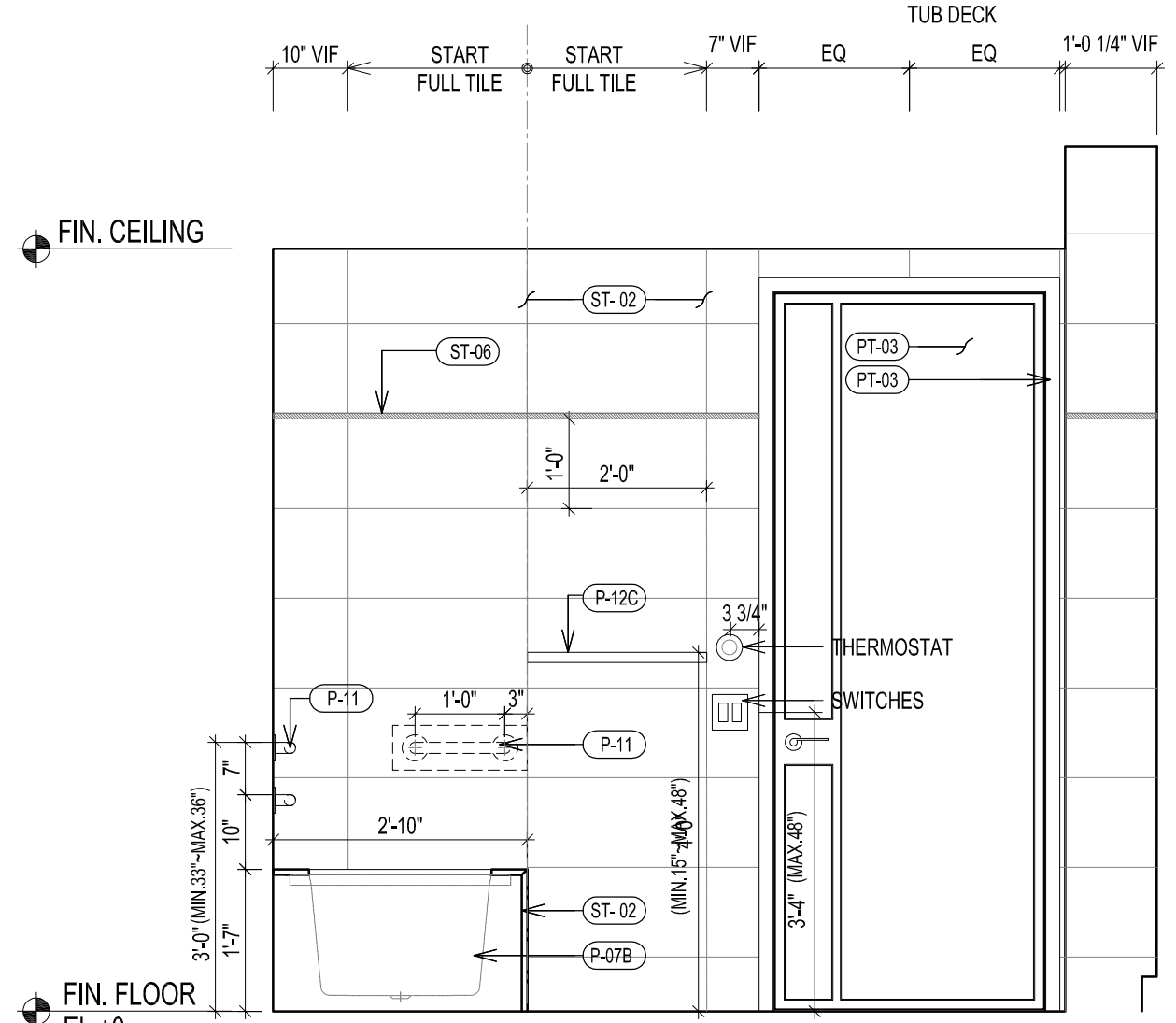
C TYPE B-7E PARTIAL FLOOR PLAN



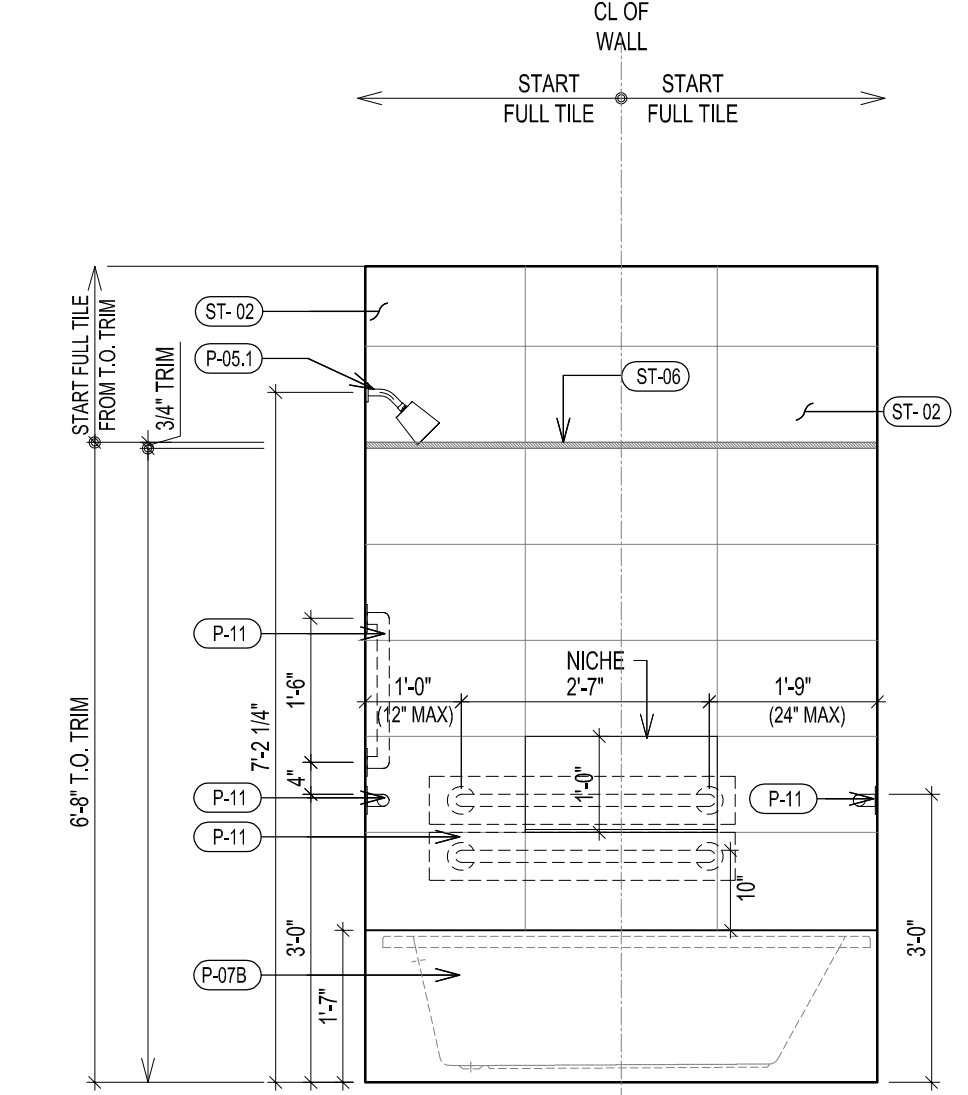
B TYPE B-7B&D PARTIAL FLOOR PLAN



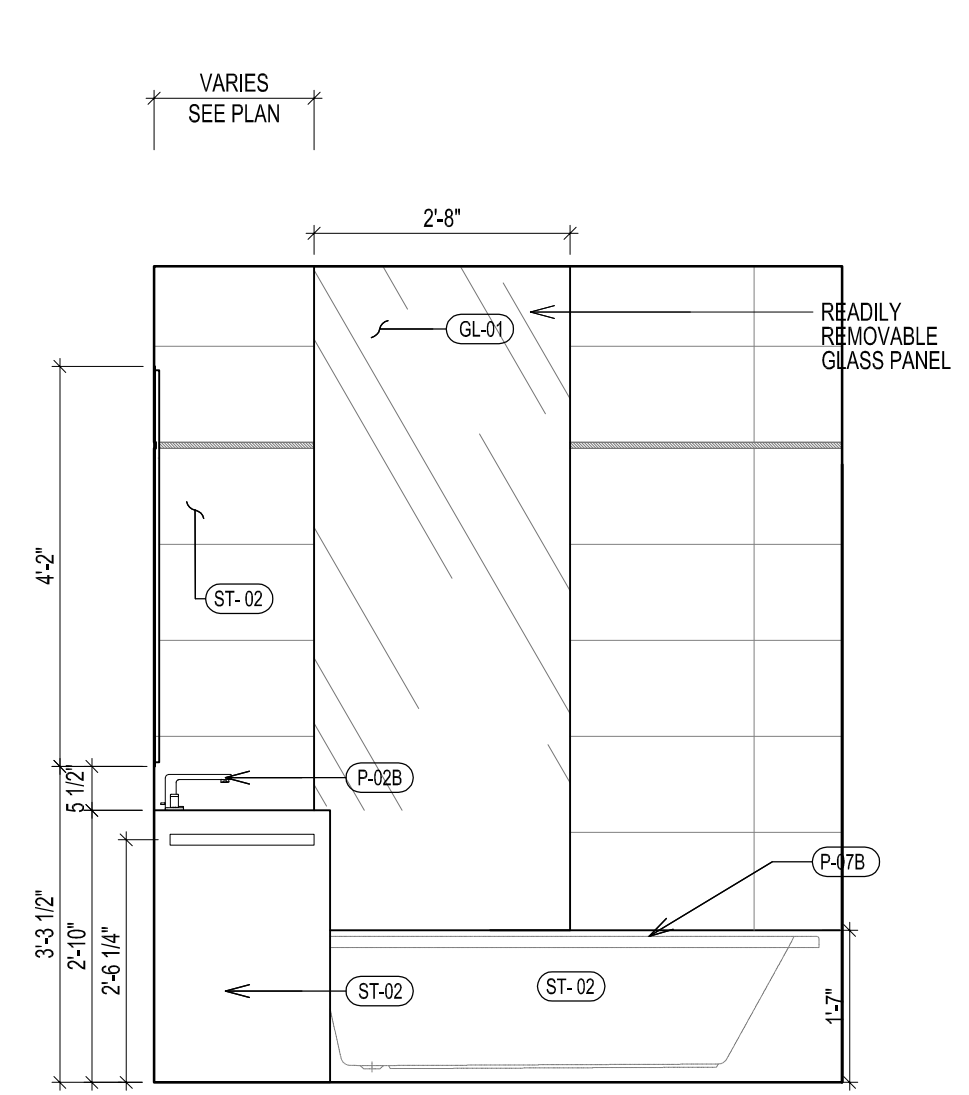
A TYPE B-7 FLOOR PLAN



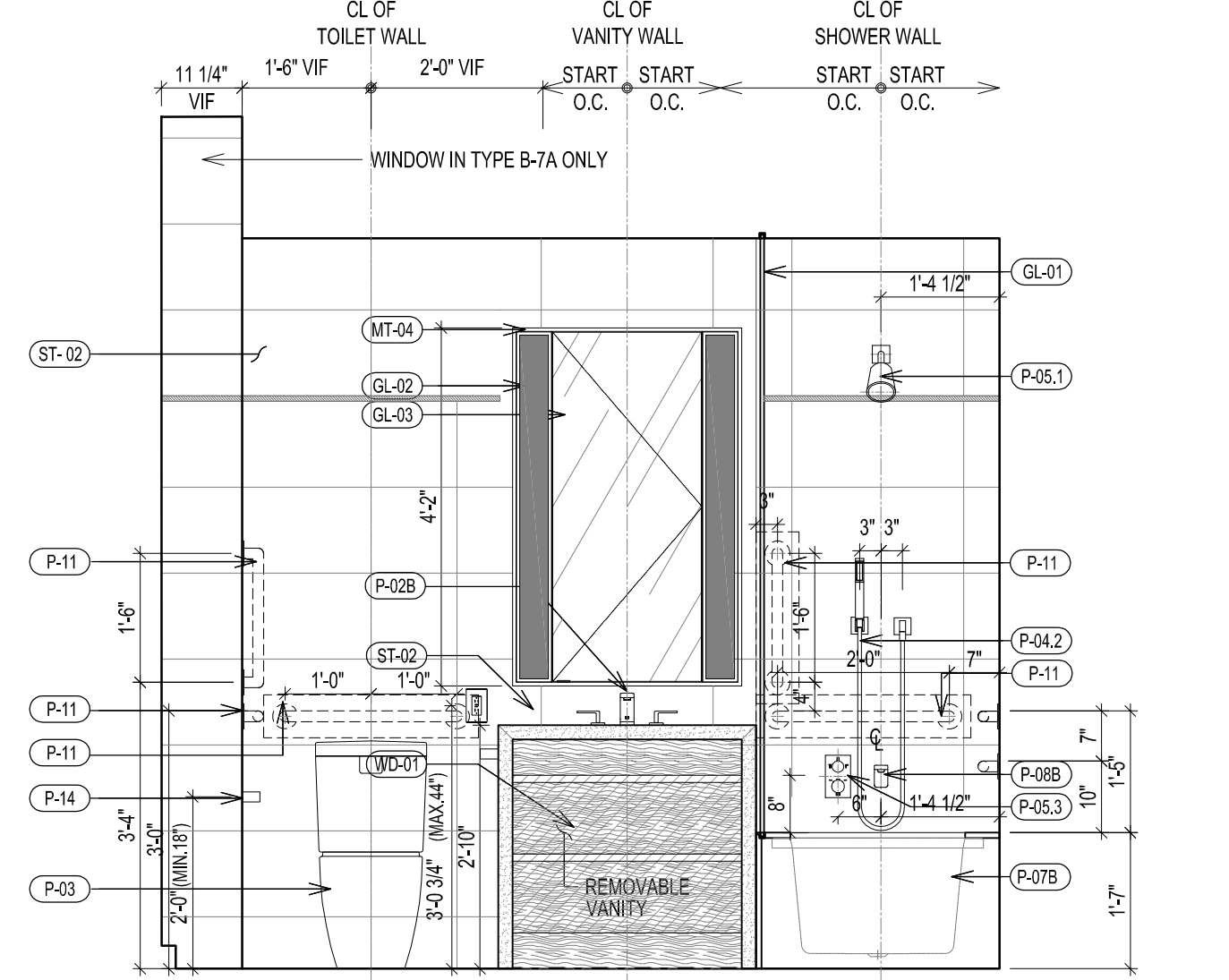
4 ELEVATION



3 ELEVATION

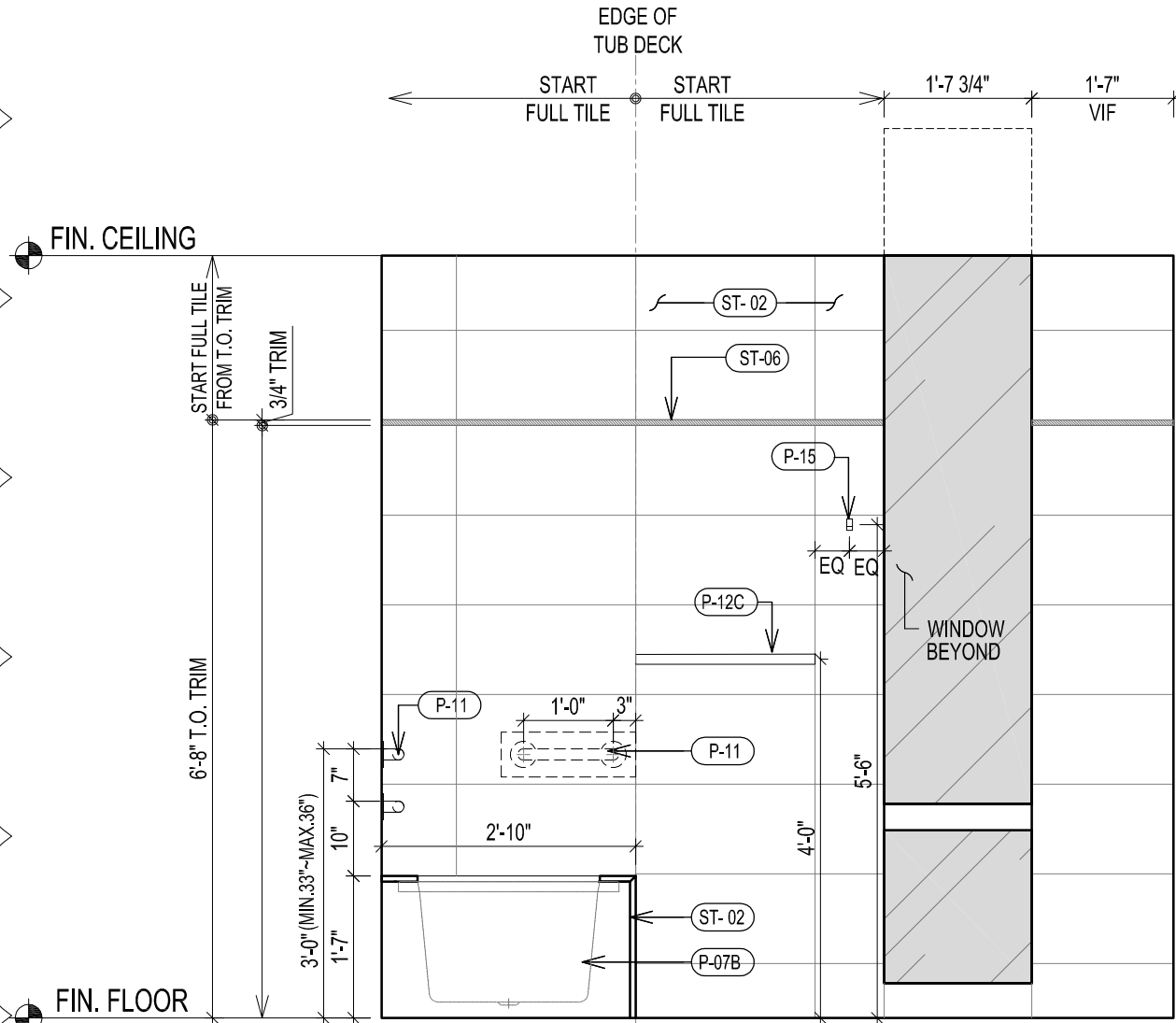


2 ELEVATION

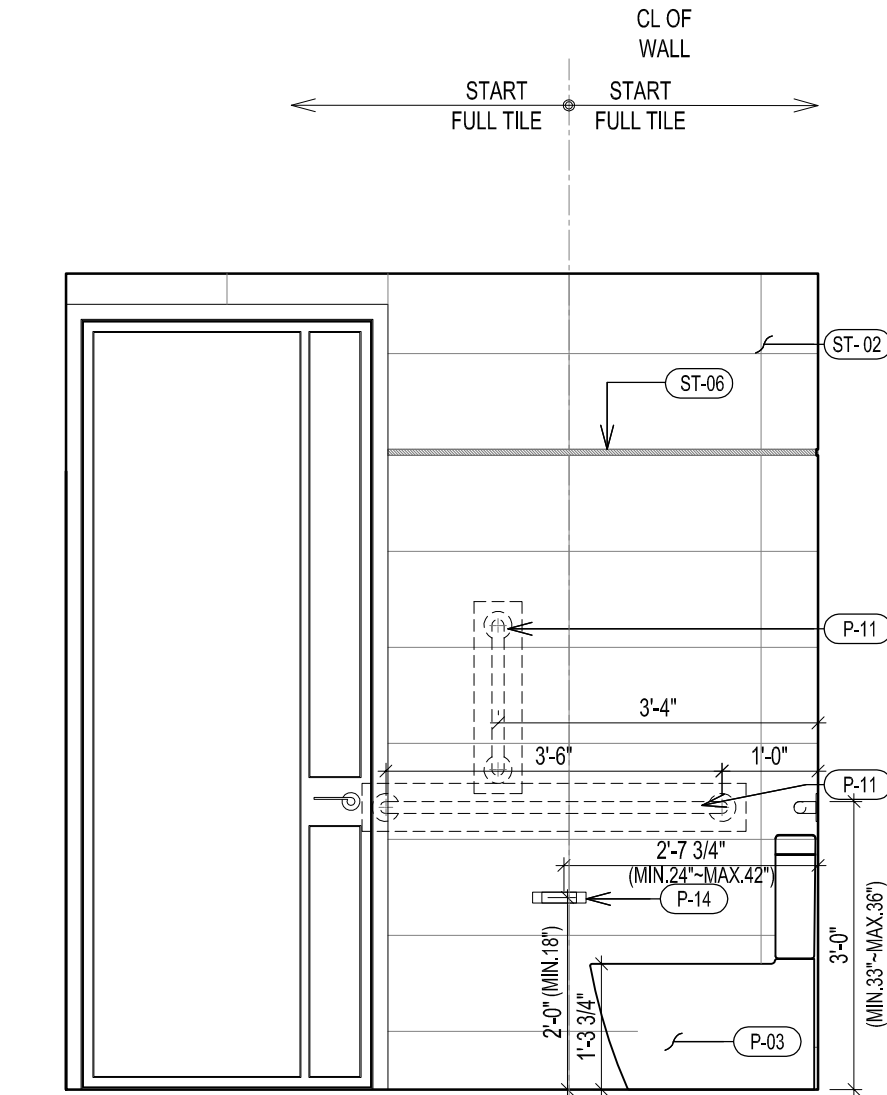


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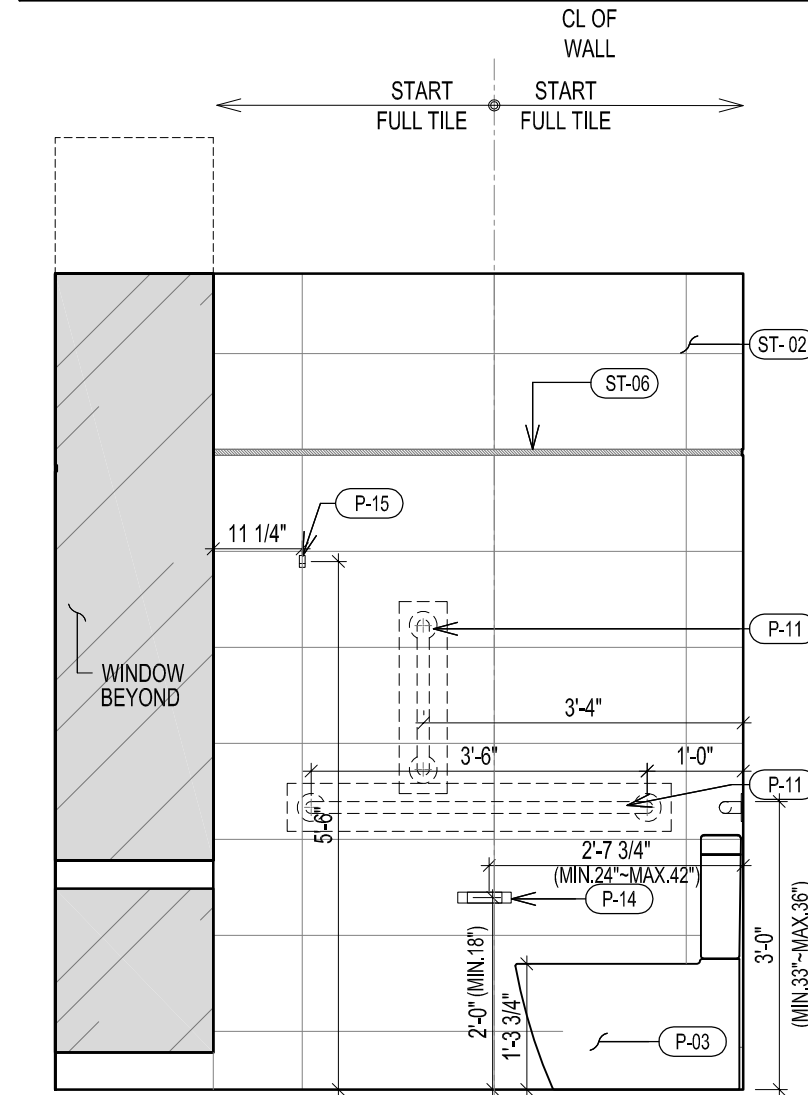
TYPICAL BATHROOM TYPE B-7 PLAN, RCP & ELEVATIONS
SCALE 1/2" = 1'-0"



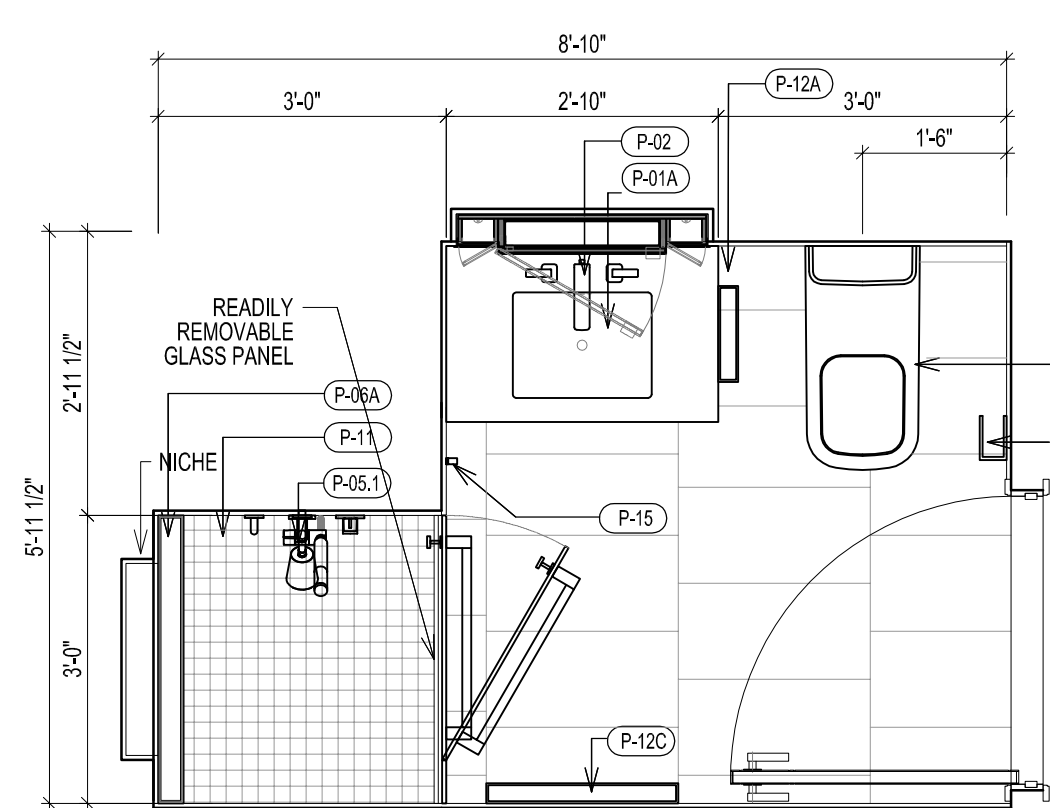
7 ELEVATION



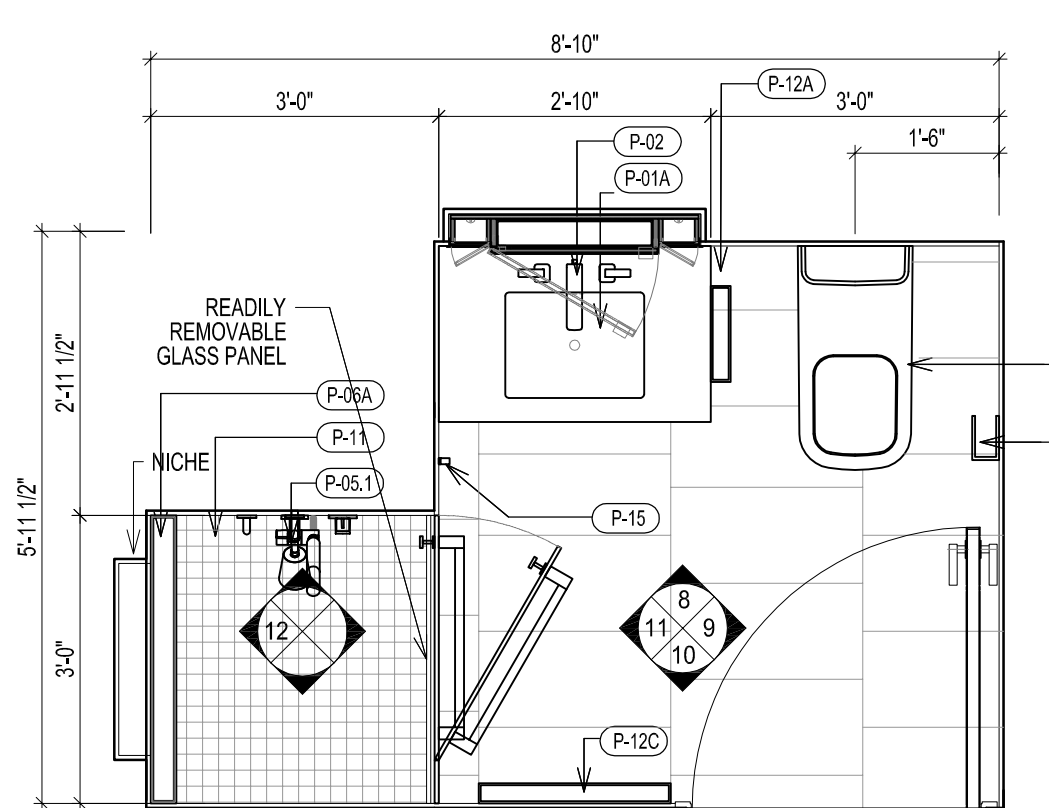
6 ELEVATION



5 ELEVATION



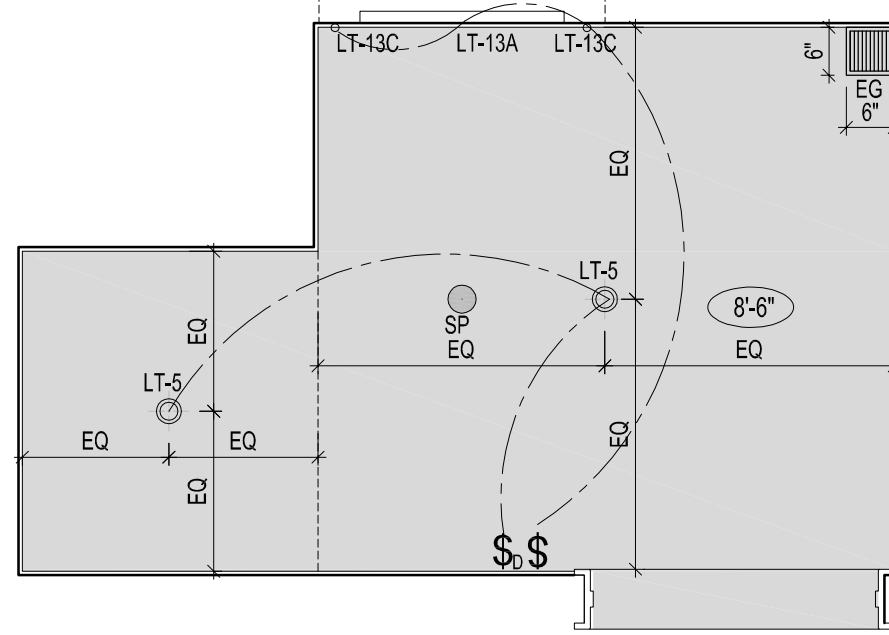
F TYPE B-8C PLAN



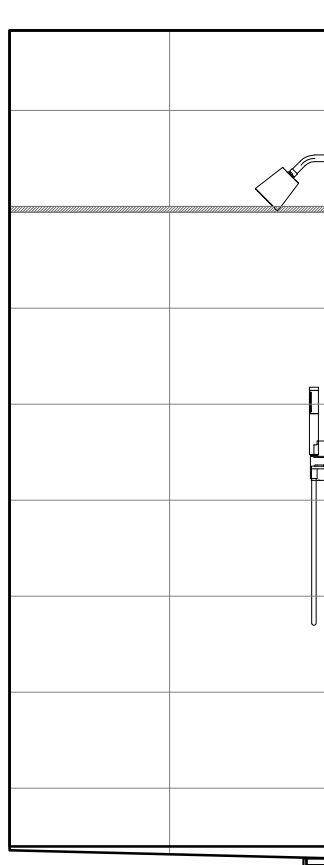
E TYPE B-8B PLAN

BATHROOM TYPE	FLOOR	UNIT	CEILING HT	REMARK	VANITY TYPE
B-8B	LV 47	UNIT A	8'-6"	NO HEATING MAT	TYPE 2 34"
B-8C	LV 48	PH 48	8'-6"		
B-8C-M	LV 49	PH 49	8'-6"	NO HEATING MAT	TYPE 6A 34"

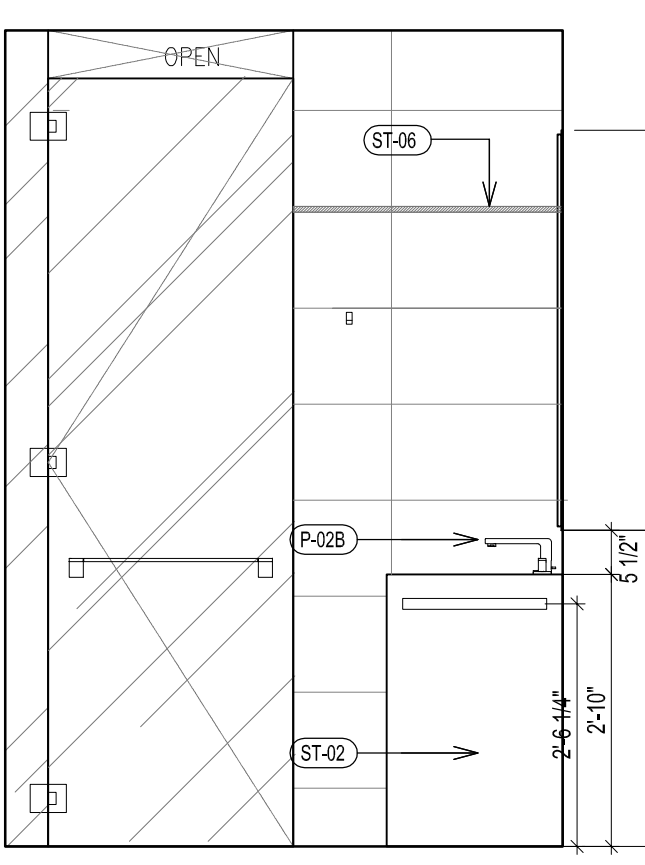
NOTE: ALL BATHROOM TO BE INSTALLED HEATING MAT UNDERNEATH FLOOR FINISH UNLESS OTHERWISE INDICATED



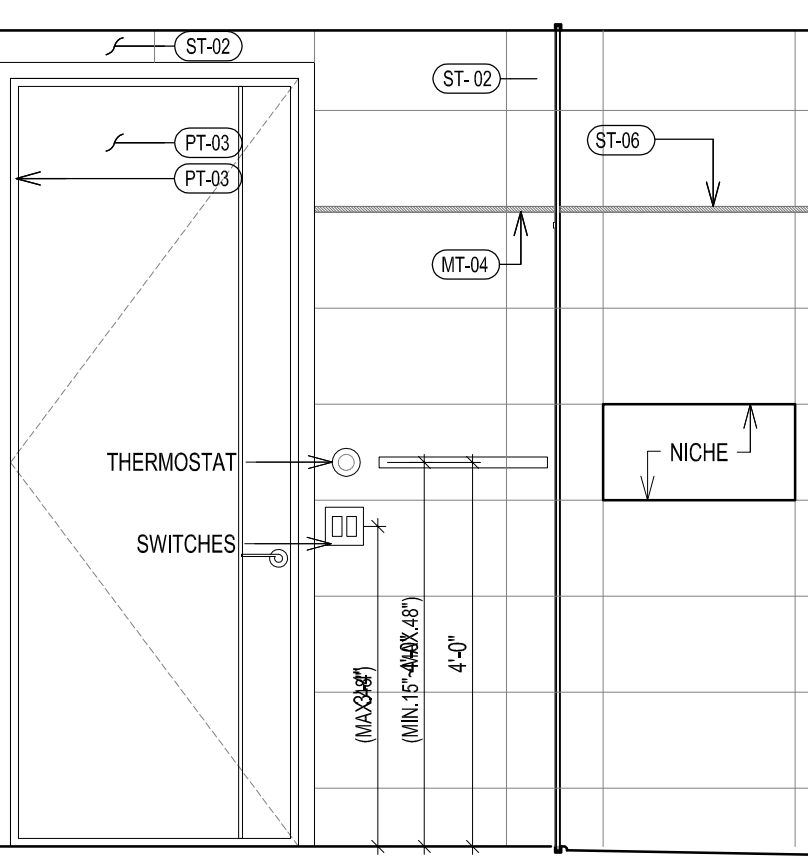
G TYPE B-8 RCP



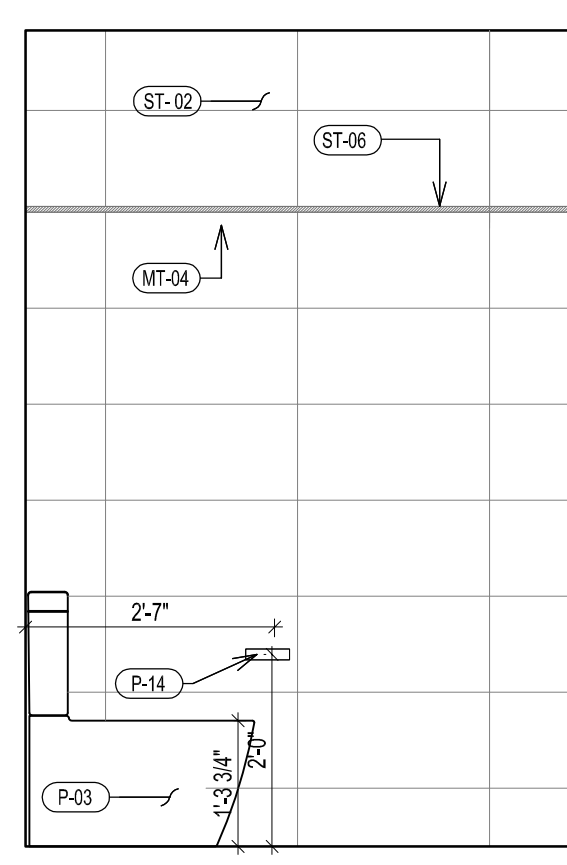
12 ELEVATION



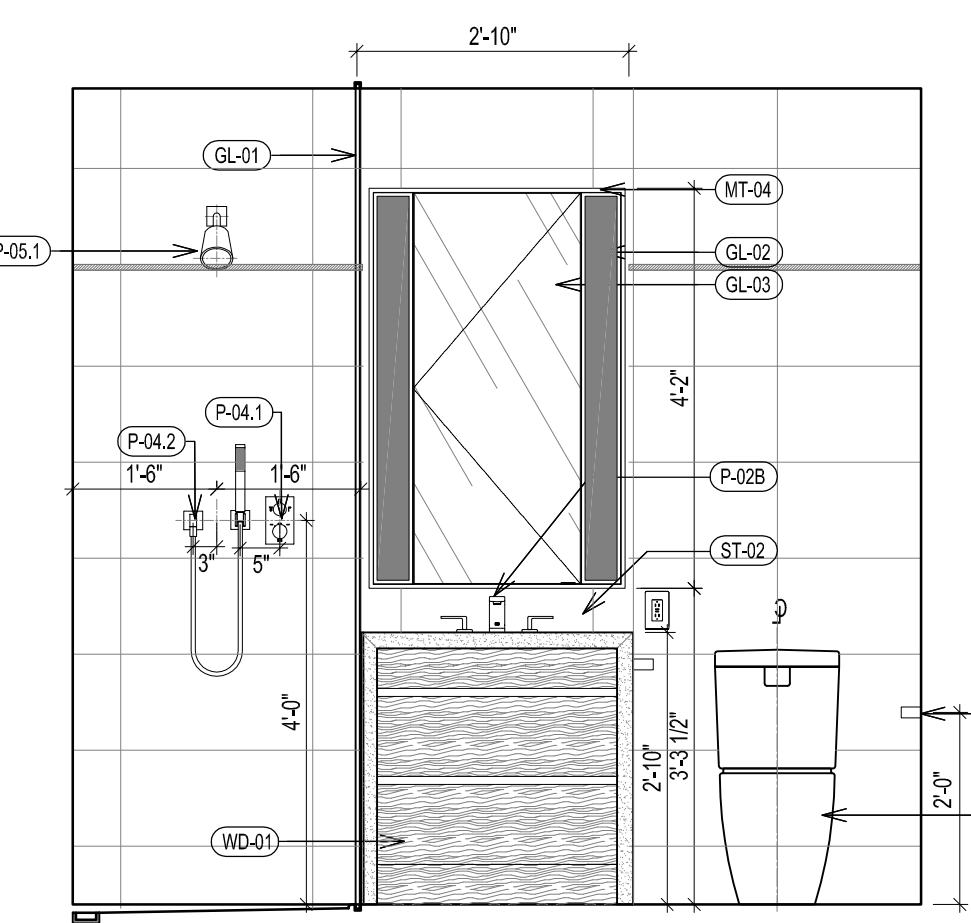
11 ELEVATION



10 ELEVATION



9 ELEVATION



8 ELEVATION

TYPICAL BATHROOM TYPE B-8 PLAN, RCP & ELEVATIONS
SCALE 1/2" = 1'-0"

277

Fifth Avenue

NEW YORK, NY

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VICTOR NOMAD LLC

CONSTRUCTION MANAGER:
LEND LEASE
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NEW YORK, NY 10166
TEL: 212 592 6700

ARCHITECT :
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TEL: 212 924 5060 FAX: 212 924 5858

STRUCTURAL ENGINEER:
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300 KIMBALL DRIVE, 4TH FLOOR
PARSPIPPANY, NJ 07054
TEL: 973 994 4900

VERTICAL TRANSPORT, CONSULTANT:
VIDARIS, INC.
360 PARK AVENUE SOUTH, 15TH FLOOR
NEW YORK, NY, 10010
TEL: 216 689 5389

FACADE MAINTENANCE CONSULTANT:
ENTEK ENGINEERING LLC
166 AMES STREET
HACKENSACK, NJ, 07601
TEL: 201 820 2801

ACOUSTICAL CONSULTANT:
CERAMI & ASSOCIATES
404 FIFTH AVENUE
NEW YORK, NY, 10018
TEL: 212 616 4179

LIGHTING CONSULTANT:
ONE LUX STUDIO
158 WEST 29TH STREET, 10TH FLOOR
NEW YORK, NY, 10001
TEL: 212 201 5790

SPECIFICATIONS CONSULTANT:
ROBERT SCHWARTZ & ASSOCIATES
589 EIGHTH AVENUE, 17TH FLOOR
NEW YORK, NY, 10018
TEL: 212 691 3248

ENERGY MODELING CONSULTANT:
STEVEN WINTER ASSOCIATES, INC
307 SEVENTH AVENUE, SUITE 1701
NEW YORK, NY, 10001
TEL: 212 564 5800

INTERIOR DESIGN CONSULTANT:
BEERS INTERIORS
156 5TH AVENUE, PENTHOUSE 2
NEW YORK, NY, 10010
TEL: 212 352 2020

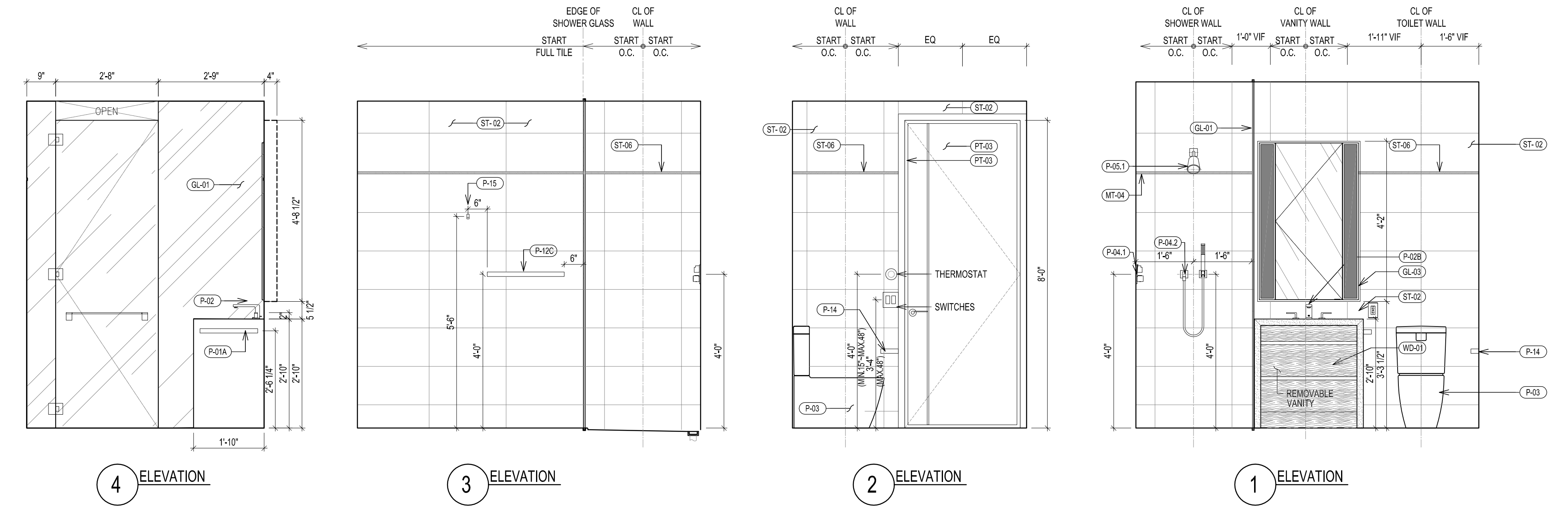
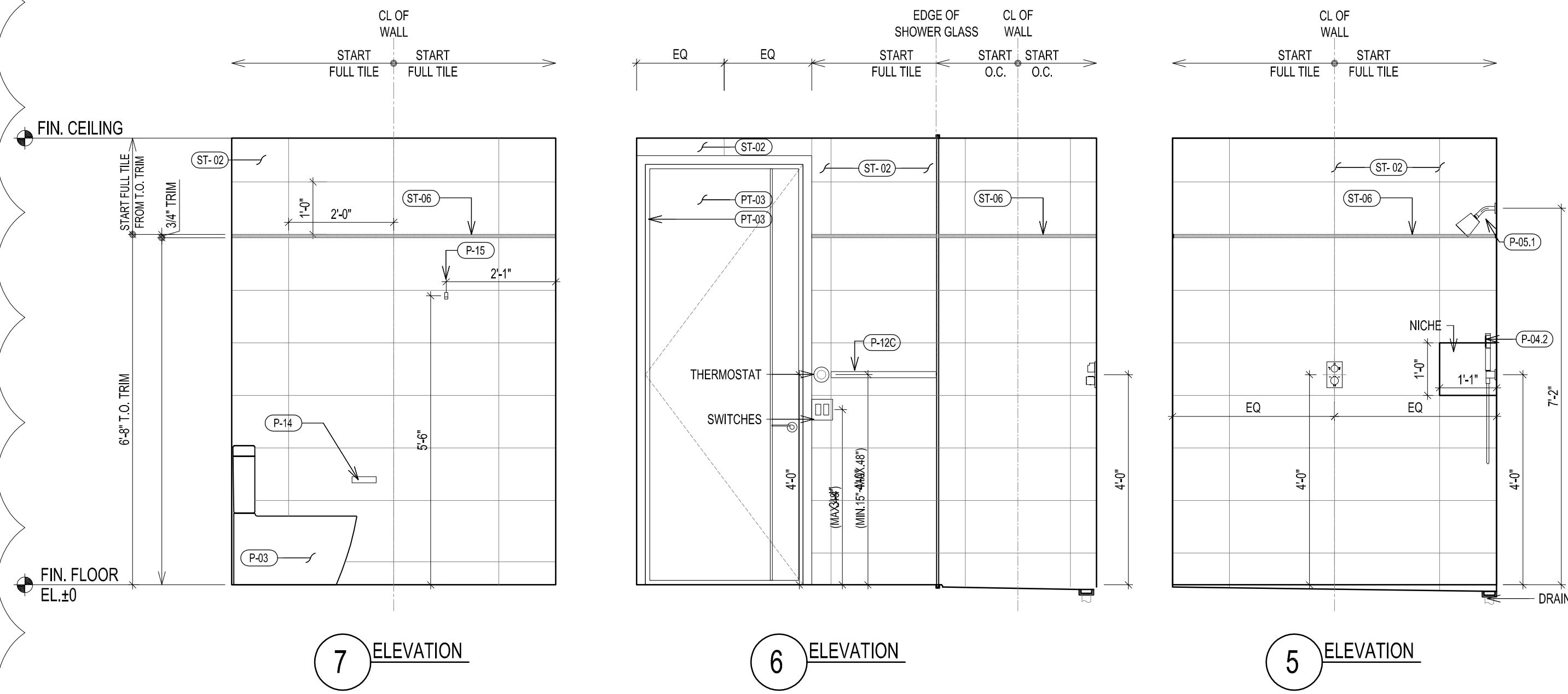
NYC DEPT. OF BUILDINGS
PAA #2

ARCHITECT'S SEAL
Areg Asatryan, RA
U. [Signature]
APPROVED
Under Directive 2 of 1995
DESIGN PROFESSIONAL REGISTRATION
Date: 09/19/2018
NYC Development Hub

30TH STREET
5TH AVENUE
KEY PLAN AND NORTH SIGN
IF THIS DRAWING IS NOT 42" X 30" IT IS
A REDUCED PRINT;
REFER TO GRAPHIC SCALE
0 2 4
SCALE 1/2" = 1'-0"
TYPICAL BATHROOM
TYPES PLANS, RCPs &
ELEVATIONS
B-7, B-8
SHEET TITLE :
A-524.01
SHEET NUMBER :

BATHROOM TYPE	FLOOR	UNIT	CEILING HT	REMARK	VANITY TYPE
B-4B	LV 48	PH 48	8'-6"	-----	TYPE 6A 34"
B-4B-M	LV 49	PH 49	8'-6"	TYPE B-4B MIRRORED PLAN	TYPE 6A 32"
B-4C	LV 41	UNIT A	8'-6"	NO HEATING MAT	TYPE 1 32"
	LV 45	UNIT B	8'-6"		
B-4C-M	LV 43	UNIT A	8'-6"	TYPE B-4C MIRRORED PLAN NO HEATING MAT	TYPE 1 32"

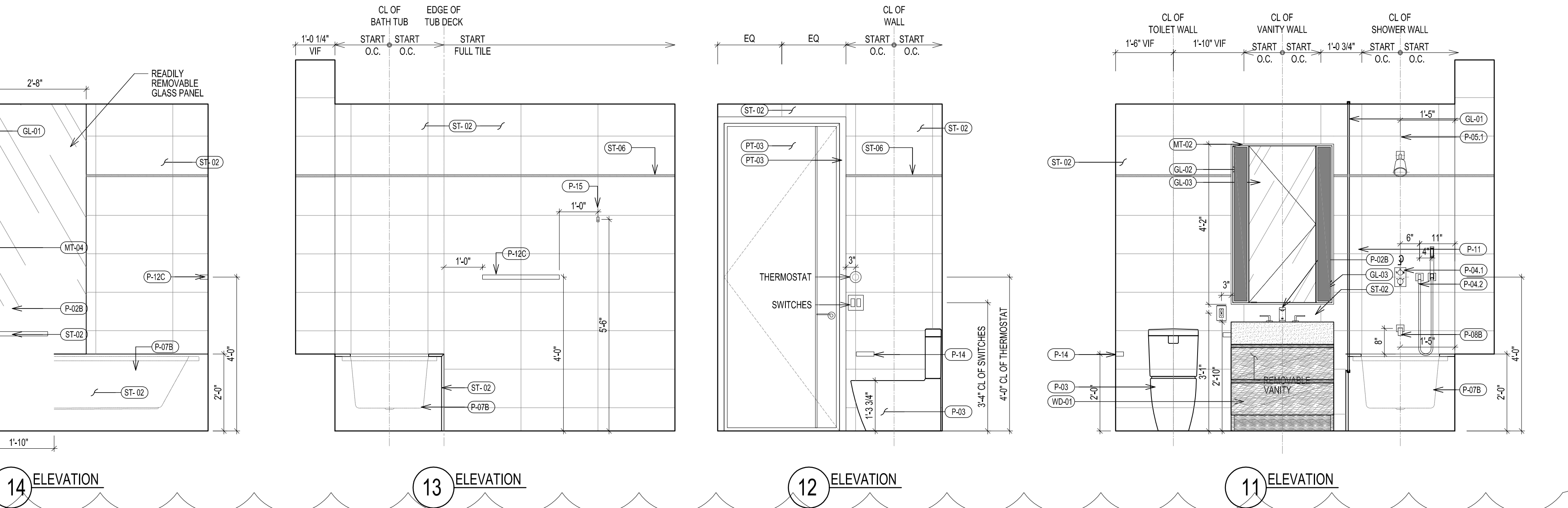
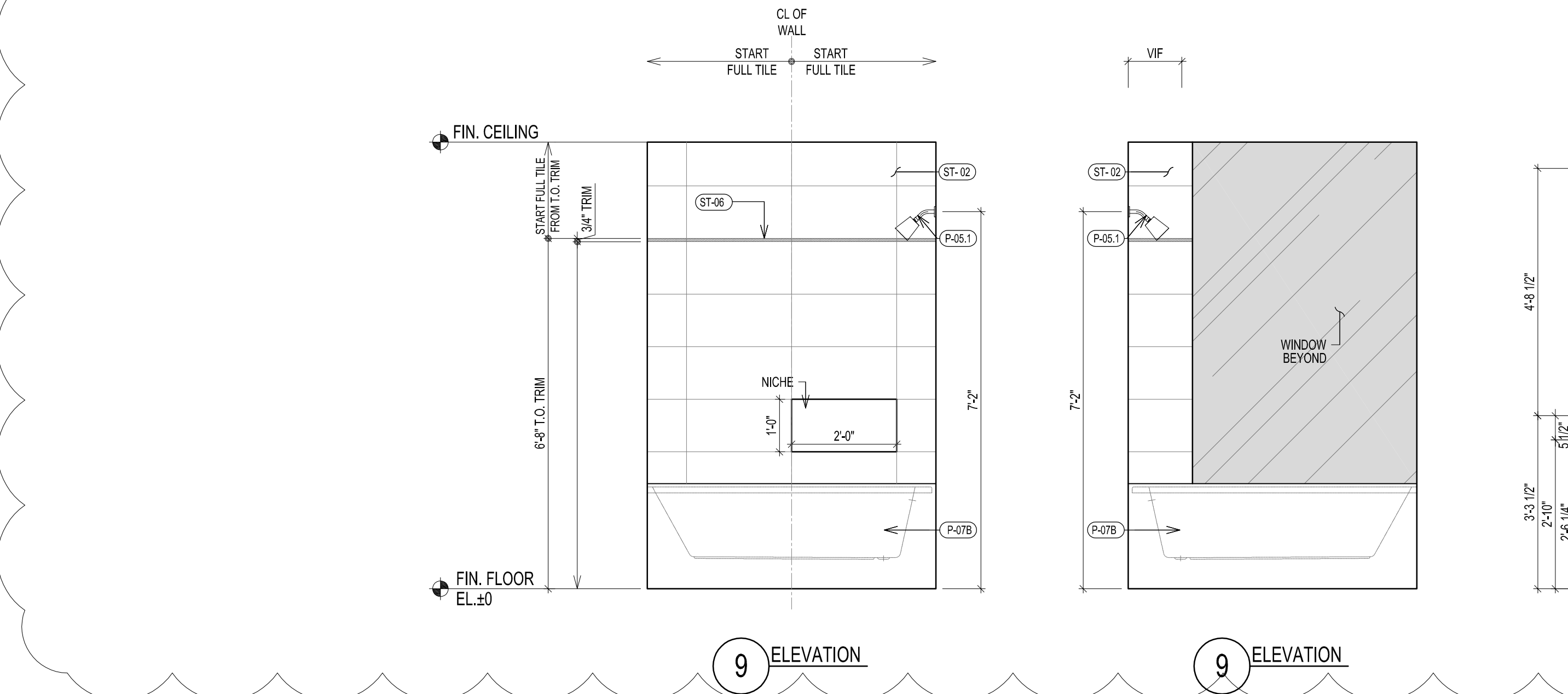
NOTE: ALL BATHROOM TO BE INSTALLED HEATING MAT UNDERNEATH FLOOR FINISH
UNLESS OTHERWISE INDICATED



TYPICAL BATHROOM TYPE B-4 PLAN, RCP & ELEVATIONS
SCALE 1/2" = 1'-0"

BATHROOM TYPE	FLOOR	UNIT	CEILING HT	REMARK	VANITY TYPE
B-6D	LV 40	UNIT B	8'-6"	-----	TYPE 1 32"
	LV 44	UNIT A	8'-6"		
B-6D-M	LV 42	UNIT B	8'-6"	TYPE B-6D MIRRORED PLAN	TYPE 1 32"
B-6E-M	LV 46	UNIT A	8'-6"	TYPE B-6E MIRRORED PLAN	TYPE 1 32"
B-6F-M	LV 47	UNIT A	8'-6"	TYPE B-6F MIRRORED PLAN	TYPE 1 32"

NOTE: ALL BATHROOM TO BE INSTALLED HEATING MAT UNDERNEATH FLOOR FINISH
UNLESS OTHERWISE INDICATED



TYPICAL BATHROOM TYPE B-6 PLAN, RCP & ELEVATIONS
SCALE 1/2" = 1'-0"

277
Fifth Avenue
NEW YORK, NY

OWNER:
VICTOR NOMAD LLC

CONSTRUCTION MANAGER:
LEND LEASE
200 PARK AVENUE, 9TH FLOOR
NEW YORK, NY 10166
TEL: 212 592 6700

ARCHITECT:
RAFAEL VINOLY ARCHITECTS PC
50 VANDAM STREET
NEW YORK, NY 10013
TEL: 212 924 5060 FAX: 212 924 5858

STRUCTURAL ENGINEER:
WSP PARSONS BRINCKERHOFF
ONE PENN PLAZA, 4TH FLOOR
NEW YORK, NY 10119
TEL: 212 687 9888

MEP/FP/IT ENGINEER:
MGE ENGINEERING
116 WEST 32ND STREET, 12TH FLOOR
NEW YORK, NY 10001
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GEOTECH CIVIL ENGINEER:
LANGAN ENGINEERING
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TEL: 973 994 9200

VERTICAL TRANSPORT CONSULTANT:
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SPECIFICATIONS CONSULTANT:
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589 EIGHTH AVENUE, 17TH FLOOR
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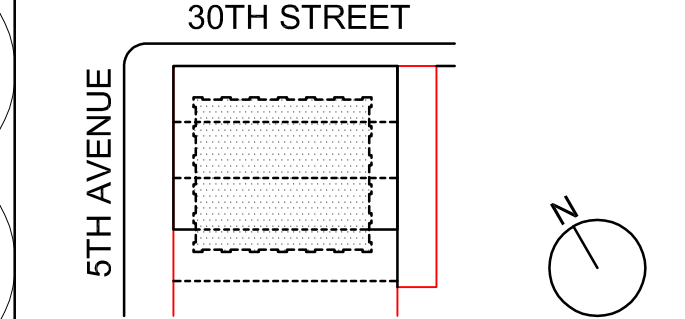
ENERGY MODELING CONSULTANT:
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09/08/2017 PAA #2
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ISSUE ISSUE
NO. DATE DESCRIPTION



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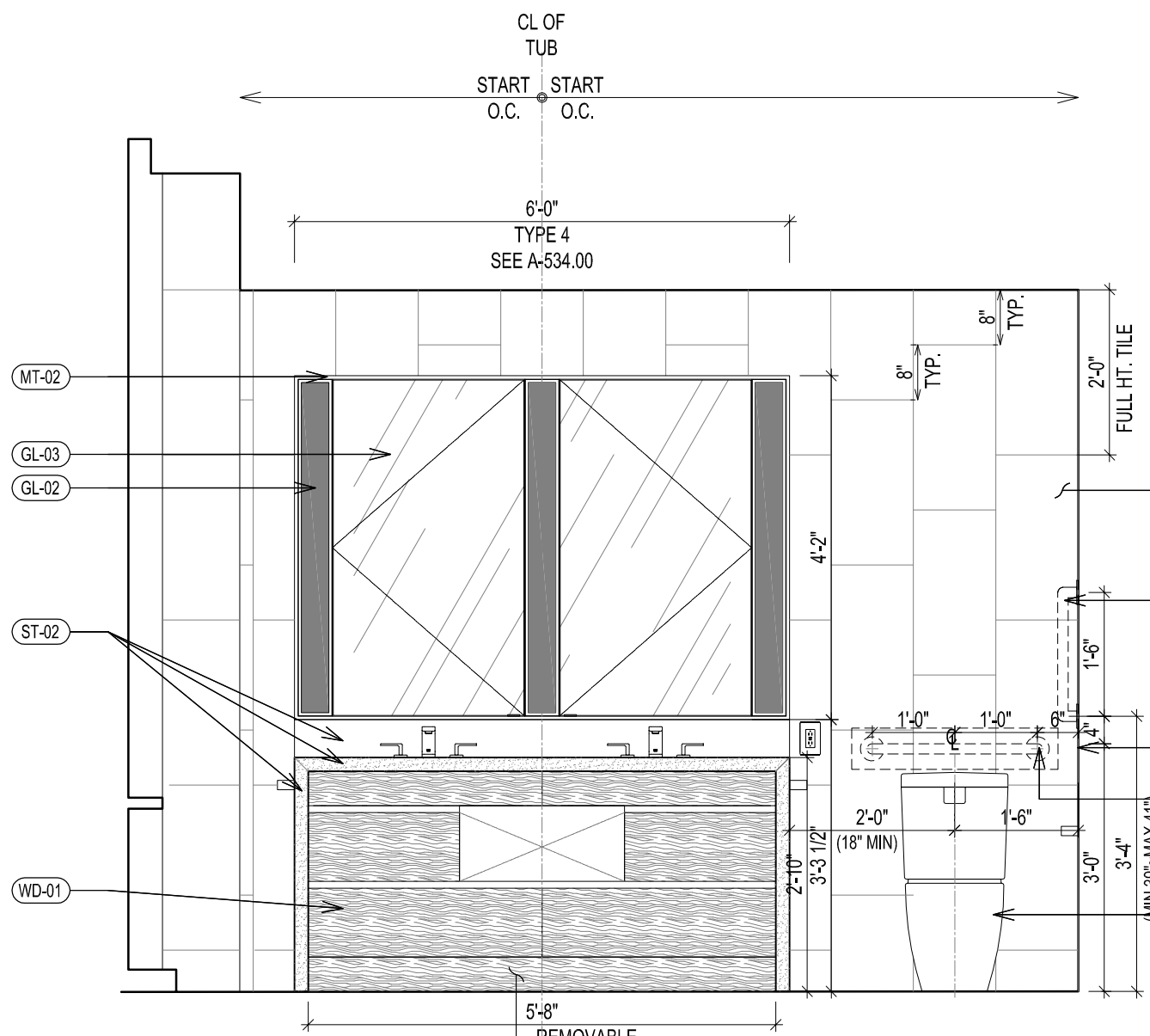
SCALE 1/2" = 1'-0"
TYPICAL BATHROOM
TYPES PLANS, RCPs &
ELEVATIONS
B-4, B-6
SHEET TITLE:
A-525.01
SHEET NUMBER:

2016 RAFAEL VINOLY ARCHITECTS

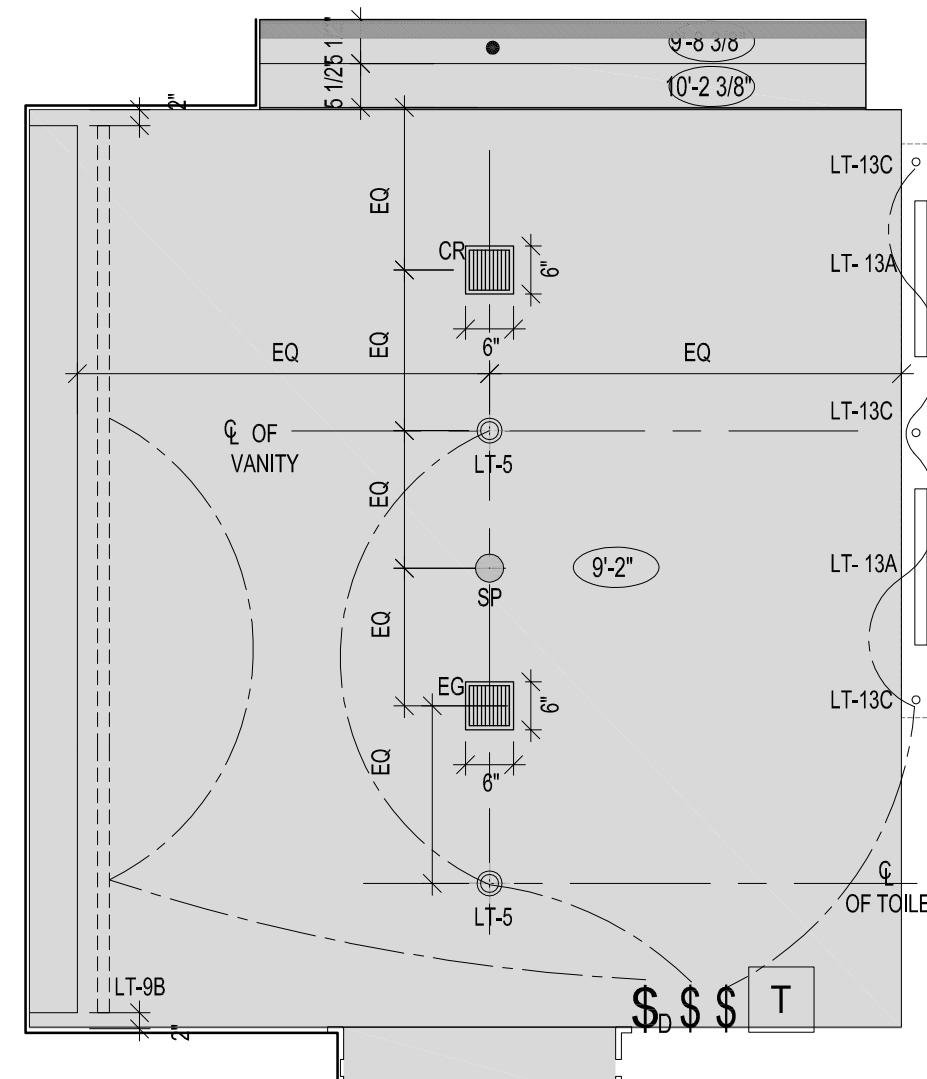
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2) ALL TYPE "A" AND "APPENDIX P" BATHROOM VANITY BASE CABINETS SHALL BE REMOVABLE IN ORDER TO COMPLY WITH ANSI A117.1.2009.
FINISH FLOOR SHALL CONTINUE UNDER CABINET AND COUNTER TOP SHALL BE @ 3/4" ABOVE FINISH FLOOR
3) SEE DRAWING A-709.00 FOR RESIDENTIAL PLUMBING SCHEDULE

BATHROOM TYPE	FLOOR	UNIT	CEILING HT	REMARK	VANITY TYPE
MB-1A	LV 7	UNIT A	9'-0"	NYC ADAPTABLE "APPENDIX-P" BATHROOM	TYPE 4 72"
MB-1B	LV 8-25	UNIT A	9'-2"	NYC ADAPTABLE "APPENDIX-P" BATHROOM	TYPE 4 72"
MB-1C	LV 28-35	UNIT C	8'-6"	NYC ADAPTABLE "APPENDIX-P" BATHROOM	TYPE 4 72"
MB-1D	LV 36-39	UNIT A	8'-6"	NYC ADAPTABLE "APPENDIX-P" BATHROOM	TYPE 4 72"
MB-1F	LV 36-39	UNIT C	8'-6"	NYC ADAPTABLE "APPENDIX-P" BATHROOM	TYPE 4 72"

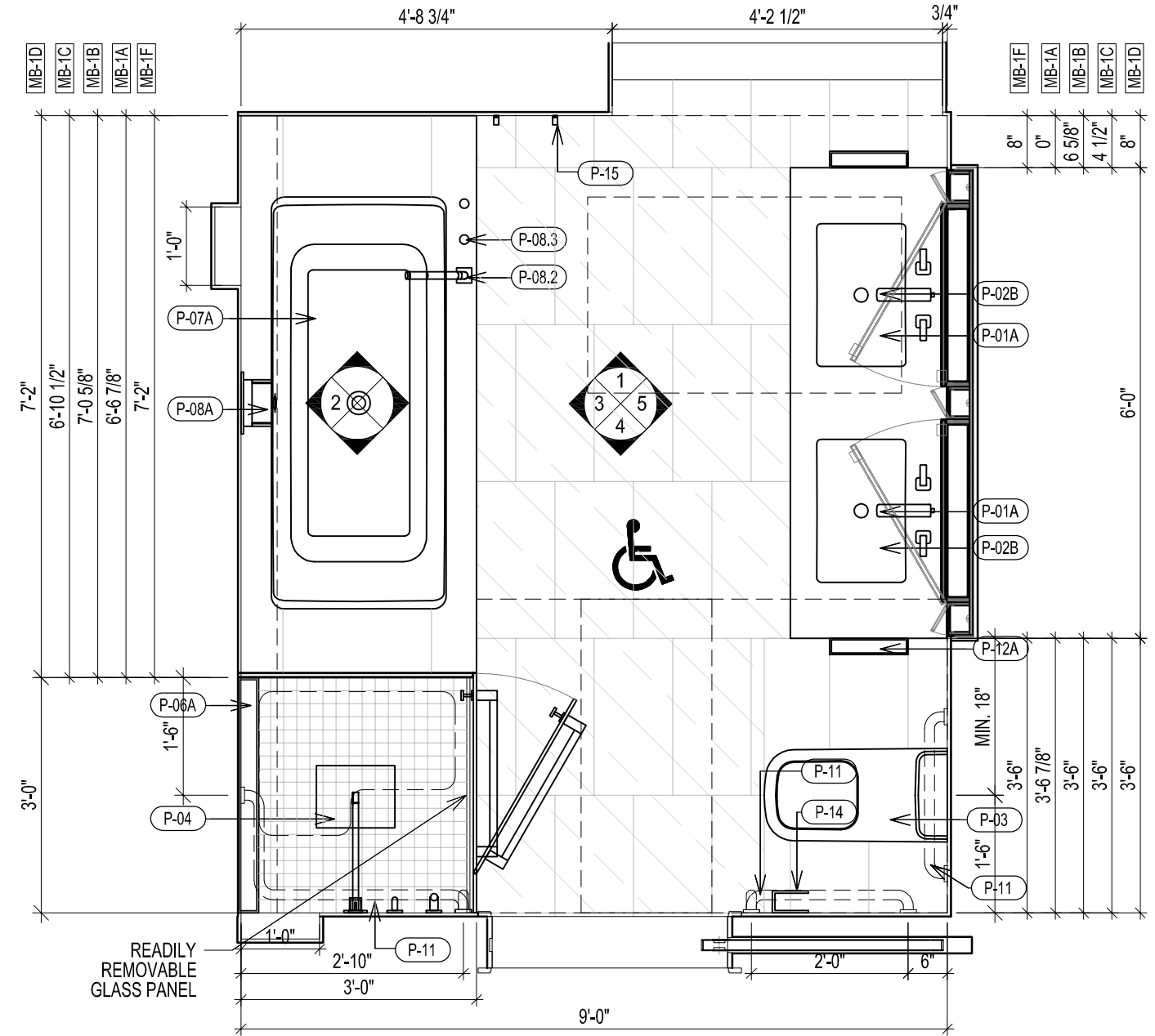
NOTE: ALL BATHROOM TO BE INSTALLED HEATING MAT UNDERNEATH FLOOR FINISH
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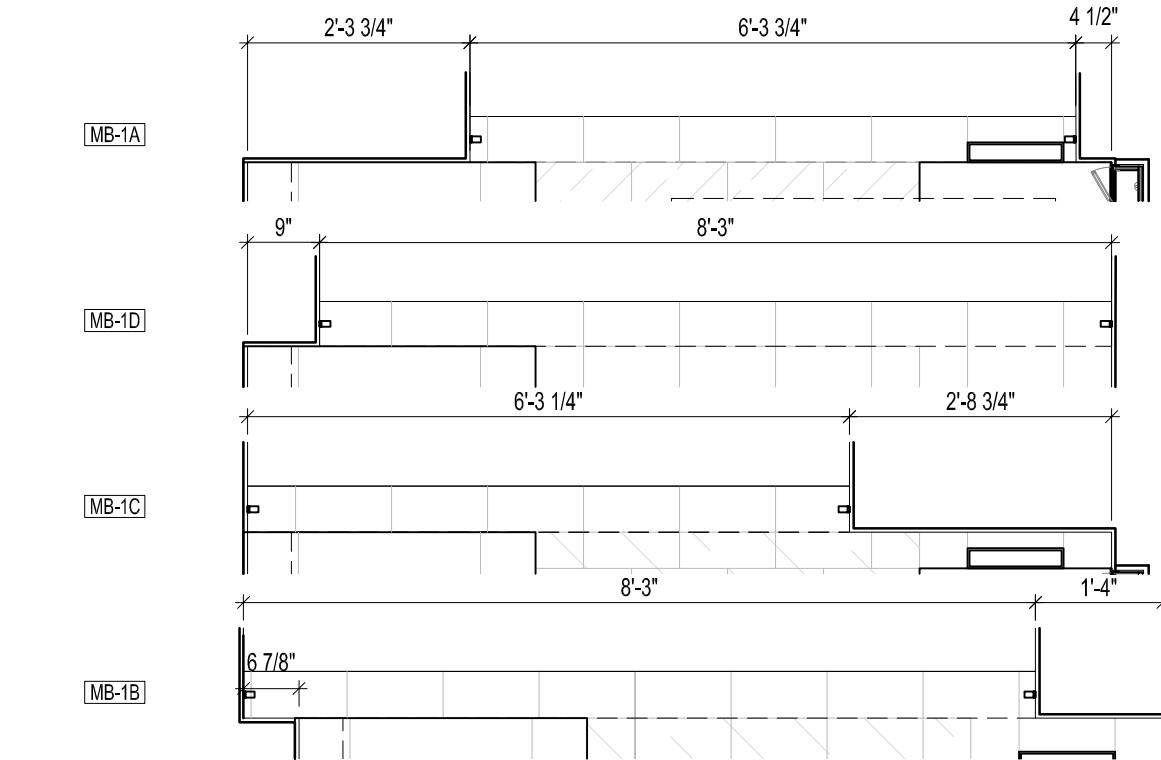
5 ELEVATION



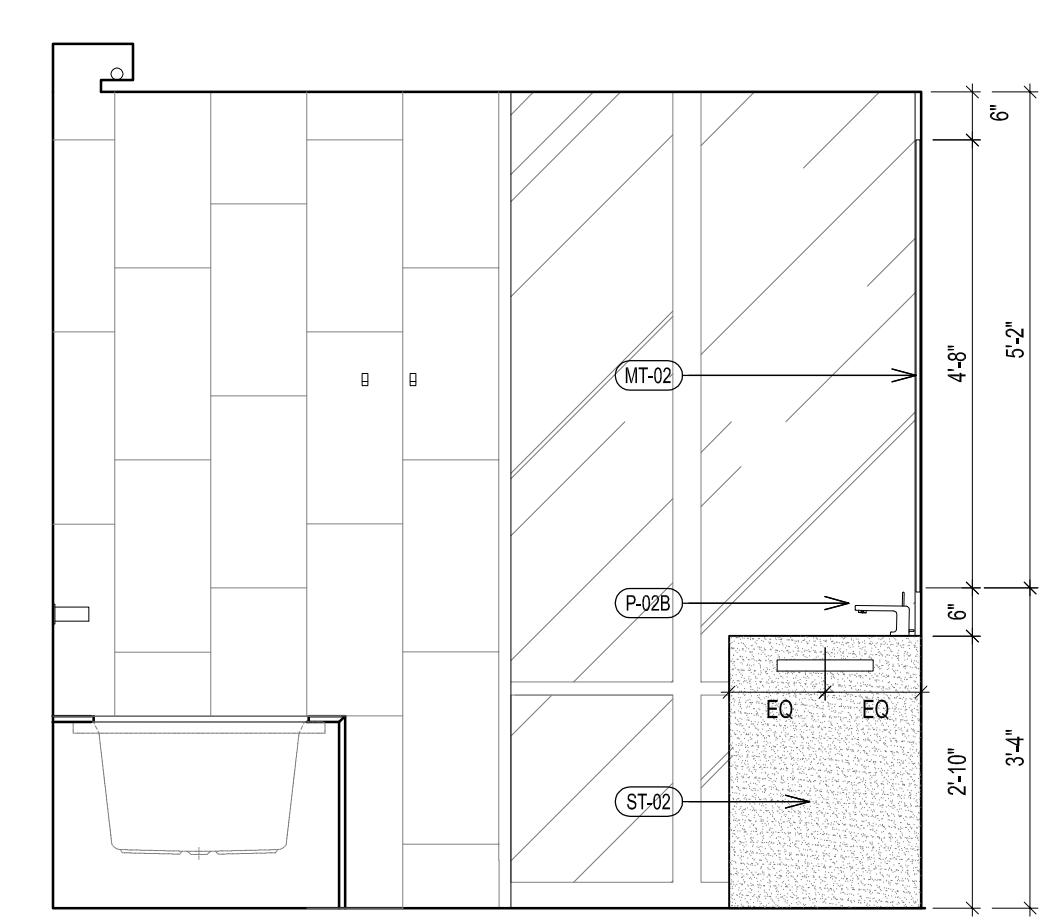
B TYPE MB-1 RCP



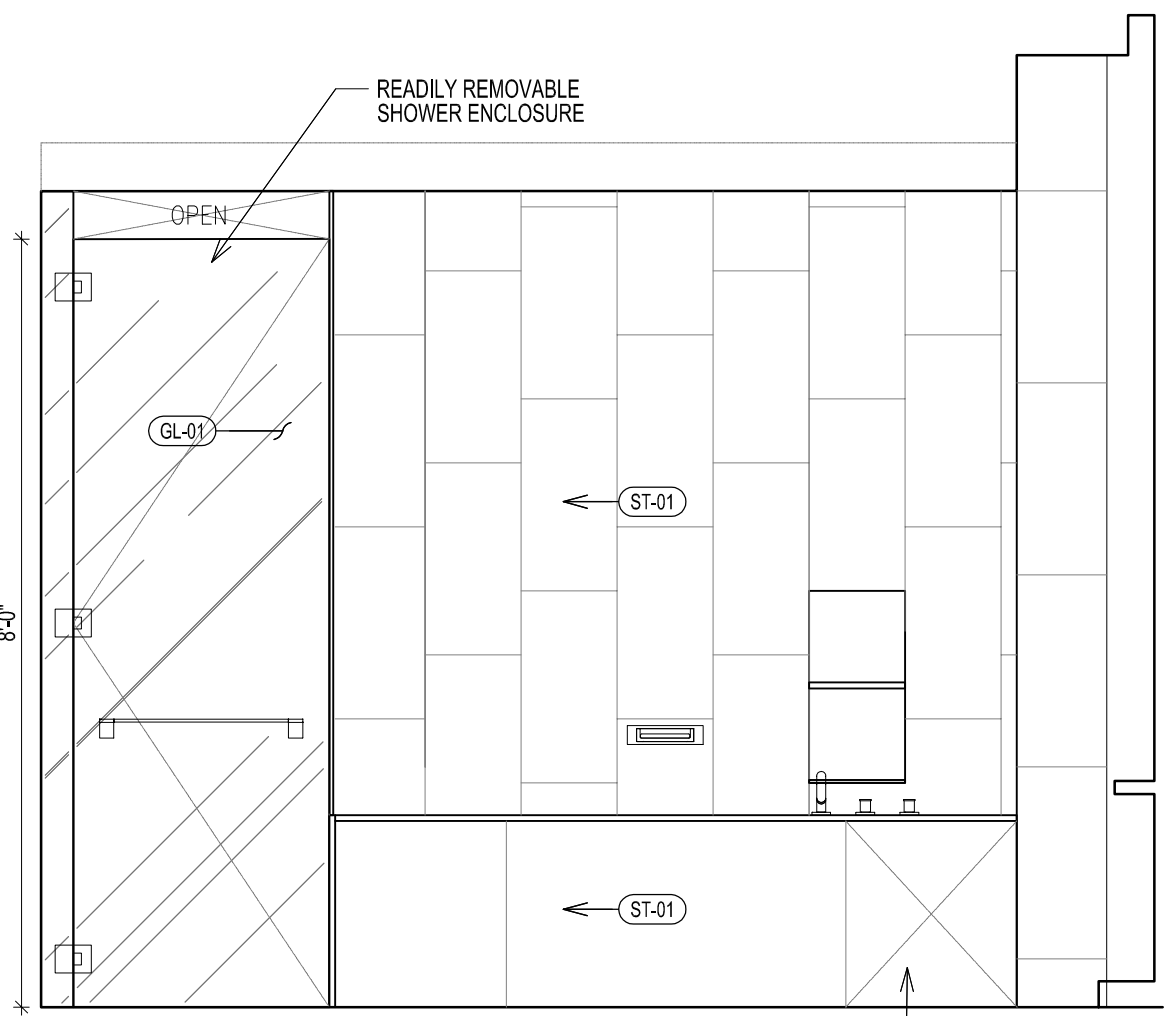
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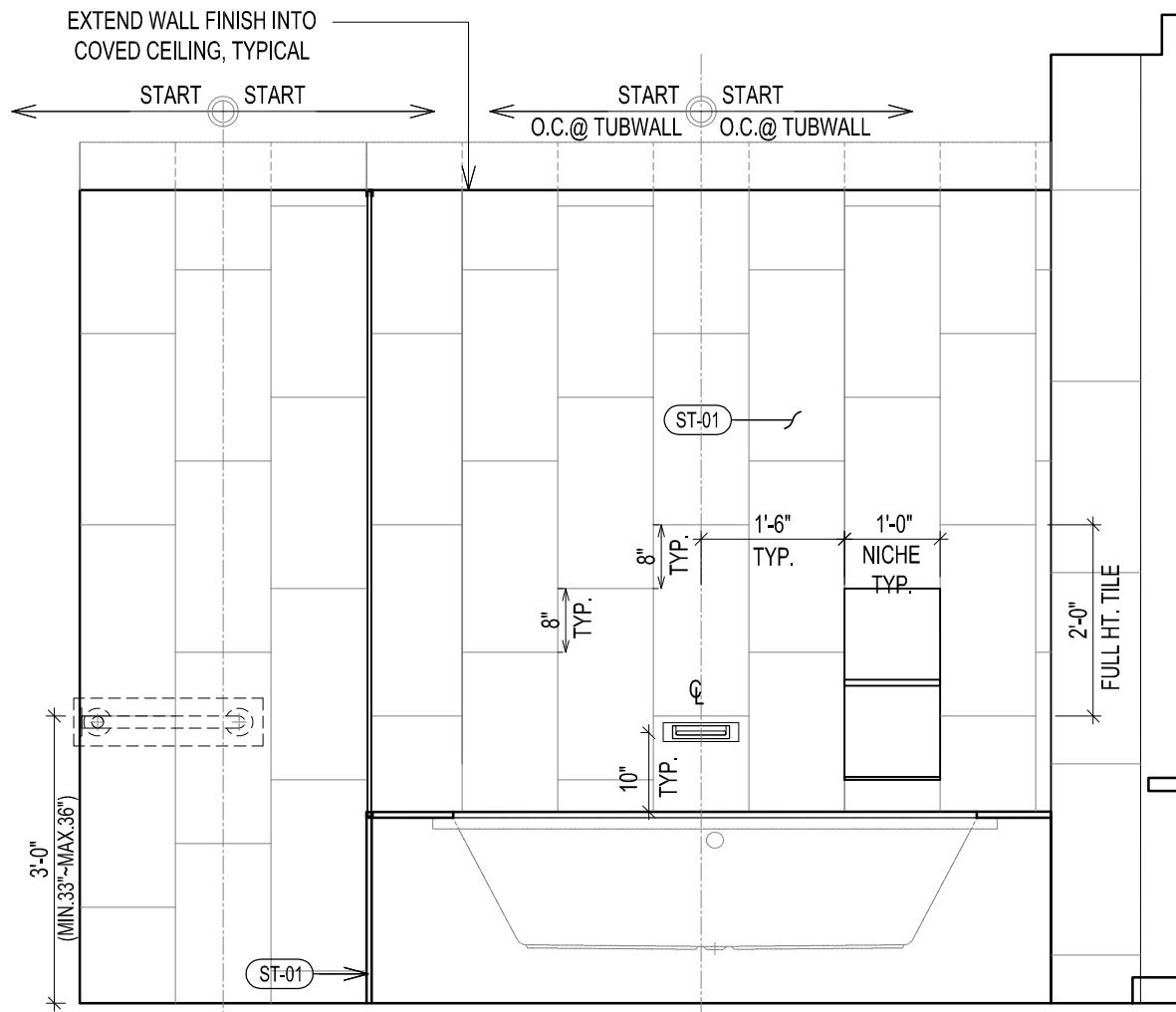
C TYPICAL BATHROOM TYPE MB-1 PLAN, RCP & ELEVATIONS
SCALE 1/2" = 1'-0"



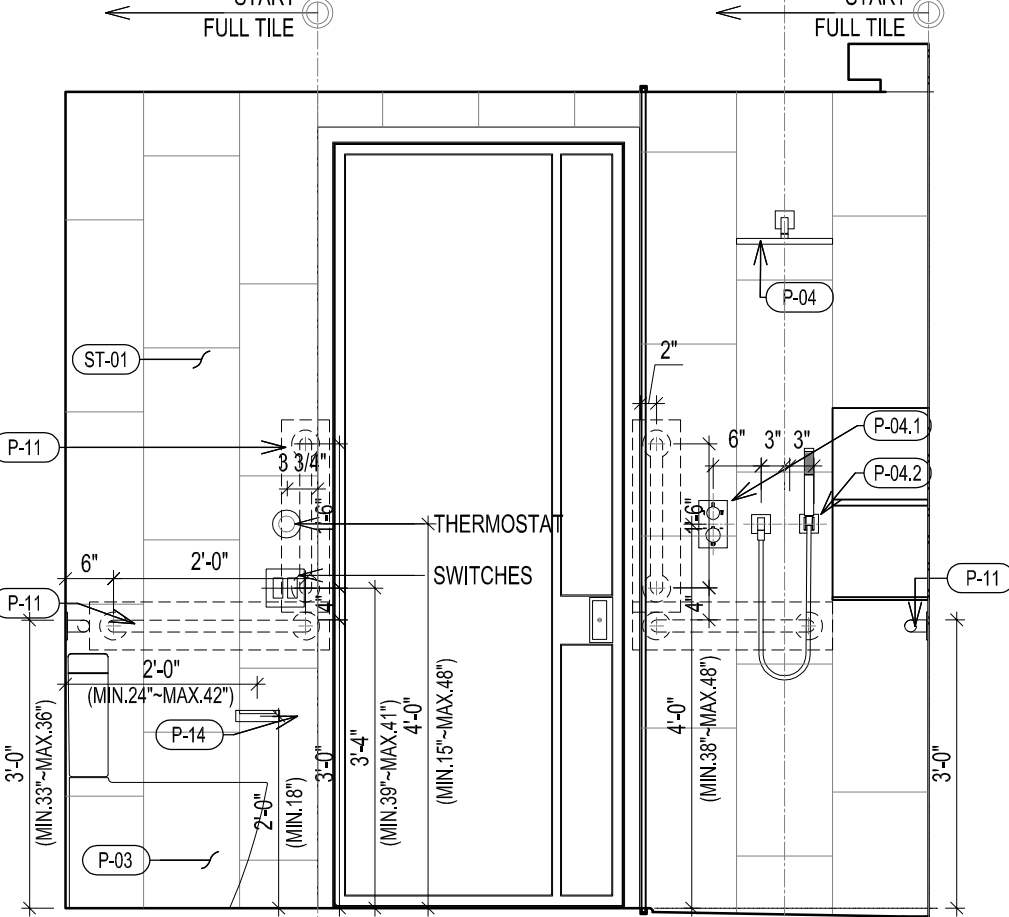
4 ELEVATION



3 ELEVATION



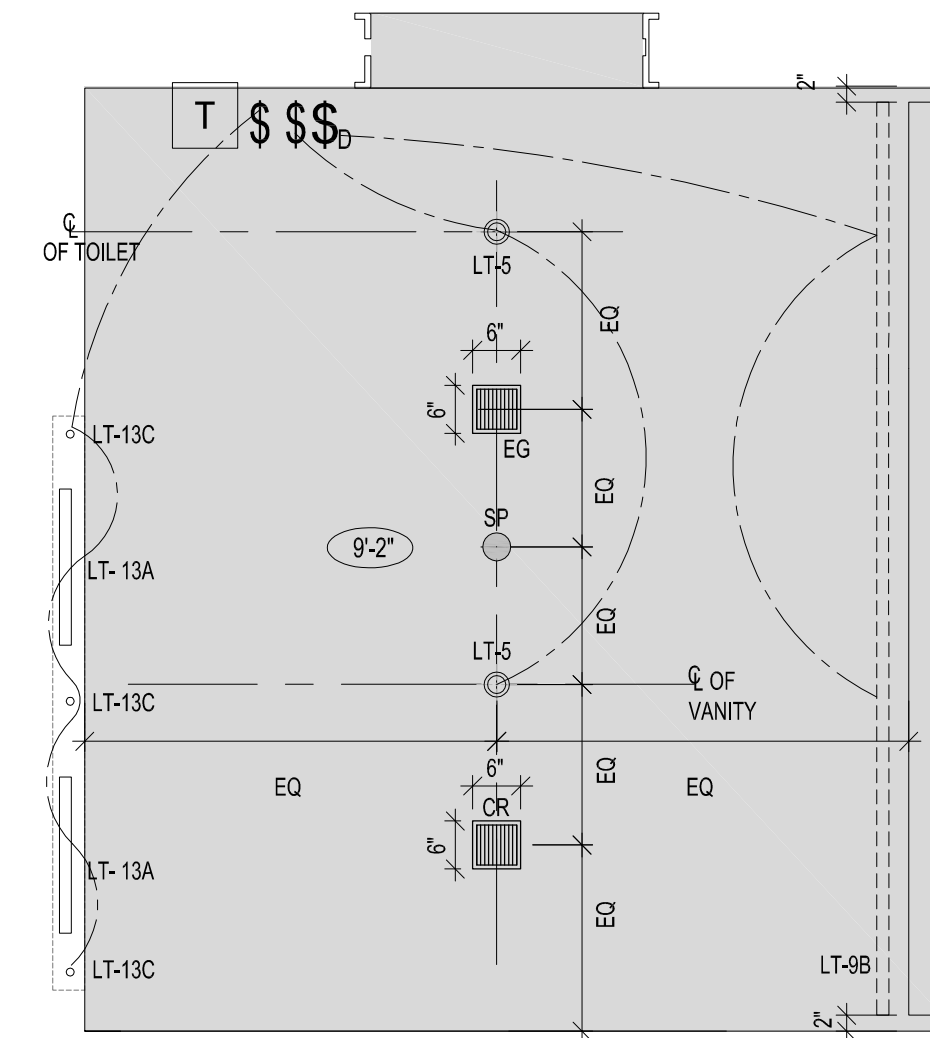
2 ELEVATION



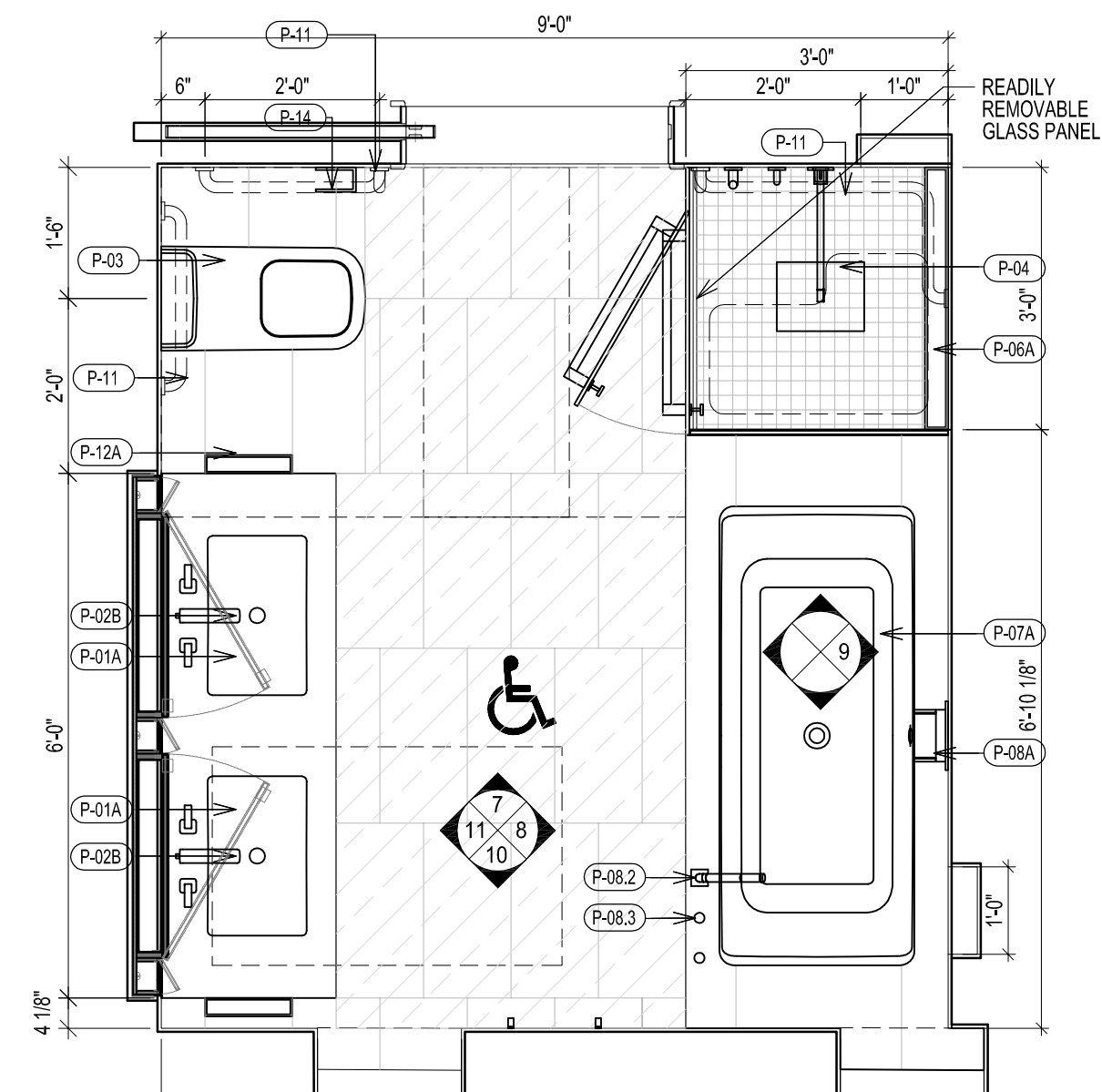
1 ELEVATION

BATHROOM TYPE	FLOOR	UNIT	CEILING HT	REMARK	VANITY TYPE
MB-2B	LV 8-25	UNIT D	9'-2"	NYC ADAPTABLE "APPENDIX-P" BATHROOM	TYPE 4 72"

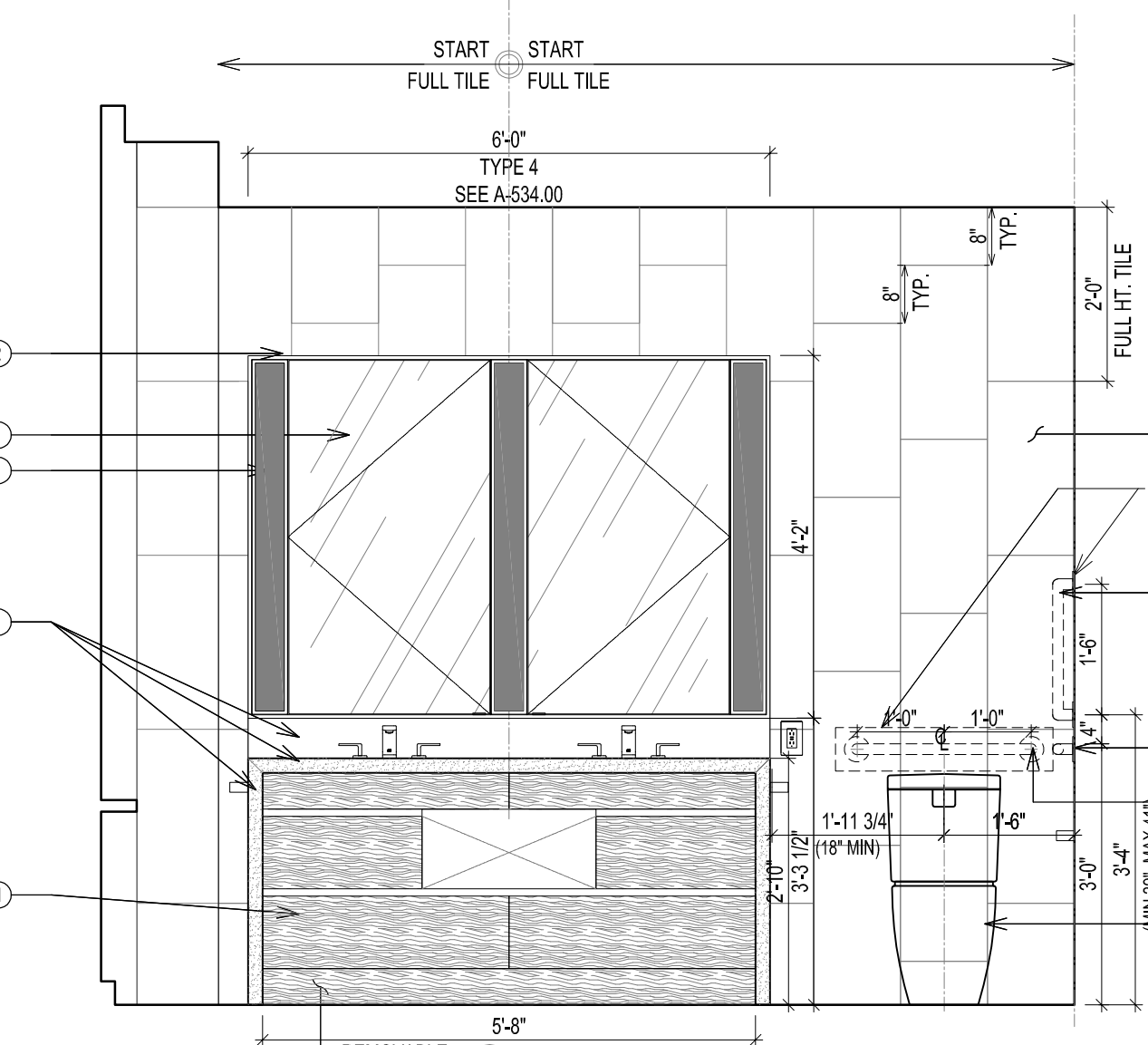
NOTE: ALL BATHROOM TO BE INSTALLED HEATING MAT UNDERNEATH FLOOR FINISH
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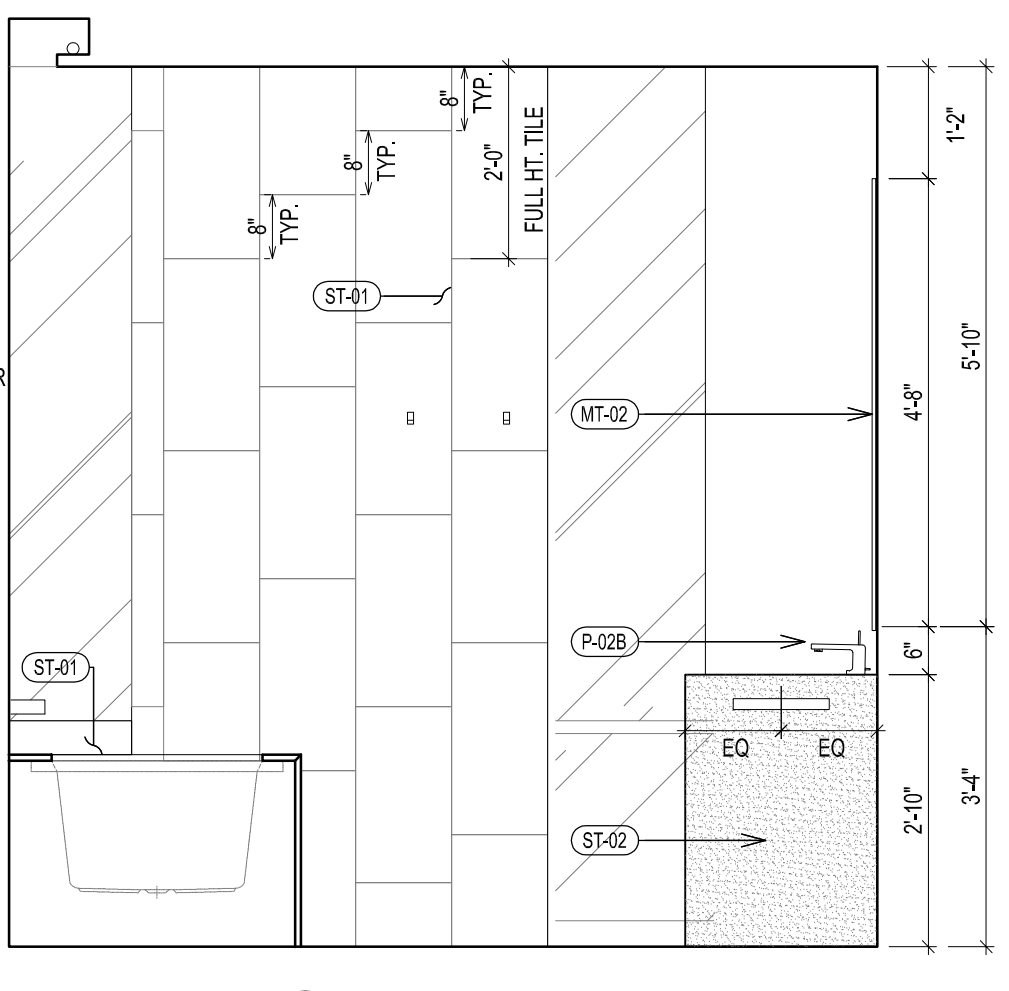
E TYPE MB-2 RCP



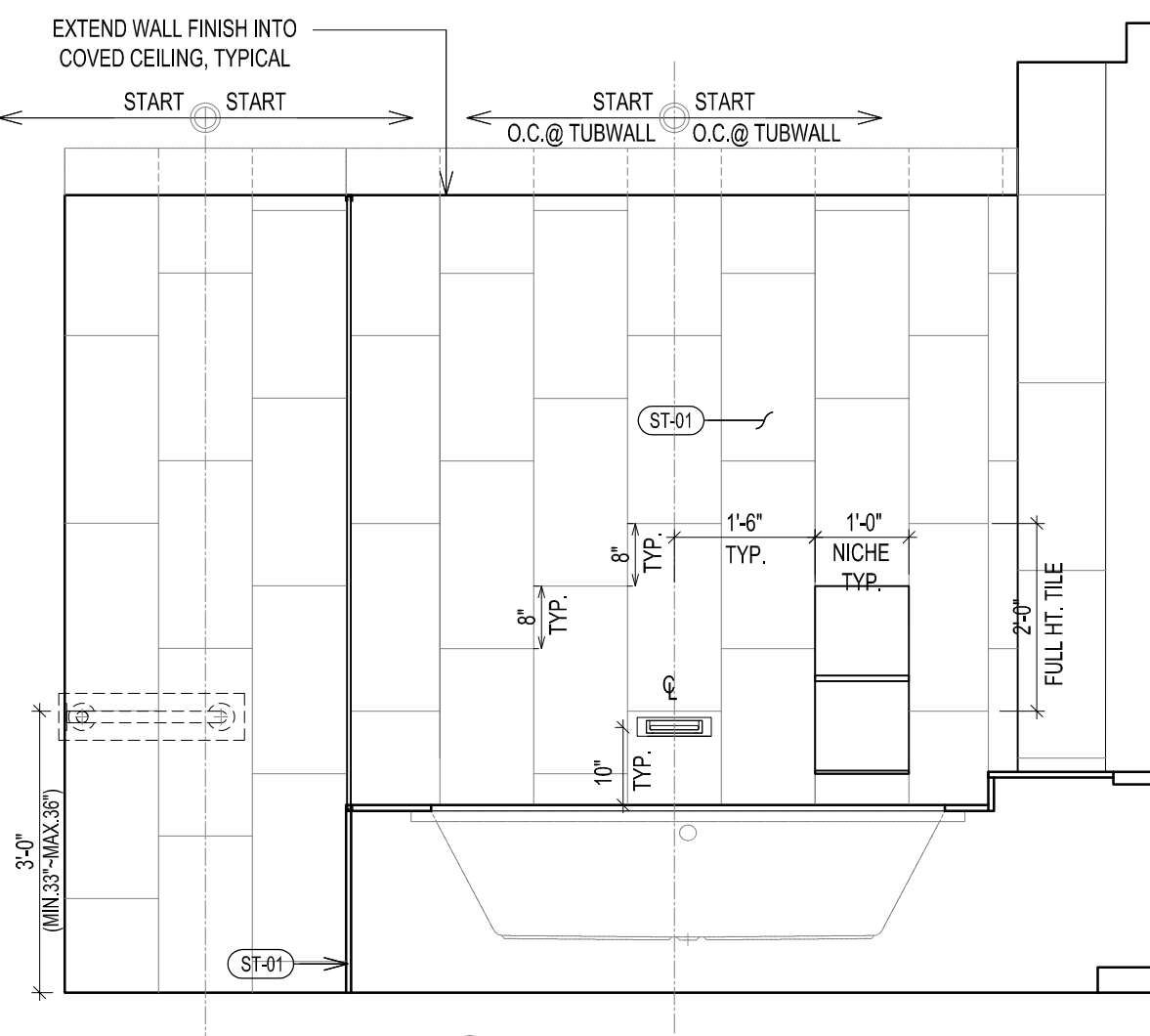
D TYPE MB-2 FLOOR PLAN



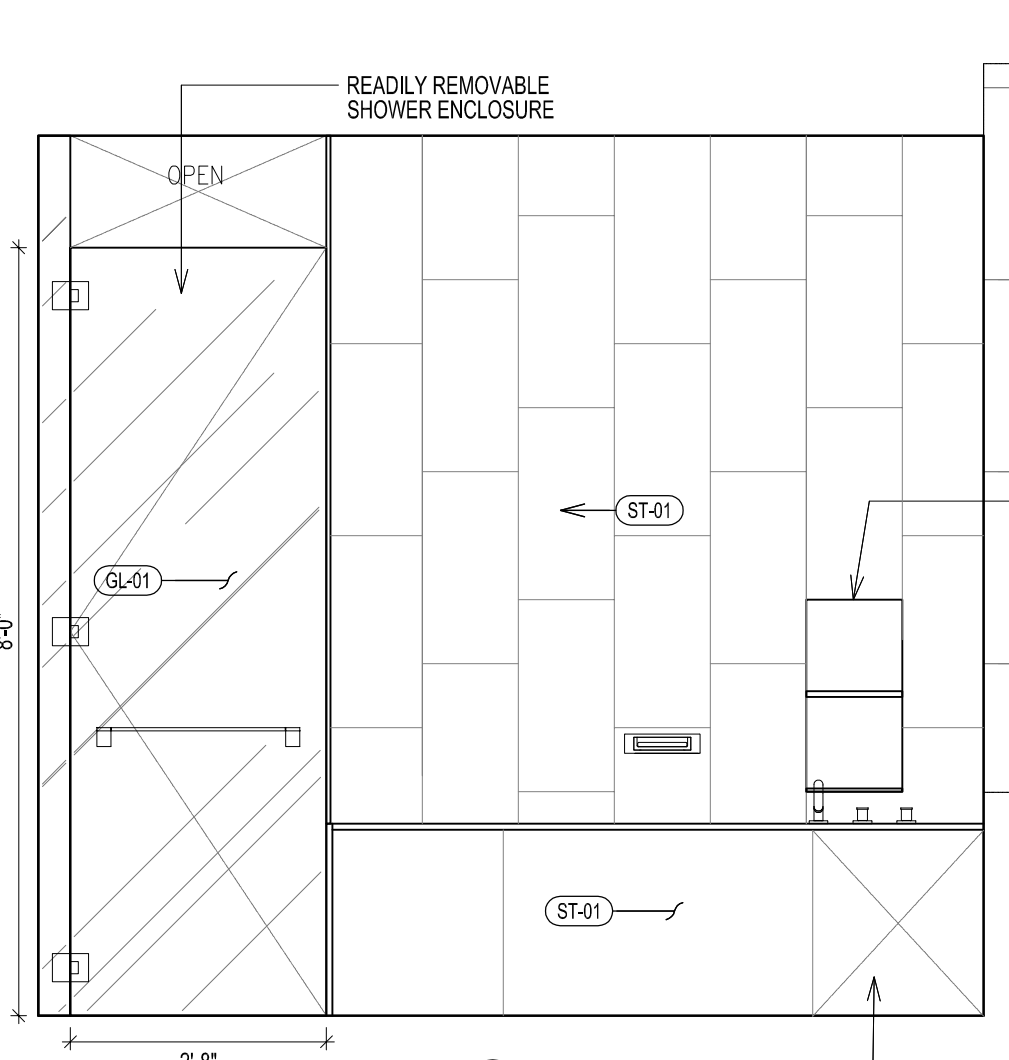
11 ELEVATION



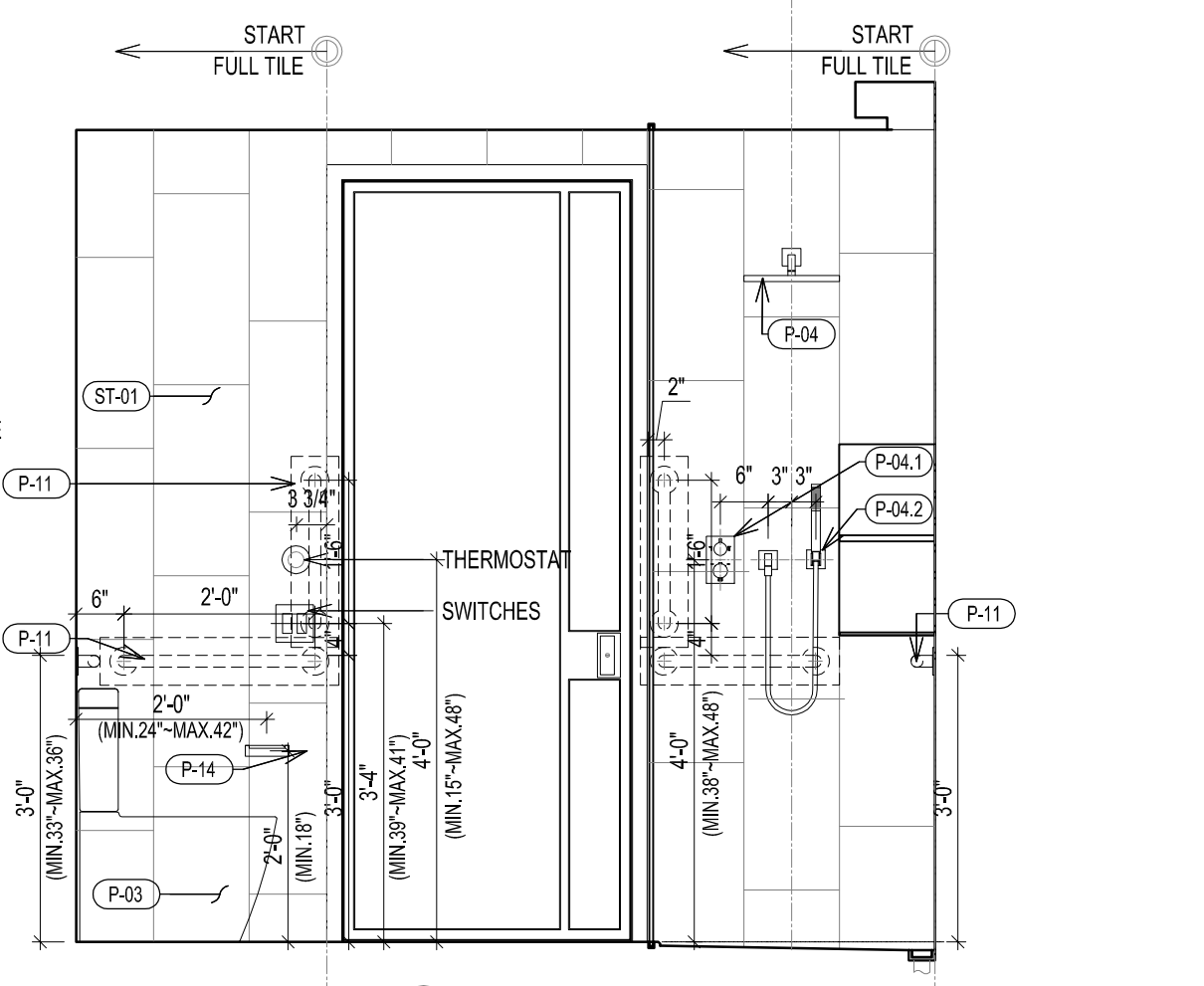
10 ELEVATION



9 ELEVATION



8 ELEVATION



7 ELEVATION

F TYPICAL BATHROOM TYPE MB-2 PLAN, RCP & ELEVATIONS
SCALE 1/2" = 1'-0"

277
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NEW YORK, NY

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VICTOR NOMAD LLC

CONSTRUCTION MANAGER:
LEND LEASE
200 PARK AVENUE, 9TH FLOOR
NEW YORK, NY 10166
TEL: 212 592 6700

ARCHITECT:
RAFAEL VINOLY ARCHITECTS PC
50 VANDAM STREET
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TEL: 212 924 5060 FAX: 212 924 5858

STRUCTURAL ENGINEER:
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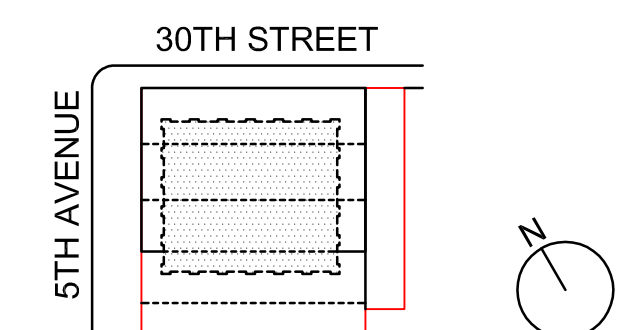
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NYC DEPT. OF BUILDINGS
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ARCHITECT'S SEAL
Areg Asatryan, RA
U. [Signature]
APPROVED
Under Directive 2 of 1995
ADMINISTRATIVE APPLICATION
Date: 04/19/2018
NYC Development Hub

09/08/2017 PAA #2
02/24/2017 PAA #1
ISSUE DATE
NO. DESCRIPTION



KEY PLAN AND NORTH SIGN
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REFER TO GRAPHIC SCALE

SCALE 1/2" = 1'-0"

TYPICAL BATHROOM
TYPES PLANS, RCPs &
ELEVATIONS

MB-1, MB-2

SHEET TITLE:

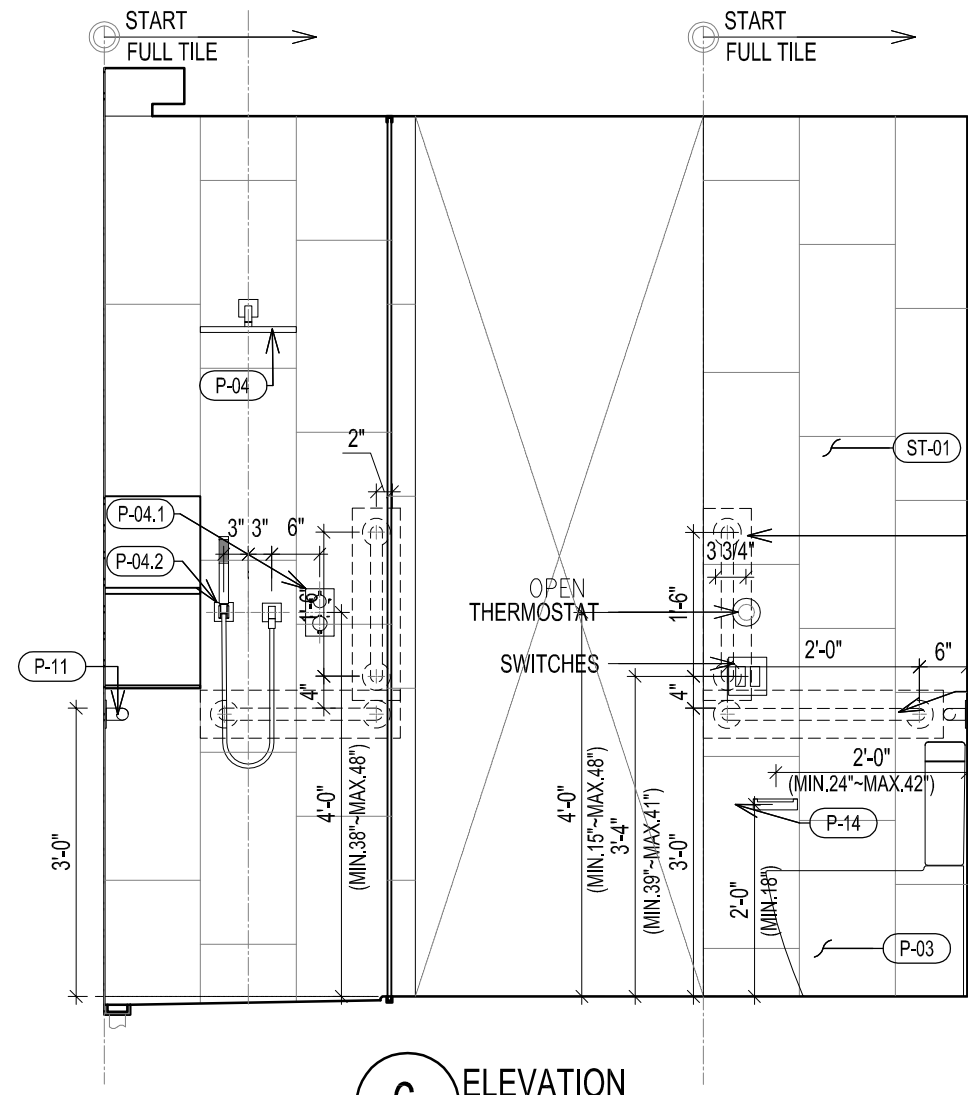
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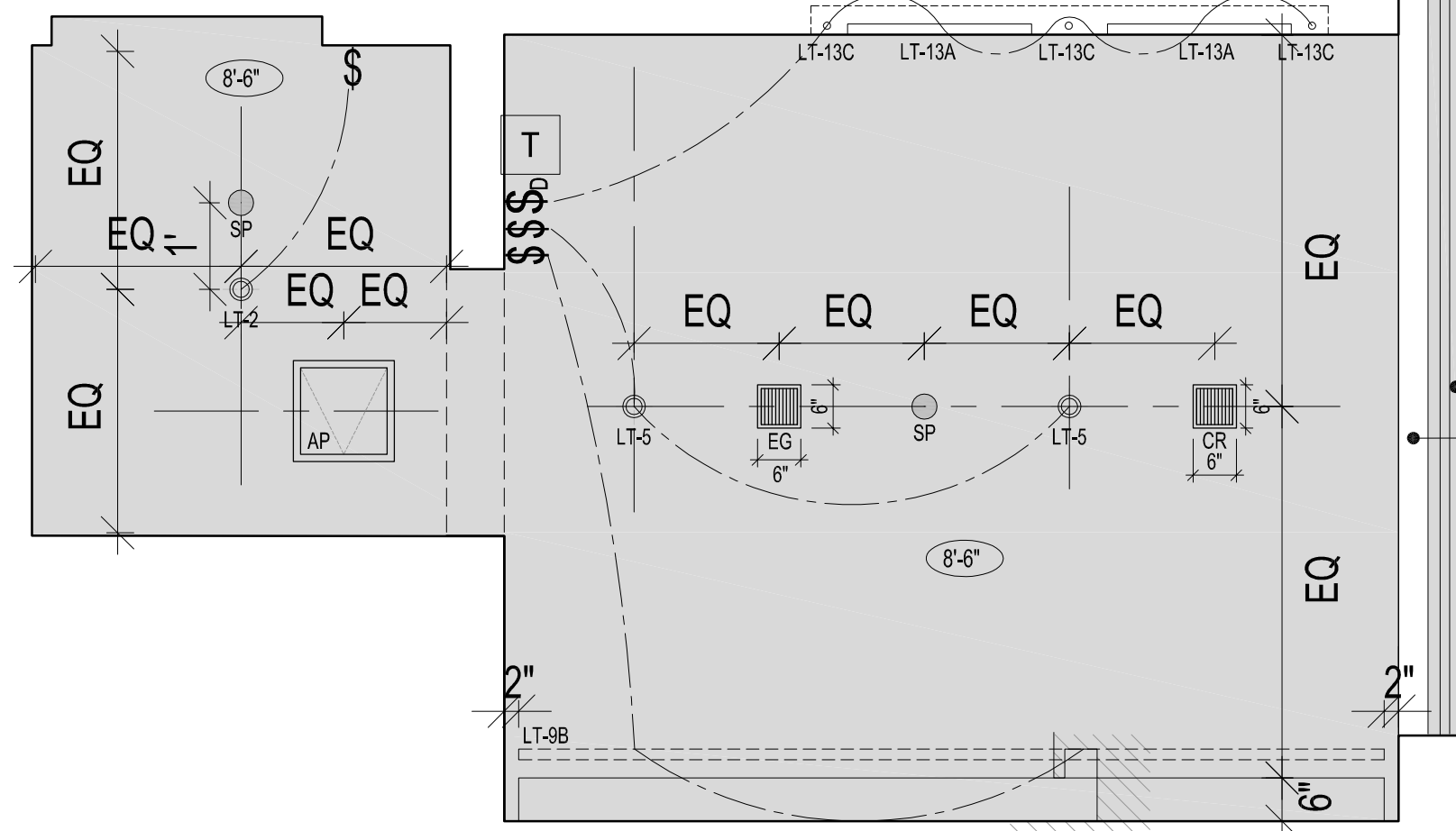
TYPICAL ADA NOTES
 1) ALL DIMENSIONS SHOULD BE VERIFIED IN FIELD CONDITION
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 FINISH FLOOR SHALL CONTINUE UNDER CABINET AND COUNTER TOP SHALL BE @ 3/4" ABOVE FINISH FLOOR
 3) SEE DRAWING A-709.00 FOR RESIDENTIAL PLUMBING SCHEDULE

BATHROOM TYPE	FLOOR	UNIT	CEILING HT.	REMARK	VANITY TYPE
MB-3A	LV 28-35	UNIT B	9'-2"	NYC ADAPTABLE "APPENDIX-P" BATHROOM	TYPE 4 72"

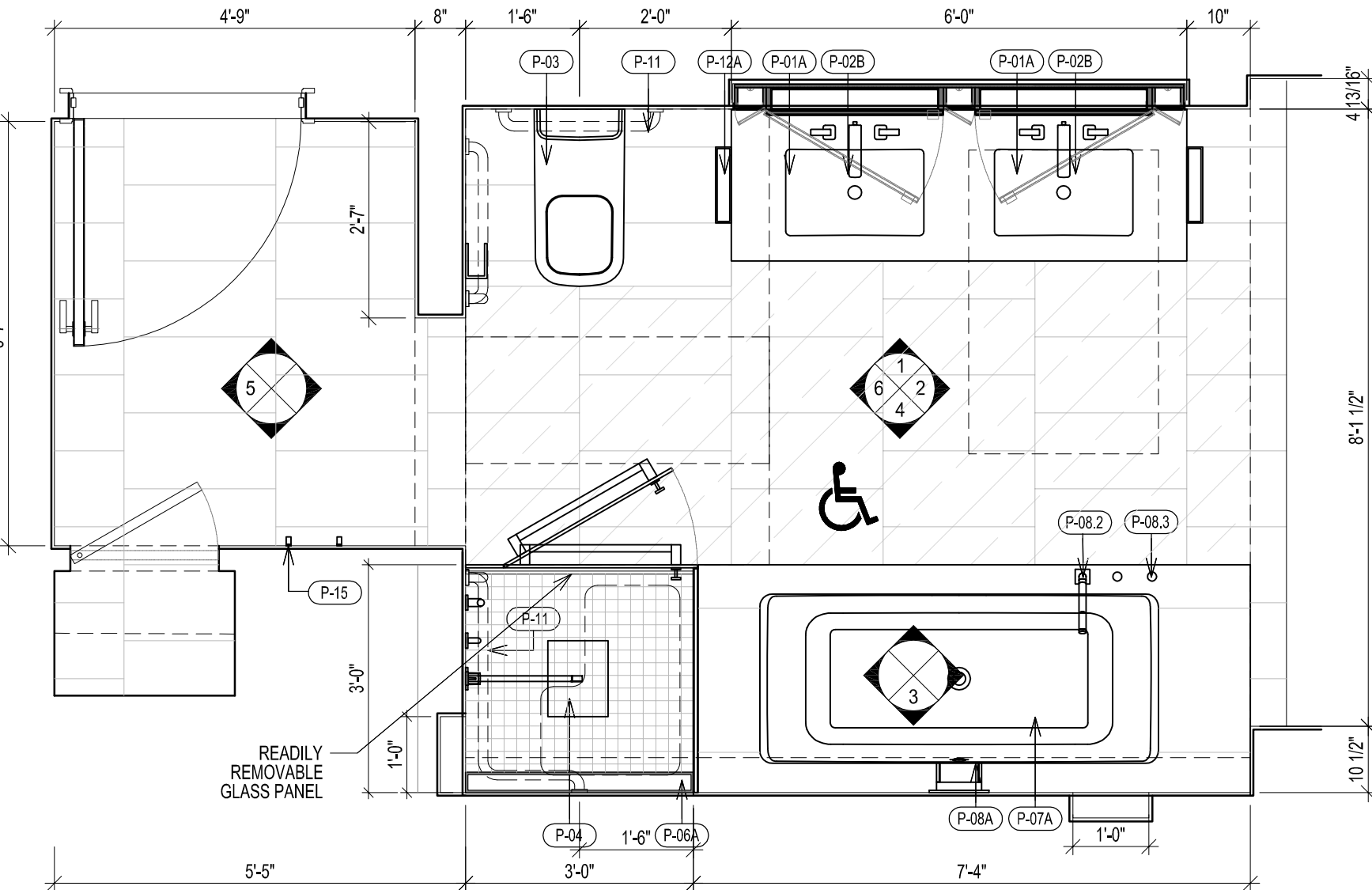
NOTE: ALL BATHROOM TO BE INSTALLED HEATING MAT UNDERNEATH FLOOR FINISH
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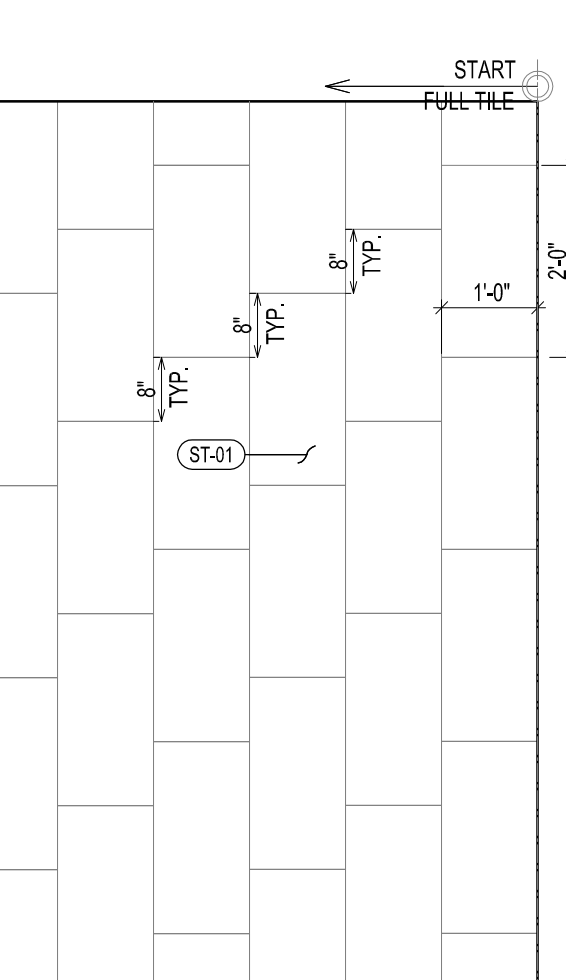
6 ELEVATION



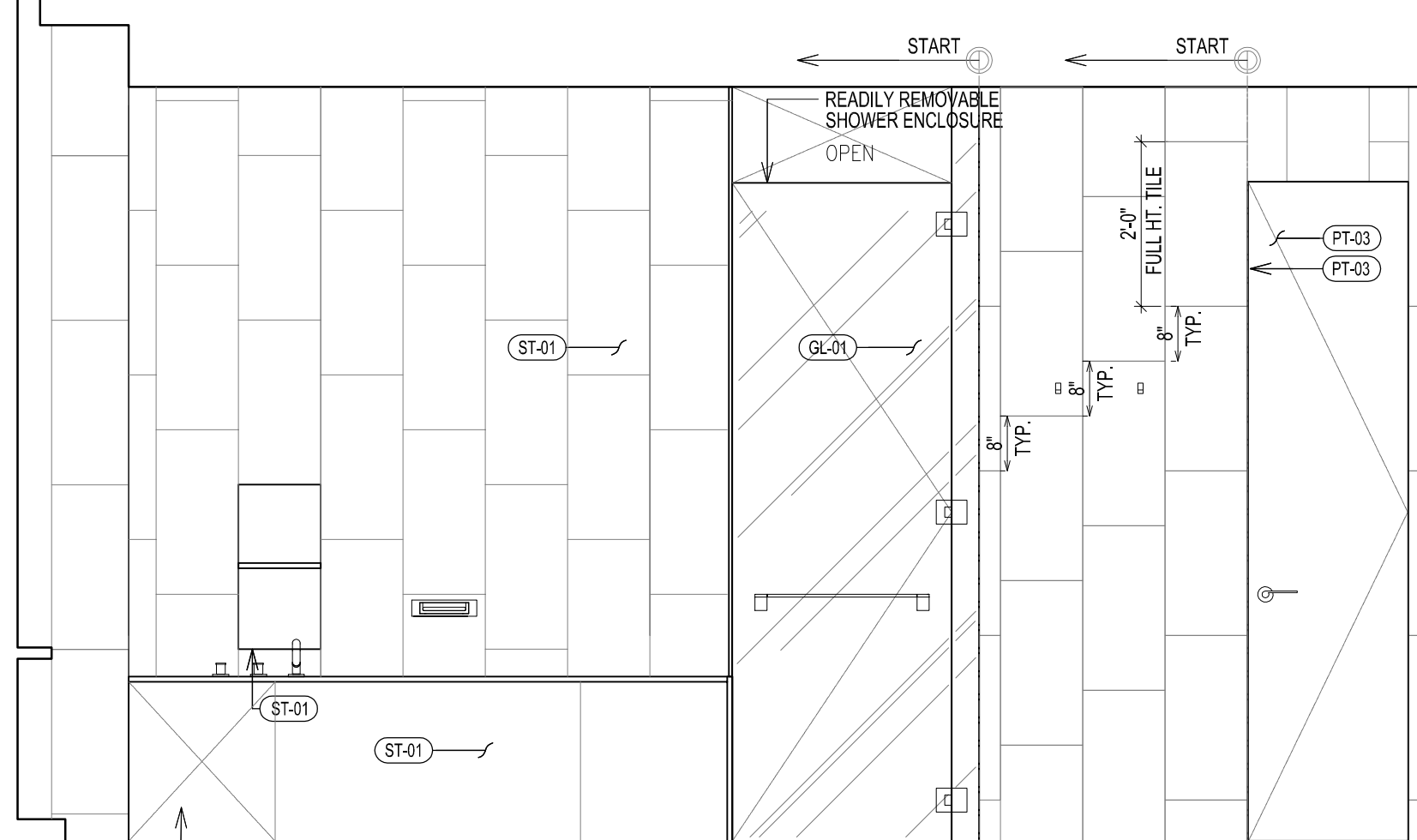
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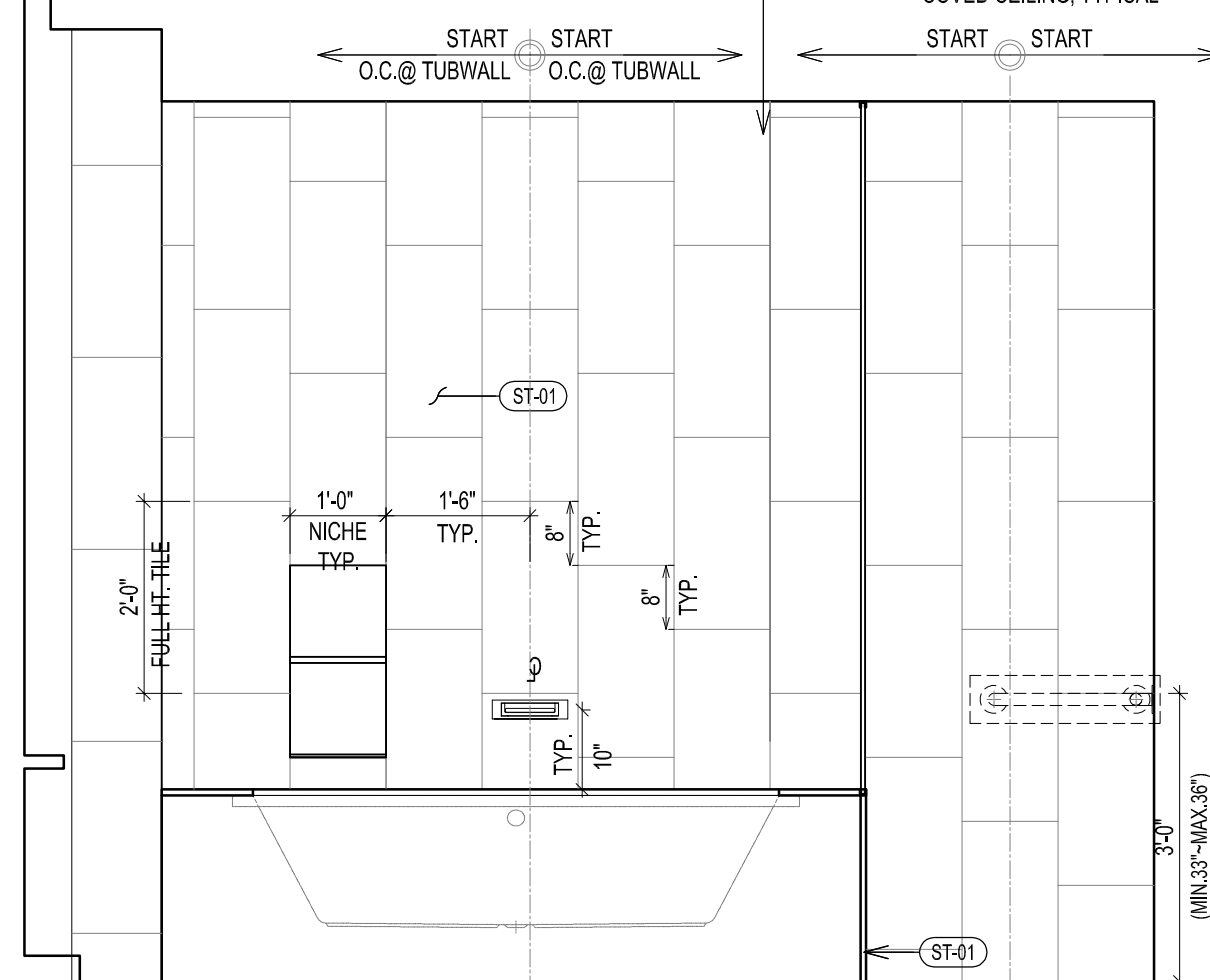
A TYPE MB-3 FLOOR PLAN



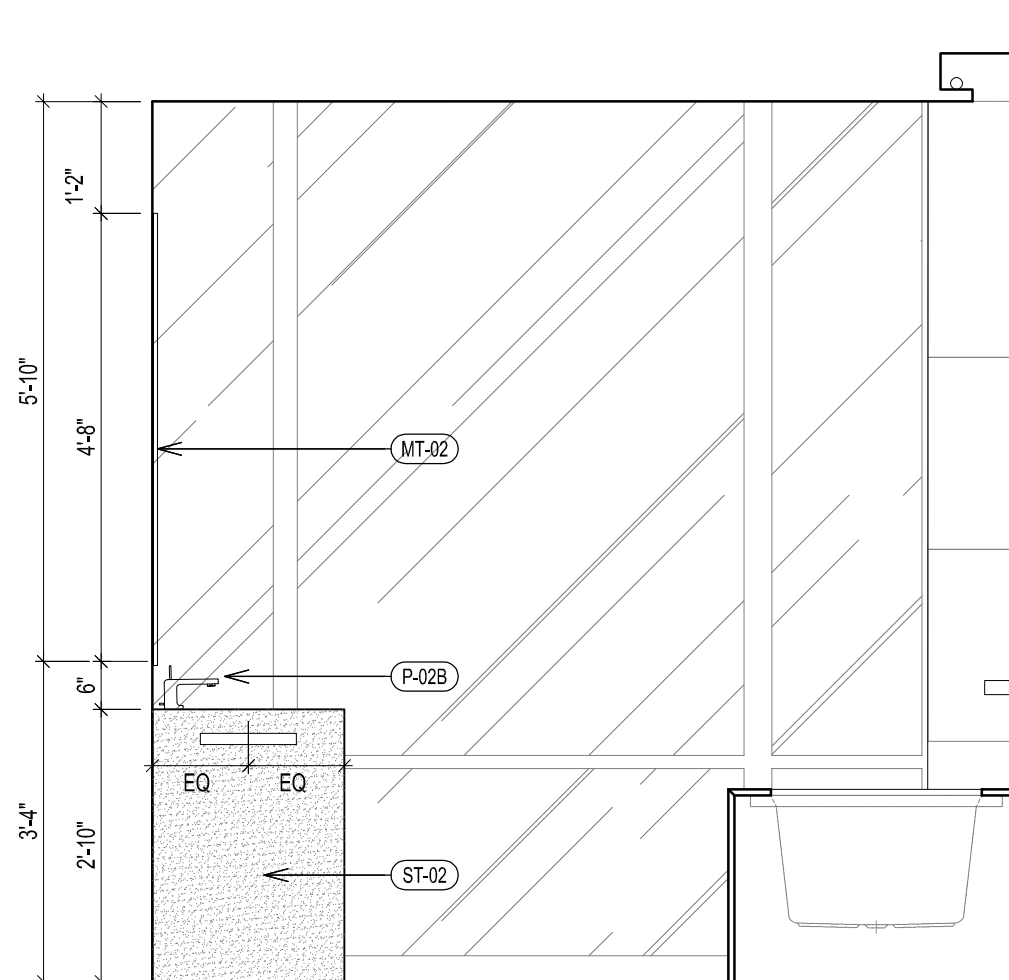
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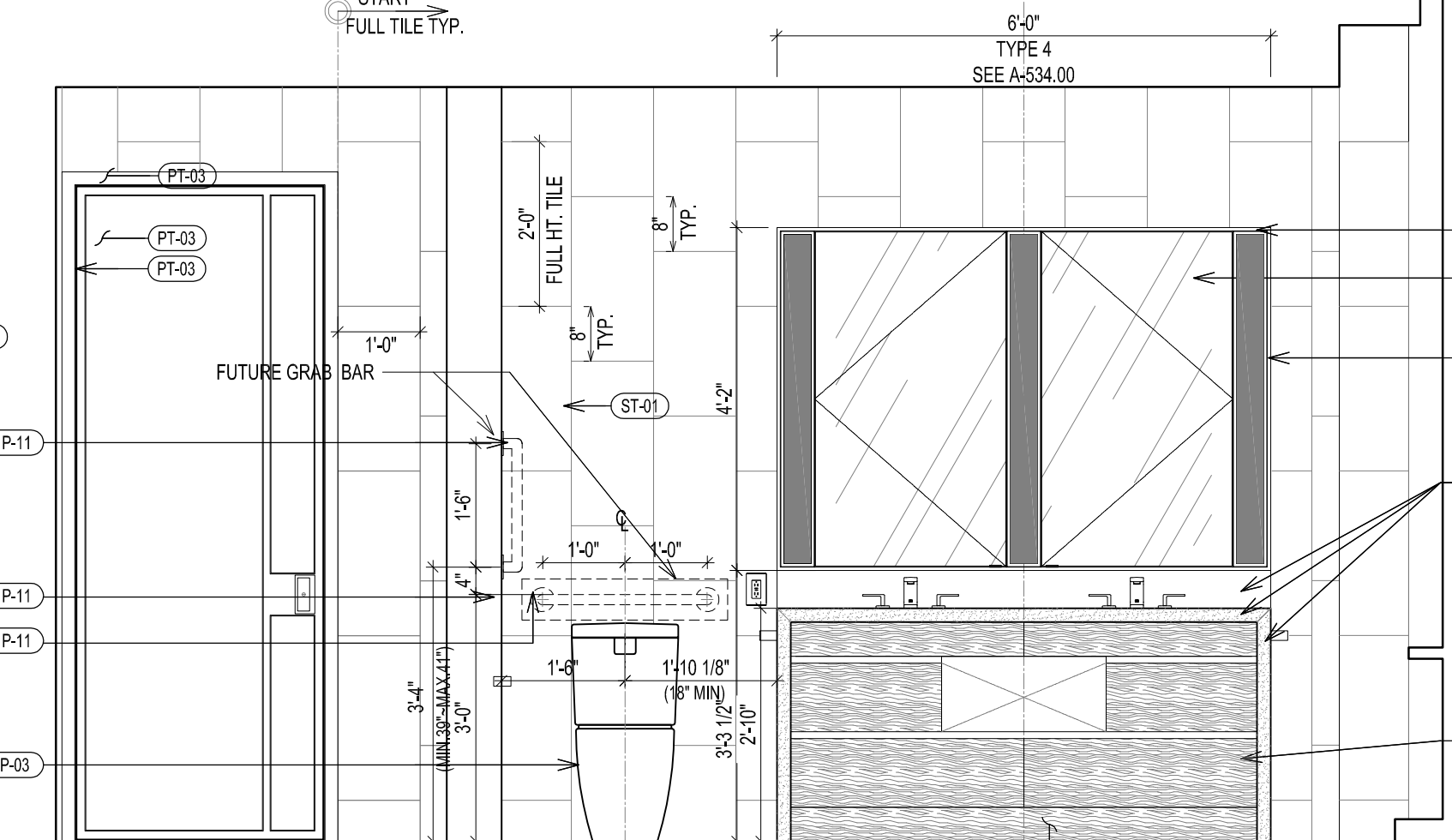
4 ELEVATION



3 ELEVATION



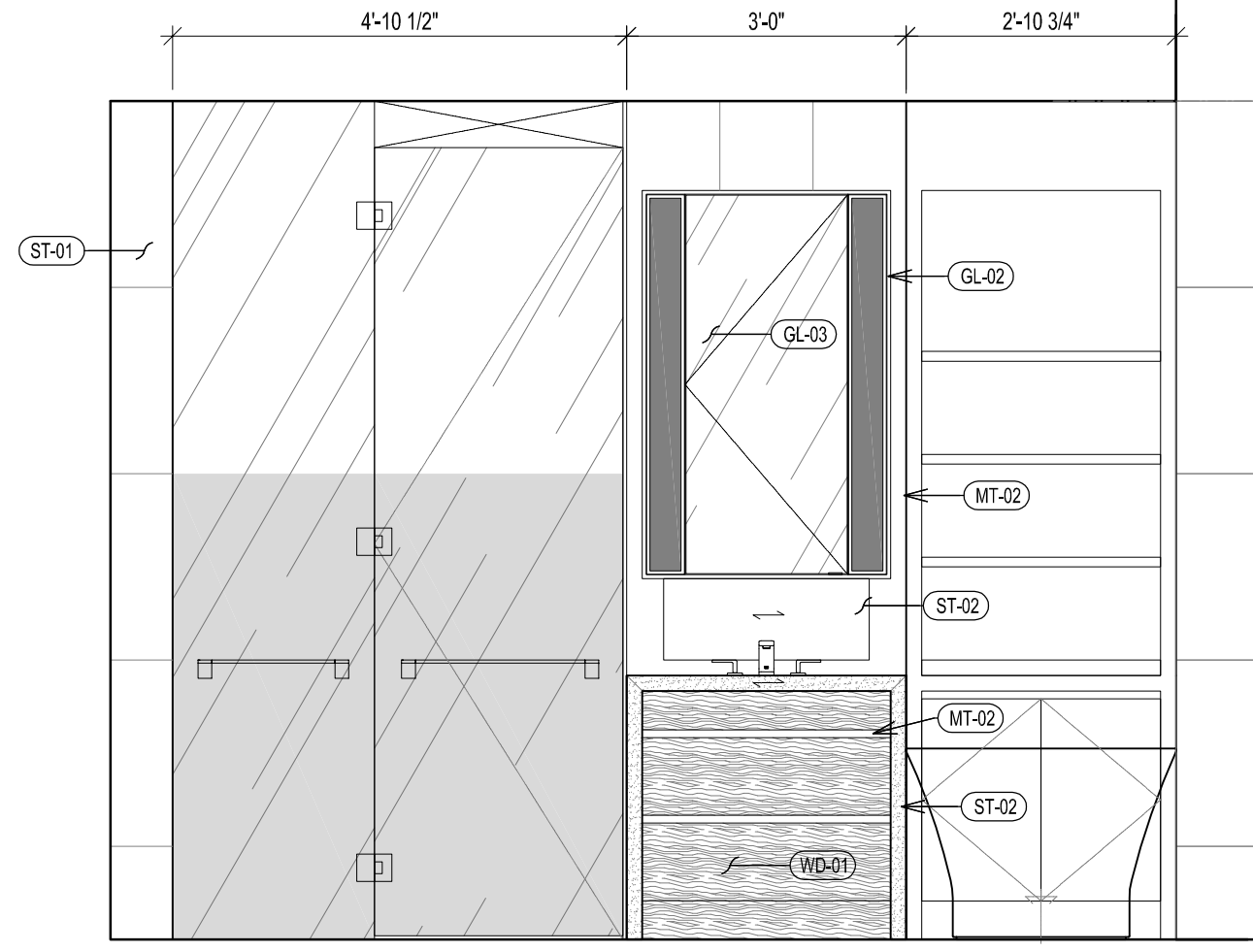
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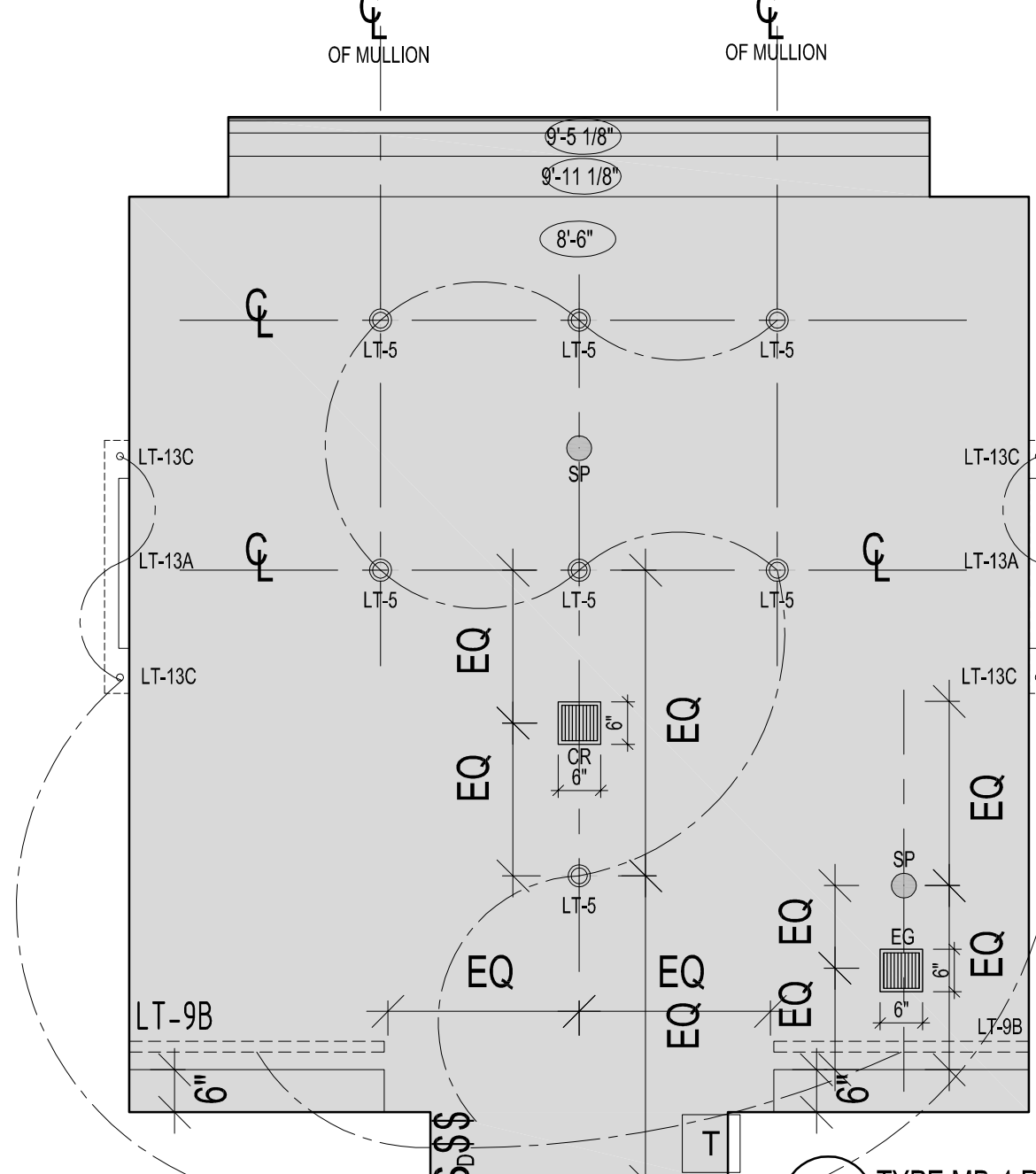
1 ELEVATION

TYPICAL BATHROOM TYPE MB-3 PLAN, RCP & ELEVATIONS
 SCALE 1/2" = 1'-0"

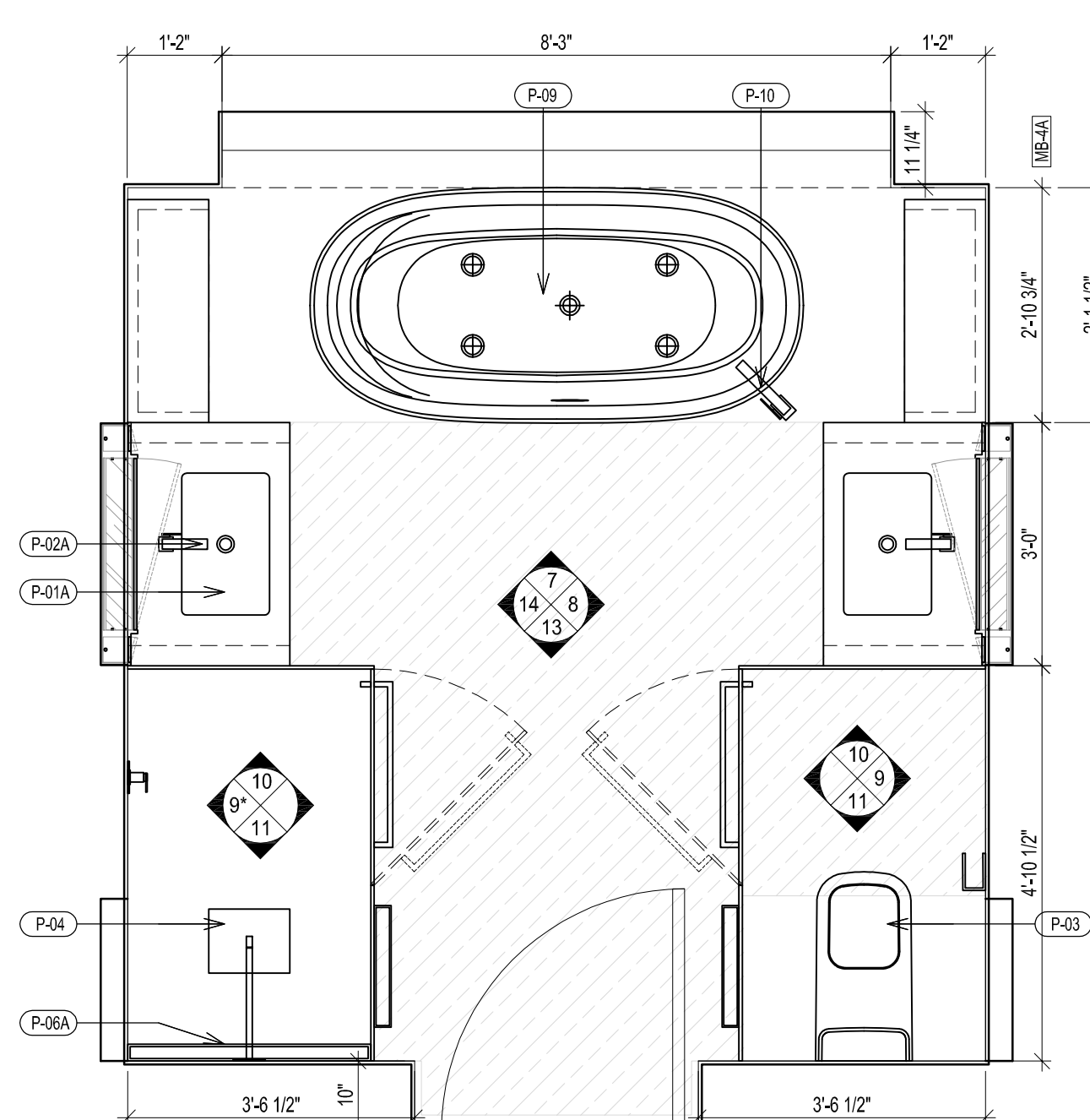
BATHROOM TYPE	FLOOR	UNIT	CEILING HT.	REMARK	VANITY TYPE
MB-4A	LV 40	UNIT A	8'-6"		TYPE 6 36" SPLIT
	LV 44	UNIT B	8'-6"		
MB-4A-M	LV 42	UNIT A	8'-6"		TYPE 6 36" SPLIT
	LV 46	UNIT B	8'-6"		
MB-4B	LV 41	UNIT A	8'-6"		TYPE 6 36" SPLIT
	LV 45	UNIT B	8'-6"		
MB-4B-M	LV 43	UNIT A	8'-6"		TYPE 6 36" SPLIT



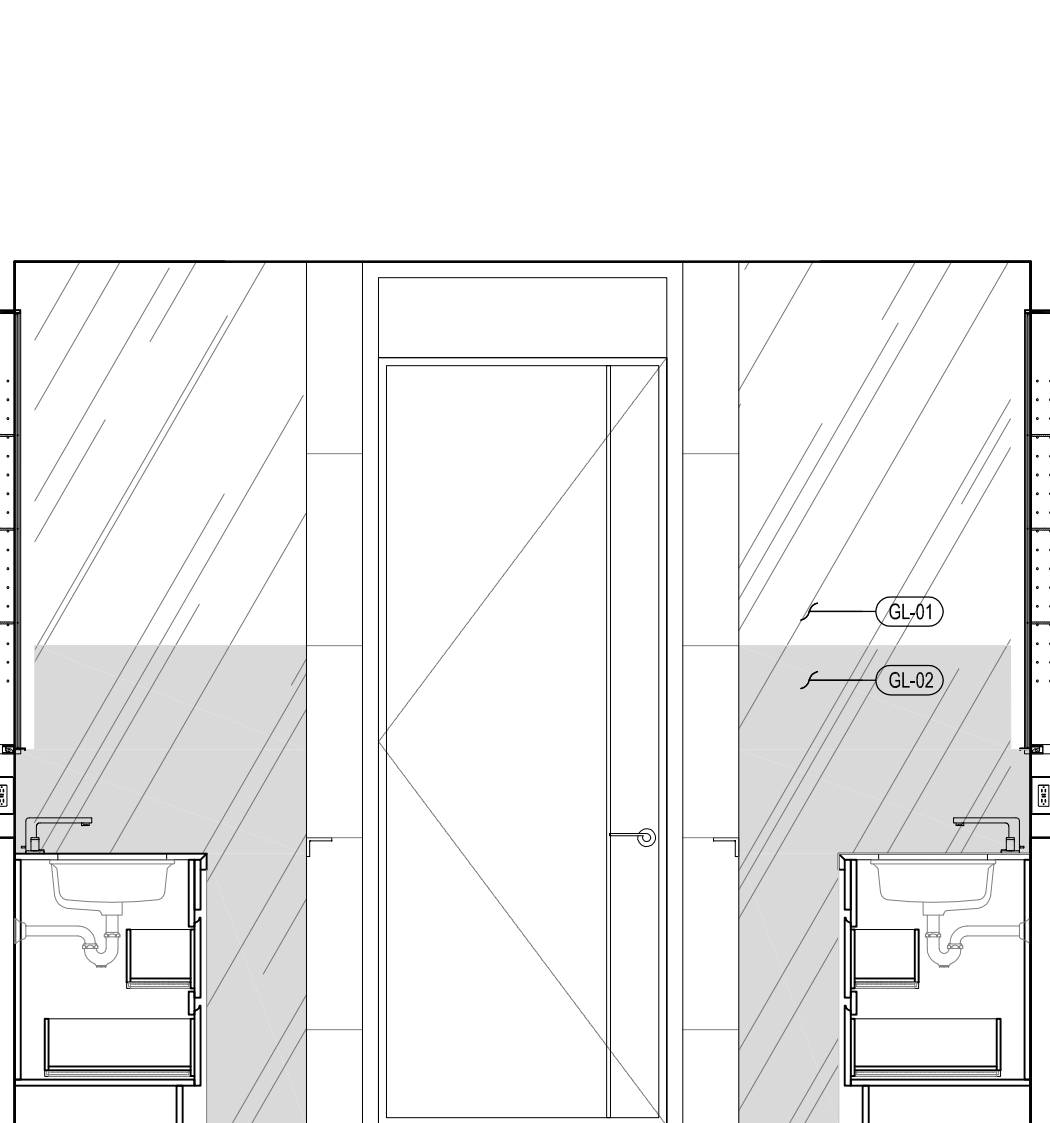
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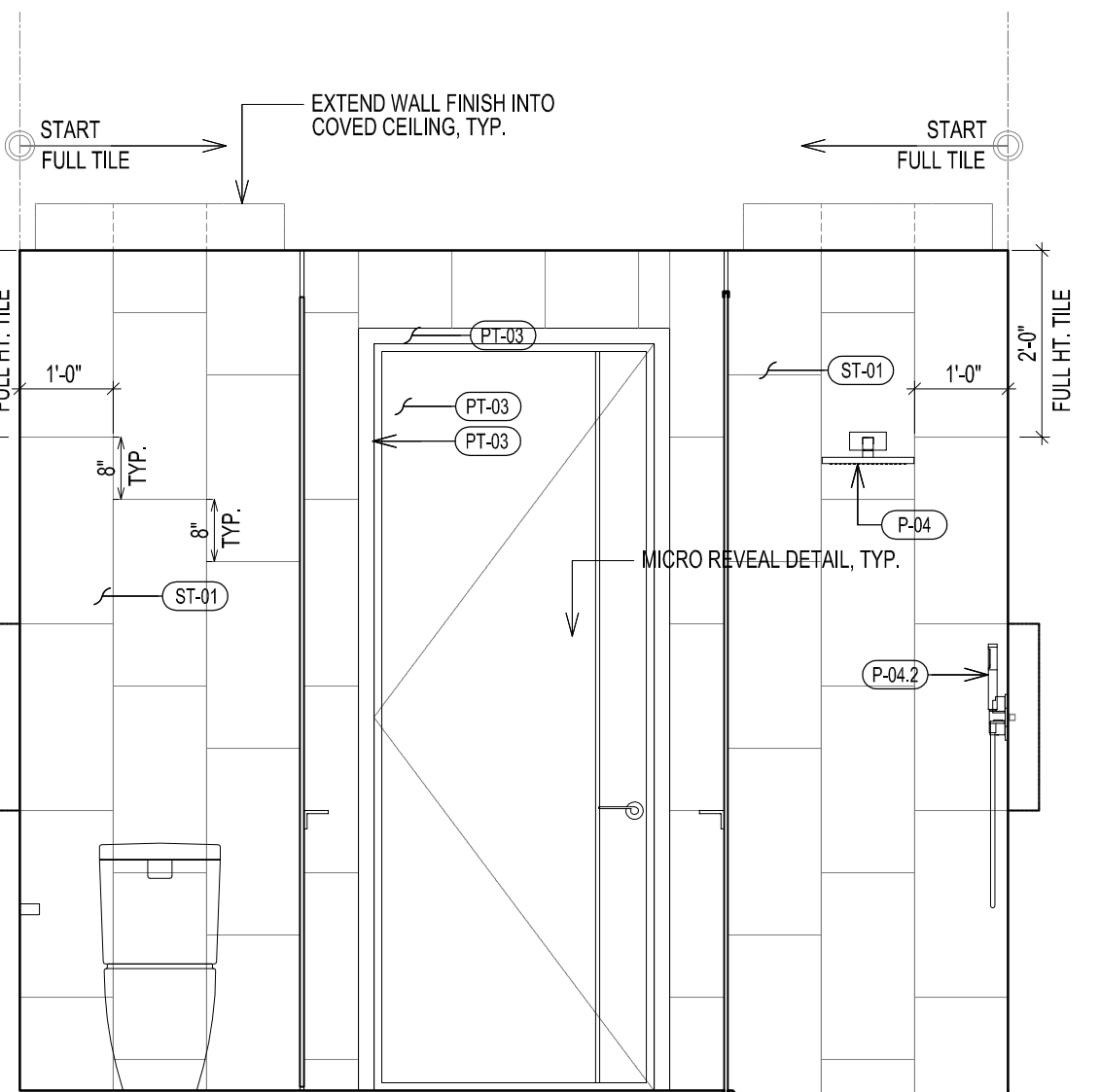
B TYPE MB-4 RCP



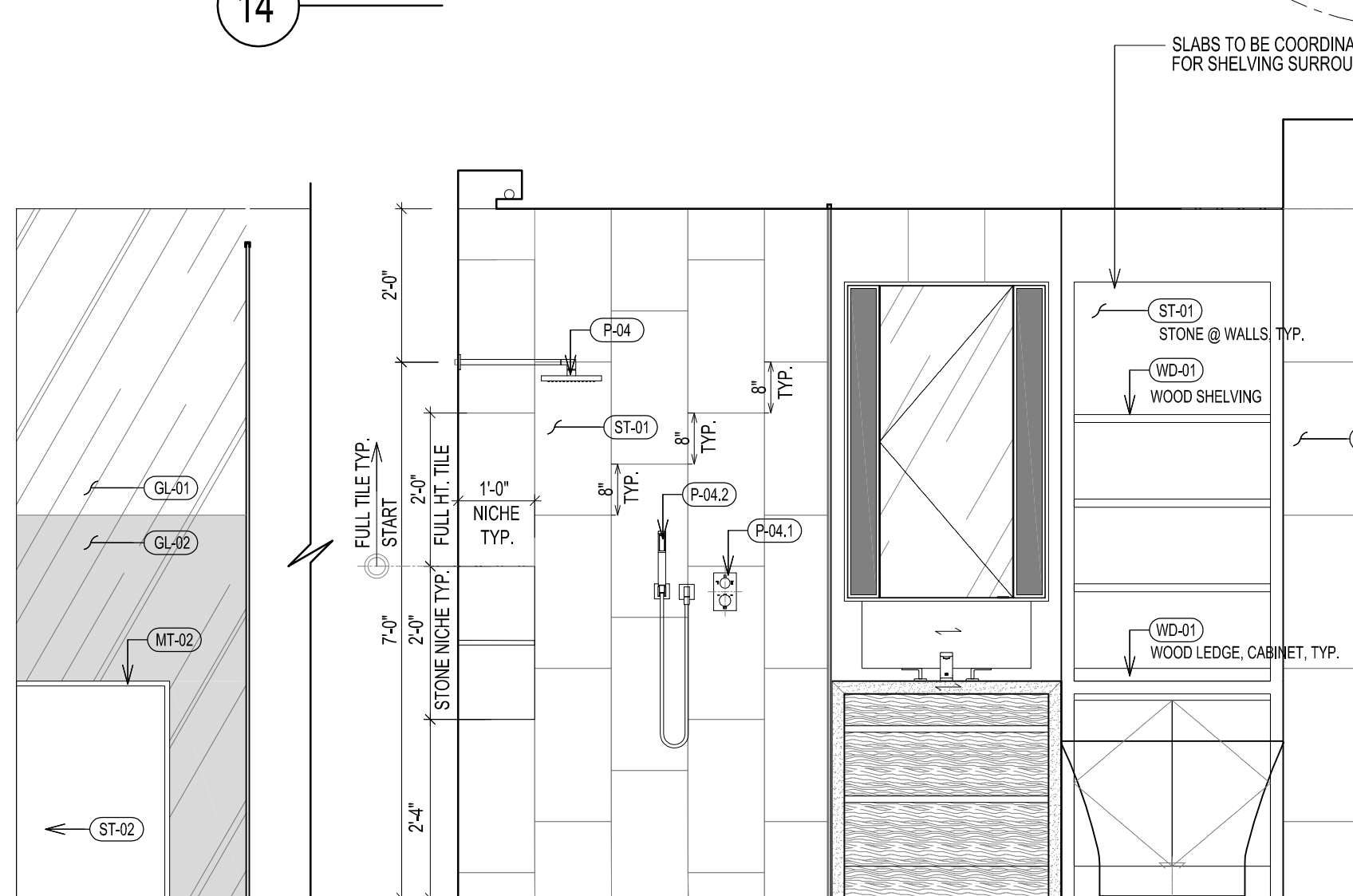
C TYPE MB-4 FLOOR PLAN



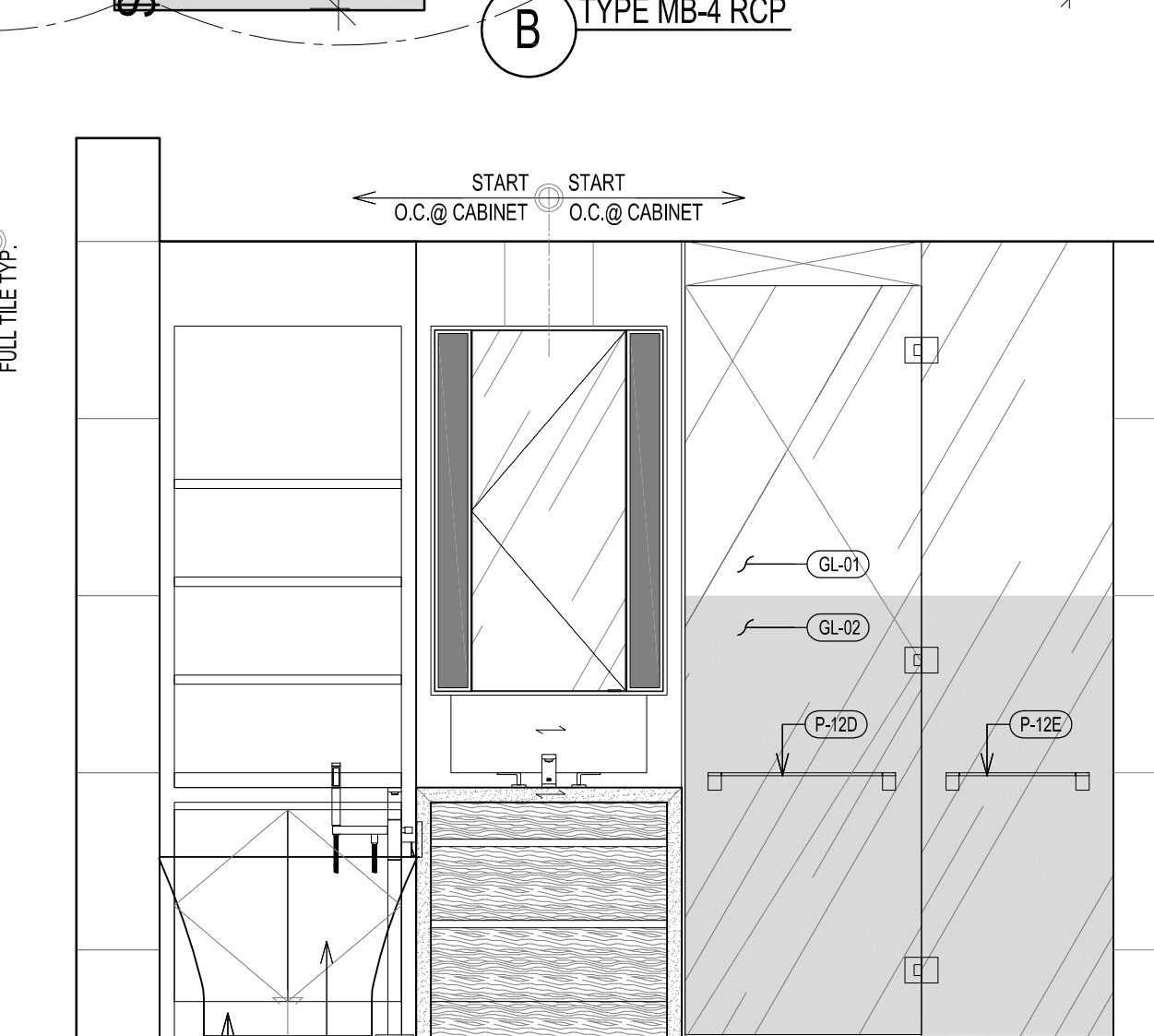
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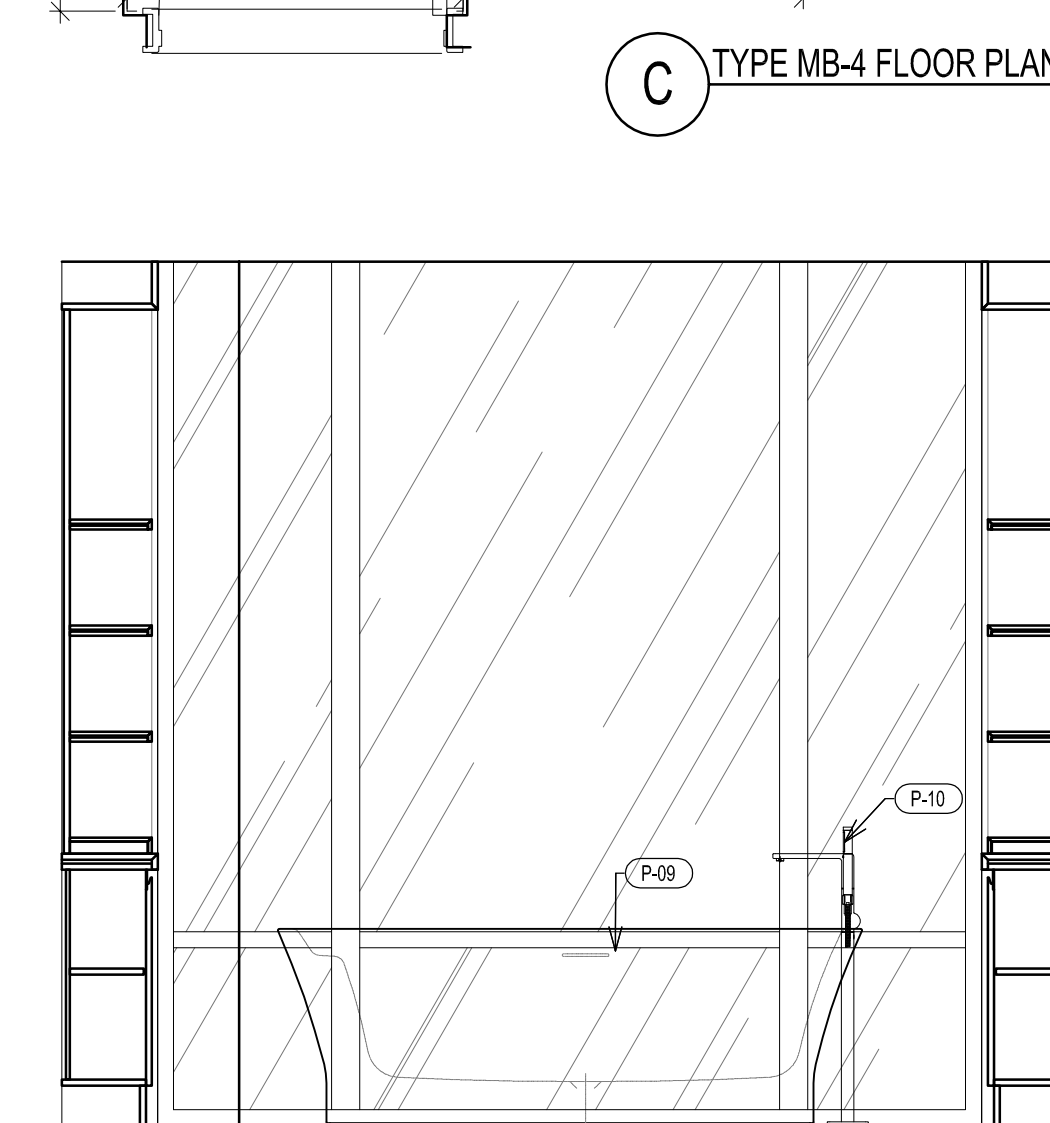
11 ELEVATION



10 ELEVATION



9 ELEVATION



8 ELEVATION

TYPICAL BATHROOM TYPE MB-4 PLAN, RCP & ELEVATIONS
 SCALE 1/2" = 1'-0"

277

Fifth Avenue

NEW YORK, NY

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NYC DEPT. OF BUILDINGS
PAA #2

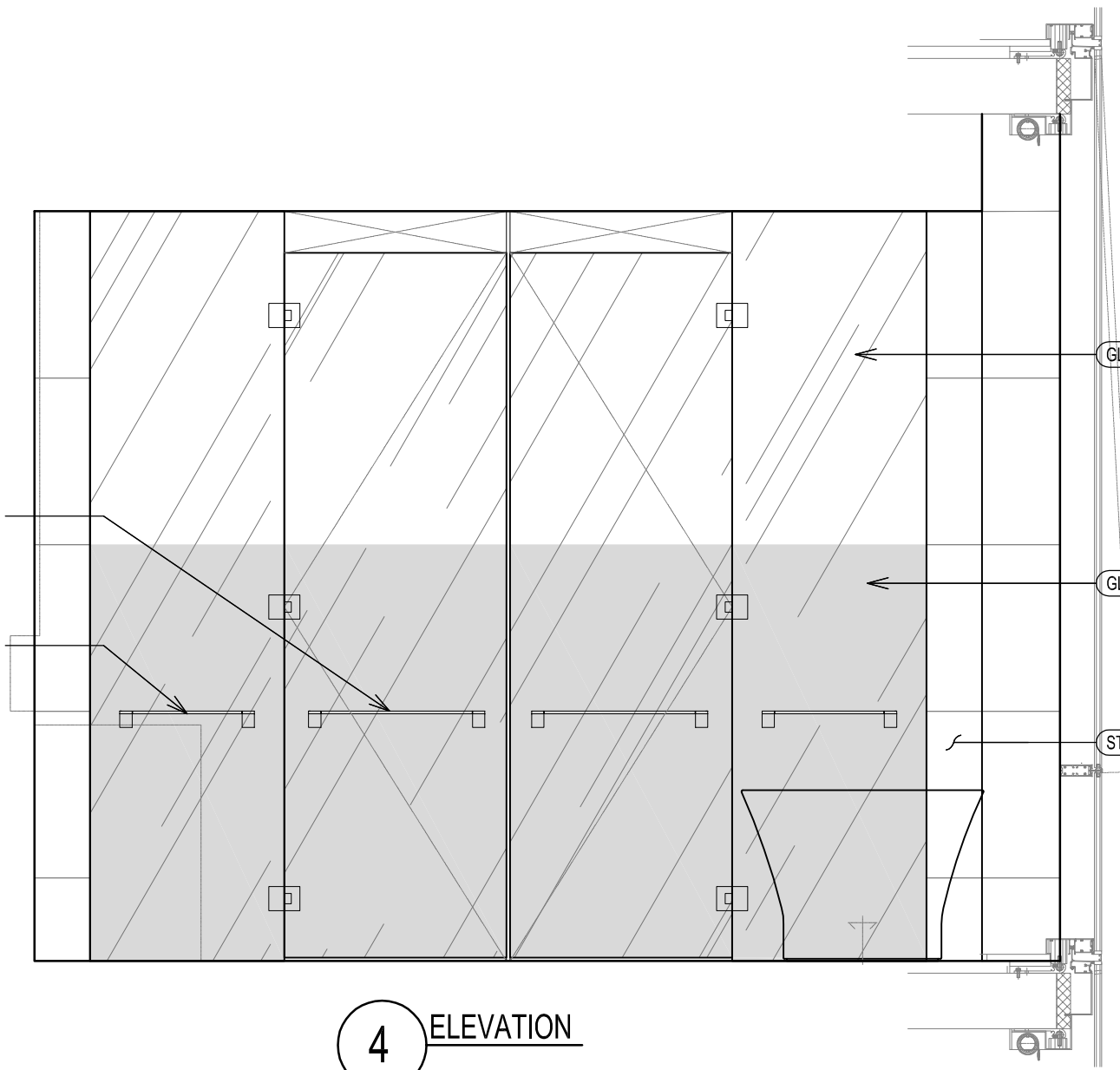
ARCHITECT'S SEAL
Areg Asatryan, RA
U. [Signature]
APPROVED
Under Directive 2 of 1995
DESIGN PROFESSIONAL REGISTRATION
Date: 04/19/2018
NYC Development Hub

30TH STREET
5TH AVENUE
KEY PLAN AND NORTH SIGN
IF THIS DRAWING IS NOT 42" X 30" IT IS
A REDUCED PRINT;
REFER TO GRAPHIC SCALE
0 2 4
SCALE 1/2" = 1'-0"
TYPICAL BATHROOM
TYPES PLANS, RCPs &
ELEVATIONS
MB-3, MB-4
SHEET TITLE:
A-527.01
SHEET NUMBER:

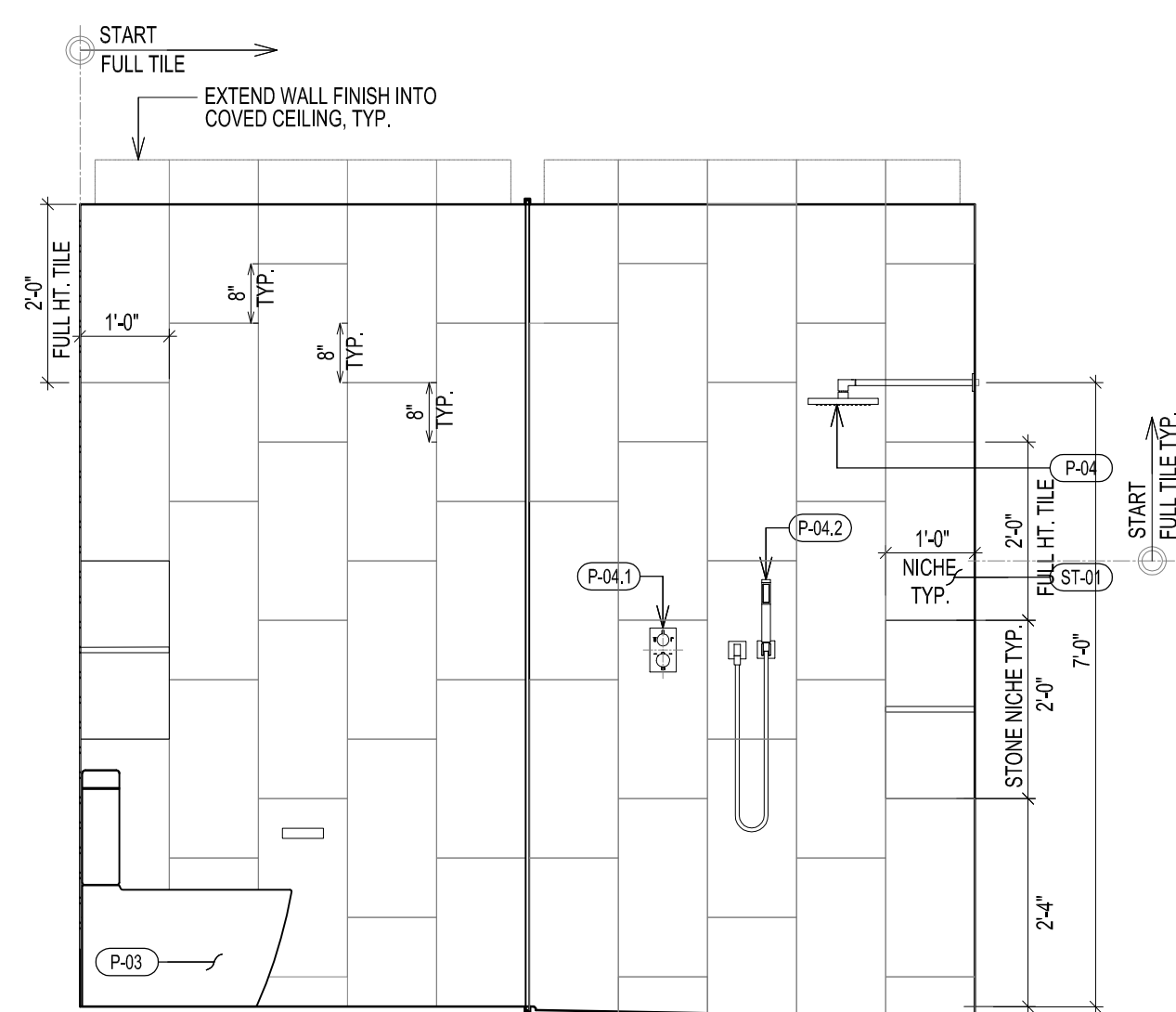
© 2016 RAFAEL VINOLY ARCHITECTS

BATHROOM TYPE	FLOOR	UNIT	CEILING HT.	REMARK	VANITY TYPE
MB-5A	LV 40	UNIT B	8'-6"		TYPE 6 36" SPLIT
	LV 44	UNIT A	8'-6"		
MB-5A-M	LV 42	UNIT B	8'-6"		TYPE 6 36" SPLIT
	LV 46	UNIT A	8'-6"		
MB-5B	LV 41	UNIT B	8'-6"		TYPE 6 36" SPLIT
	LV 45	UNIT A	8'-6"		
MB-5B-M	LV 43	UNIT B	8'-6"		TYPE 6 36" SPLIT
MB-5C	LV 47	UNITA	8'-6"		TYPE 6 36" SPLIT

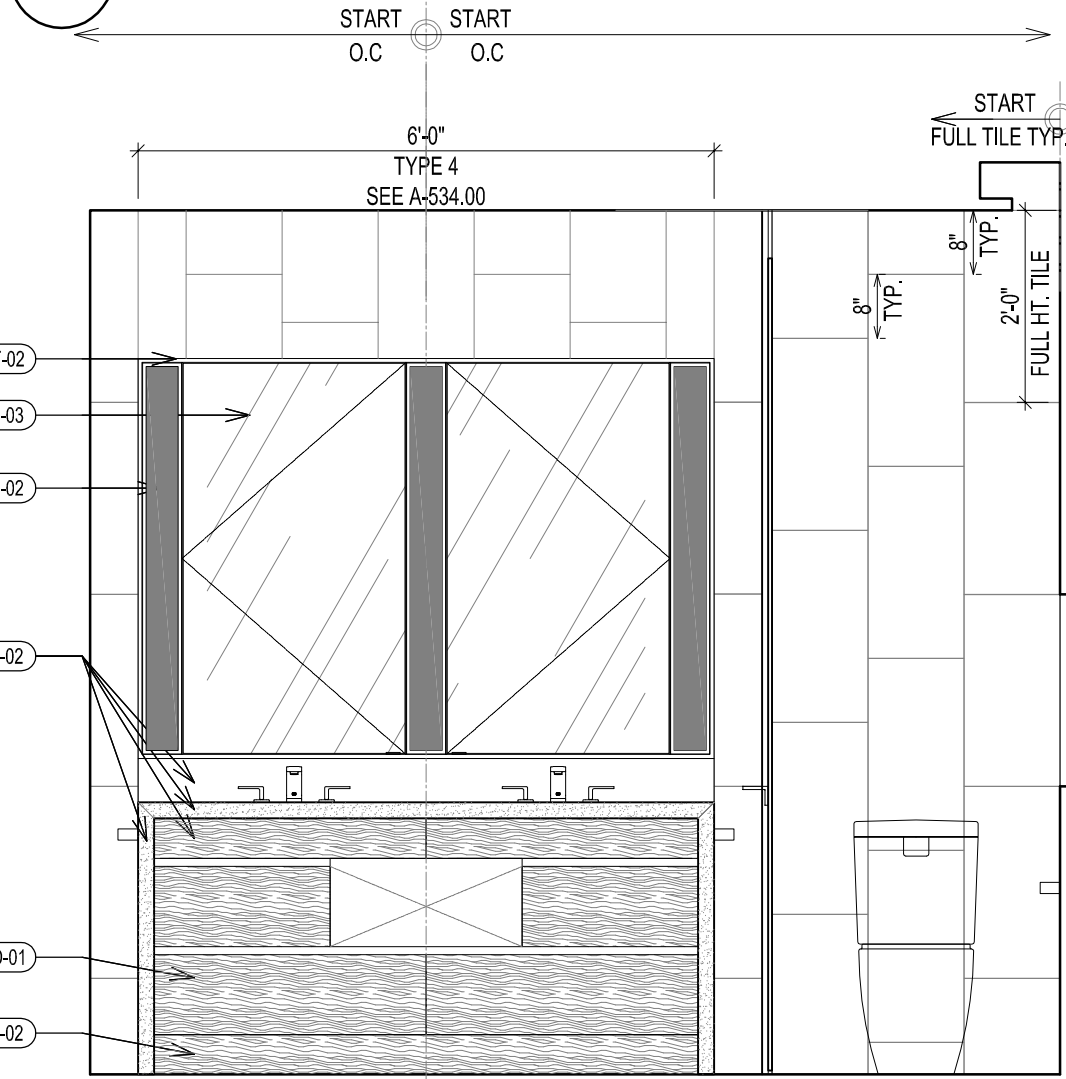
NOTE: ALL BATHROOM TO BE INSTALLED HEATING MAT UNDERNEATH FLOOR FINISH
UNLESS OTHERWISE INDICATED



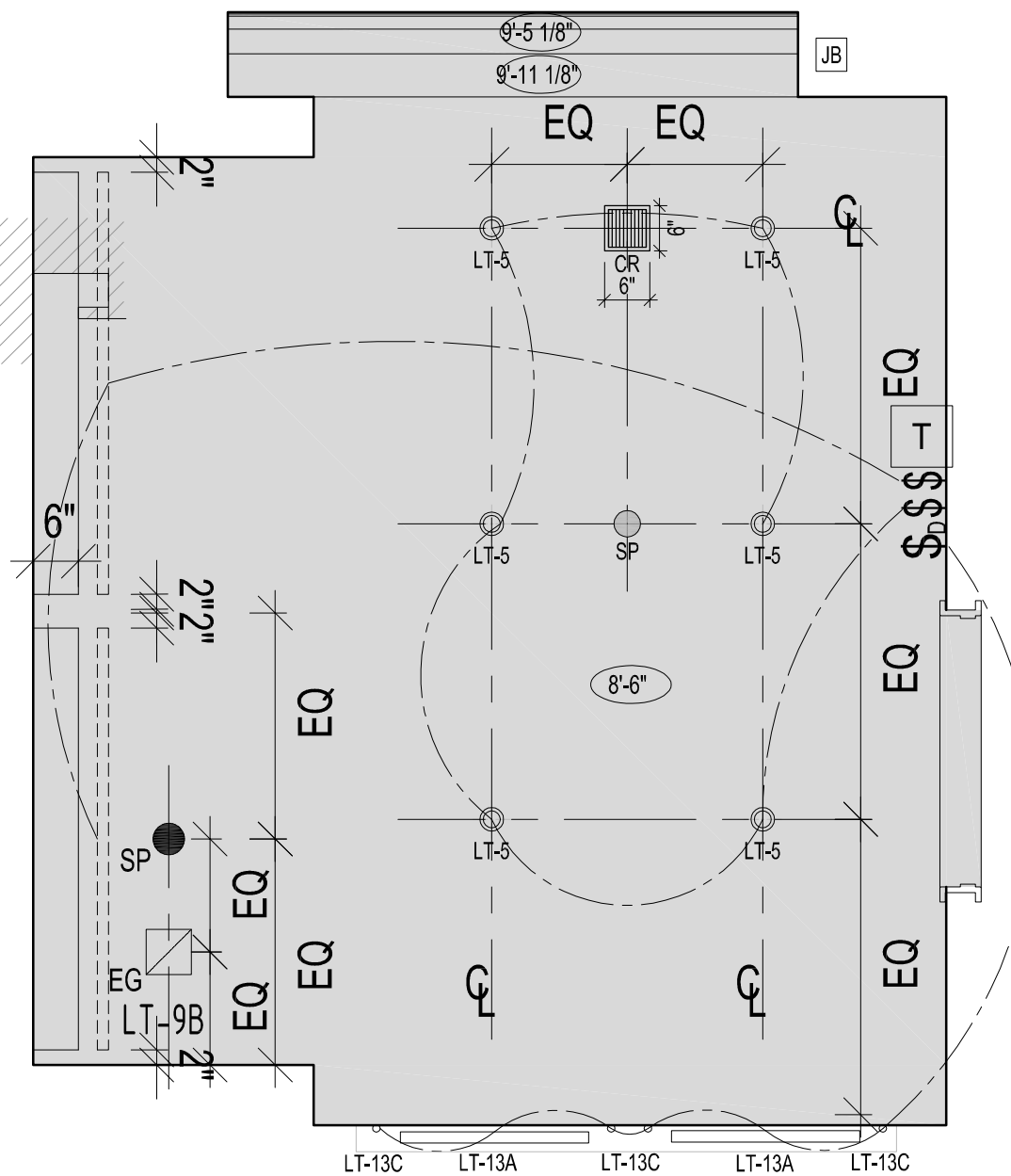
4 ELEVATION



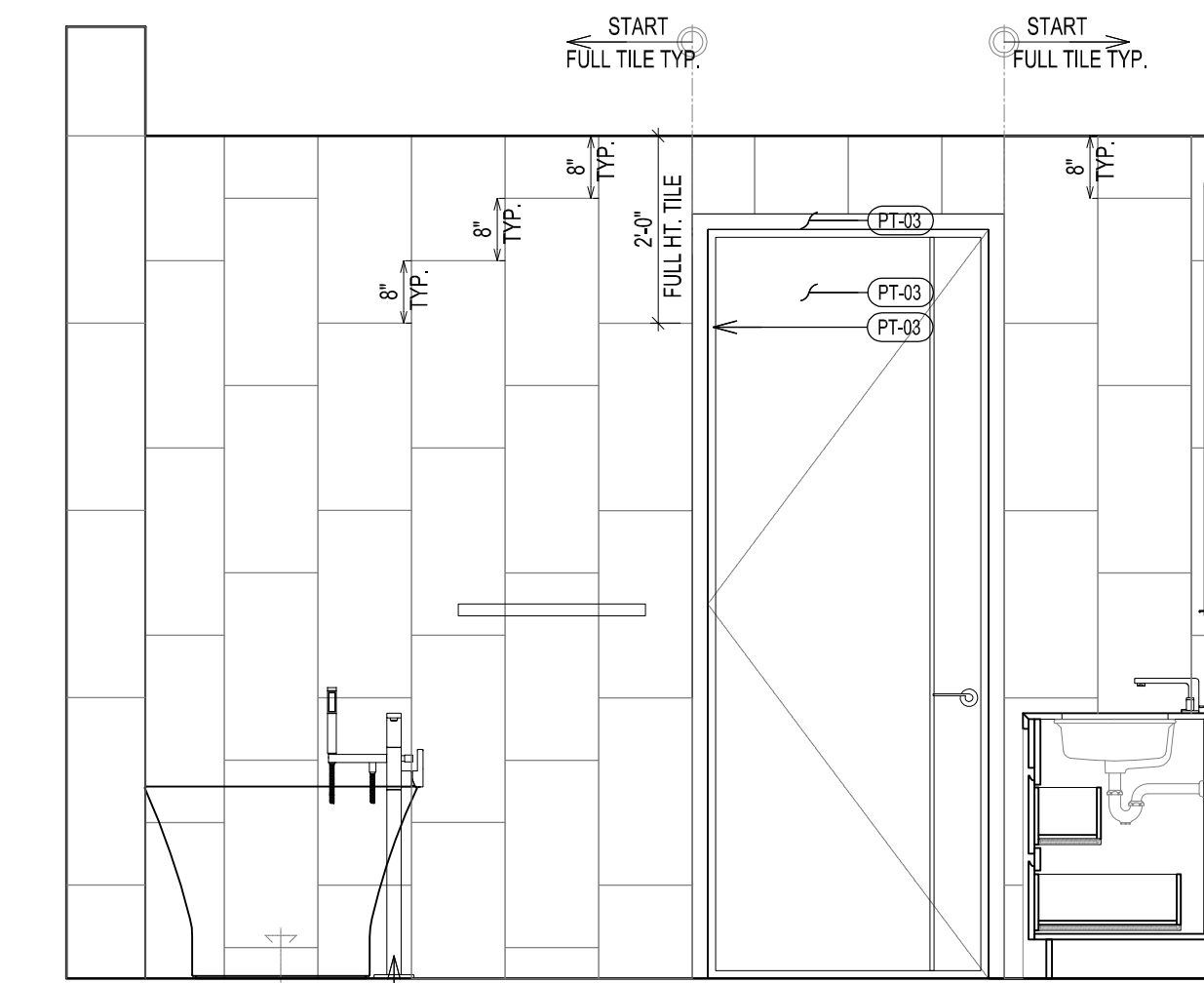
5 ELEVATION



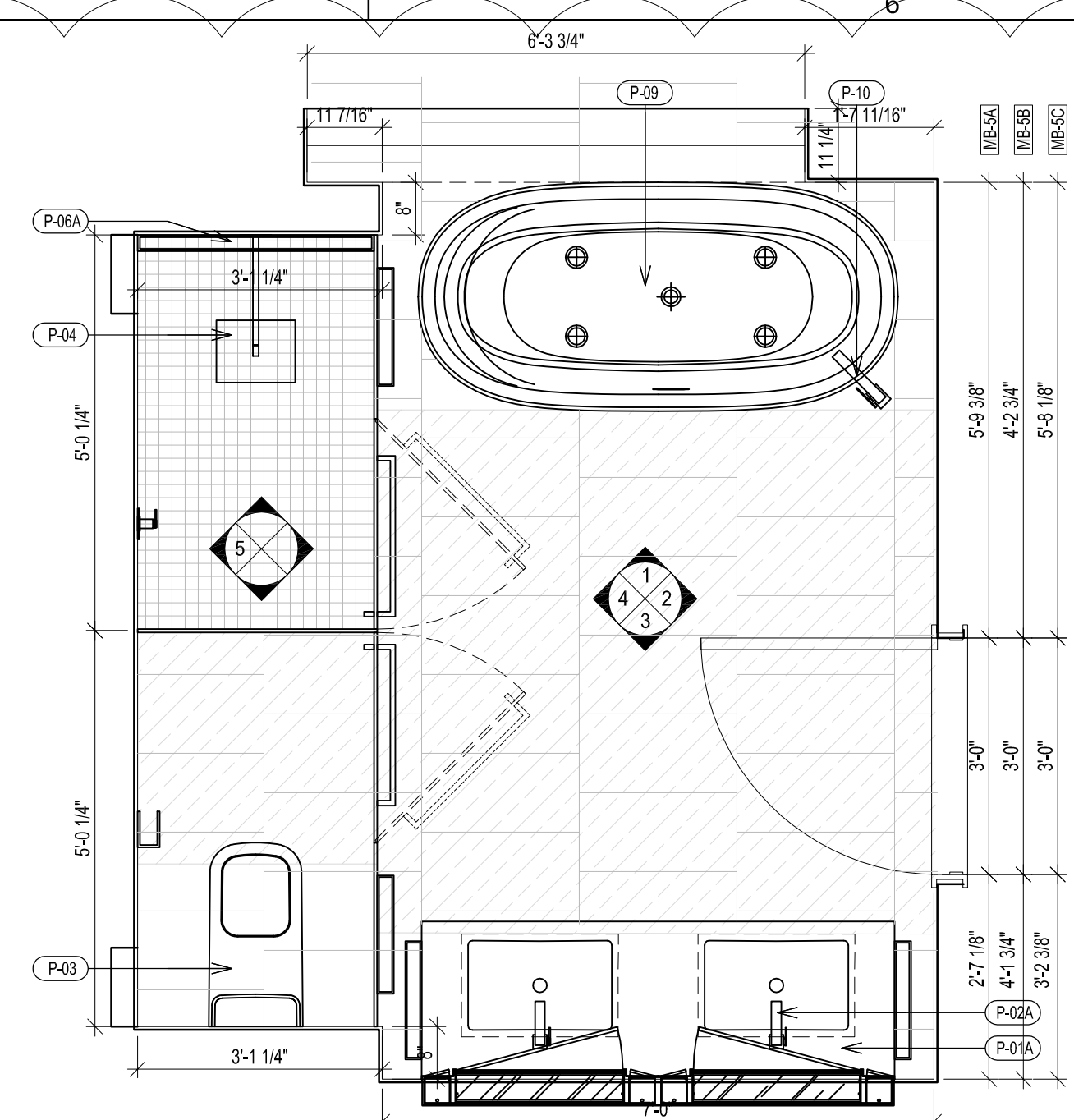
3 ELEVATION



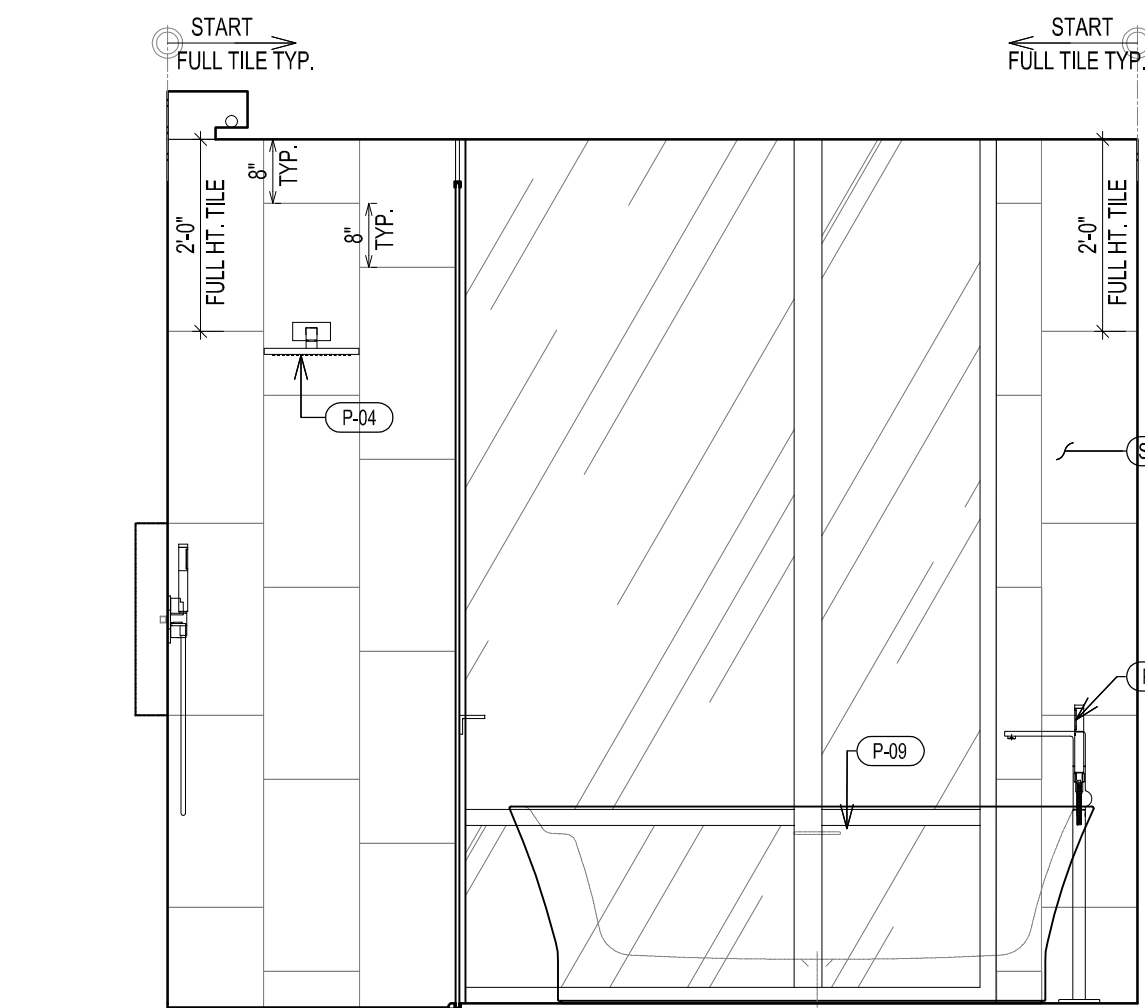
C TYPE MB-5 RCP



2 ELEVATION



A TYPE MB-5 FLOOR PLAN



1 ELEVATION

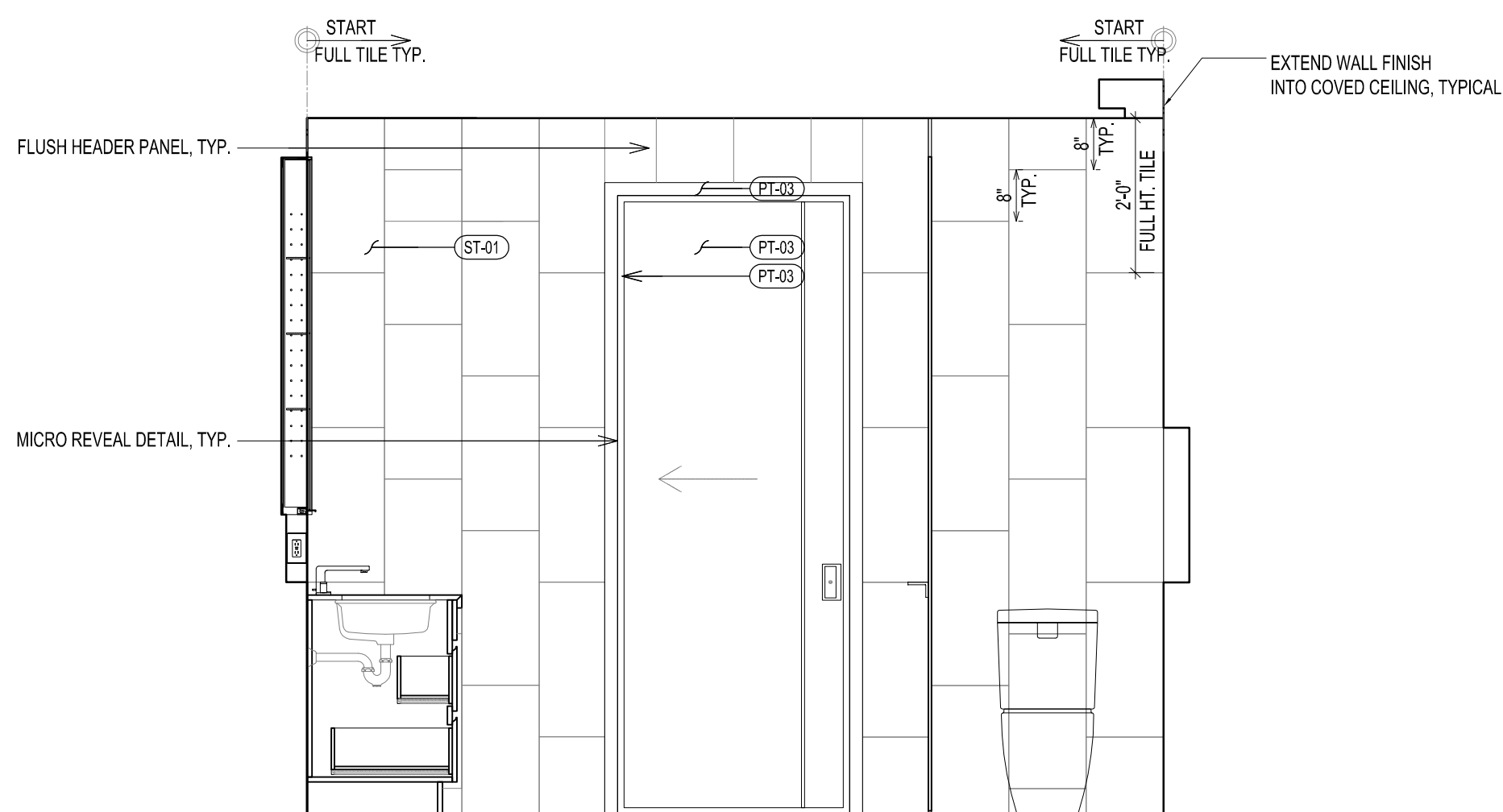
1/4" REVELED EDGE TRANSITION
SHOWER FLOOR SLOPED TO LINEAR
DRAIN, TYP.

TYPICAL BATHROOM TYPE MB-5 PLAN, RCP & ELEVATIONS

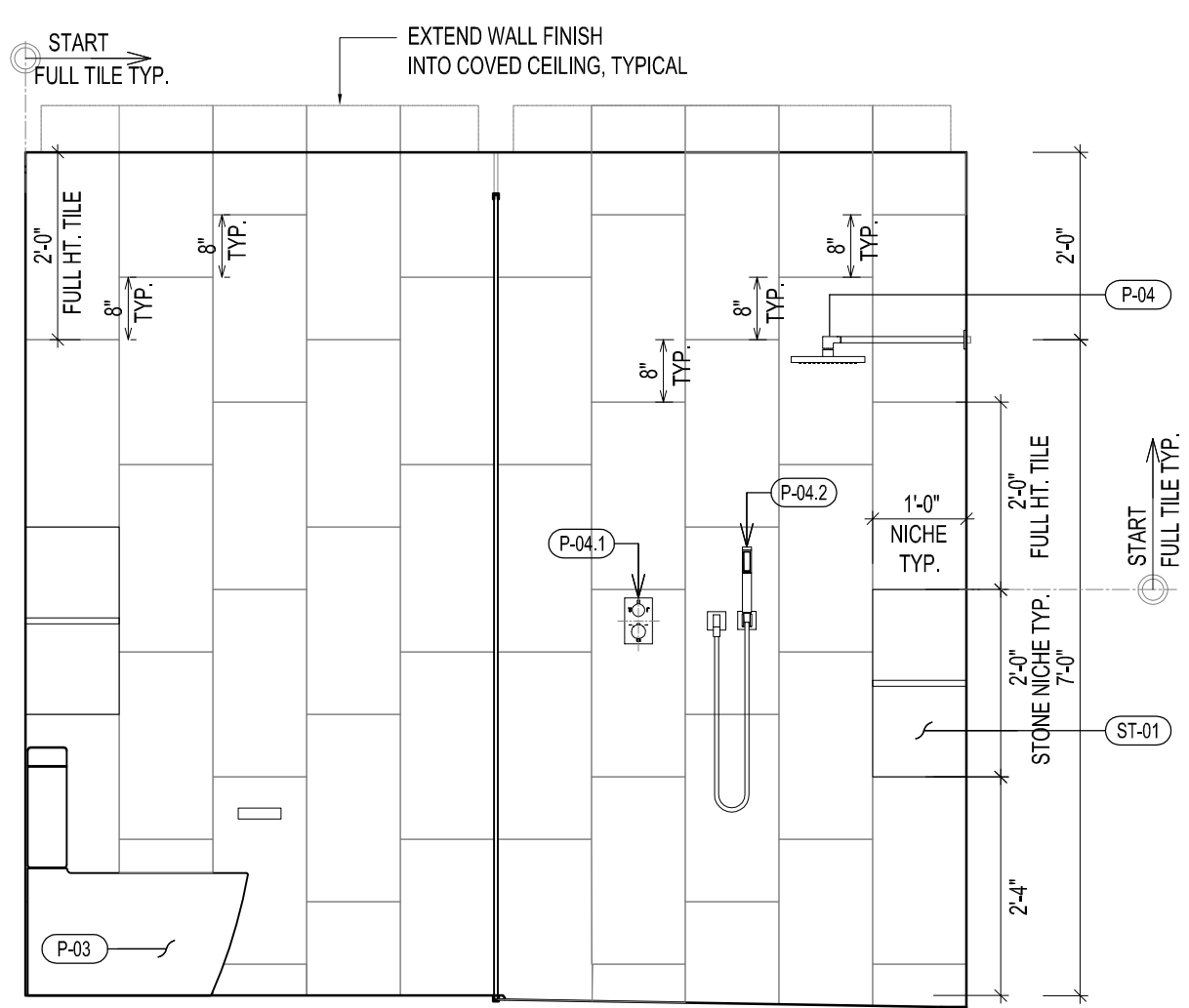
SCALE 1/2" = 1'-0"

BATHROOM TYPE	FLOOR	UNIT	CEILING HT.	REMARK	VANITY TYPE
MB-6A	LV 48	UNIT A	8'-6"		TYPE 6 36" SPLIT
MB-6A-M	LV 49	UNIT A	8'-6"		TYPE 6 36" SPLIT

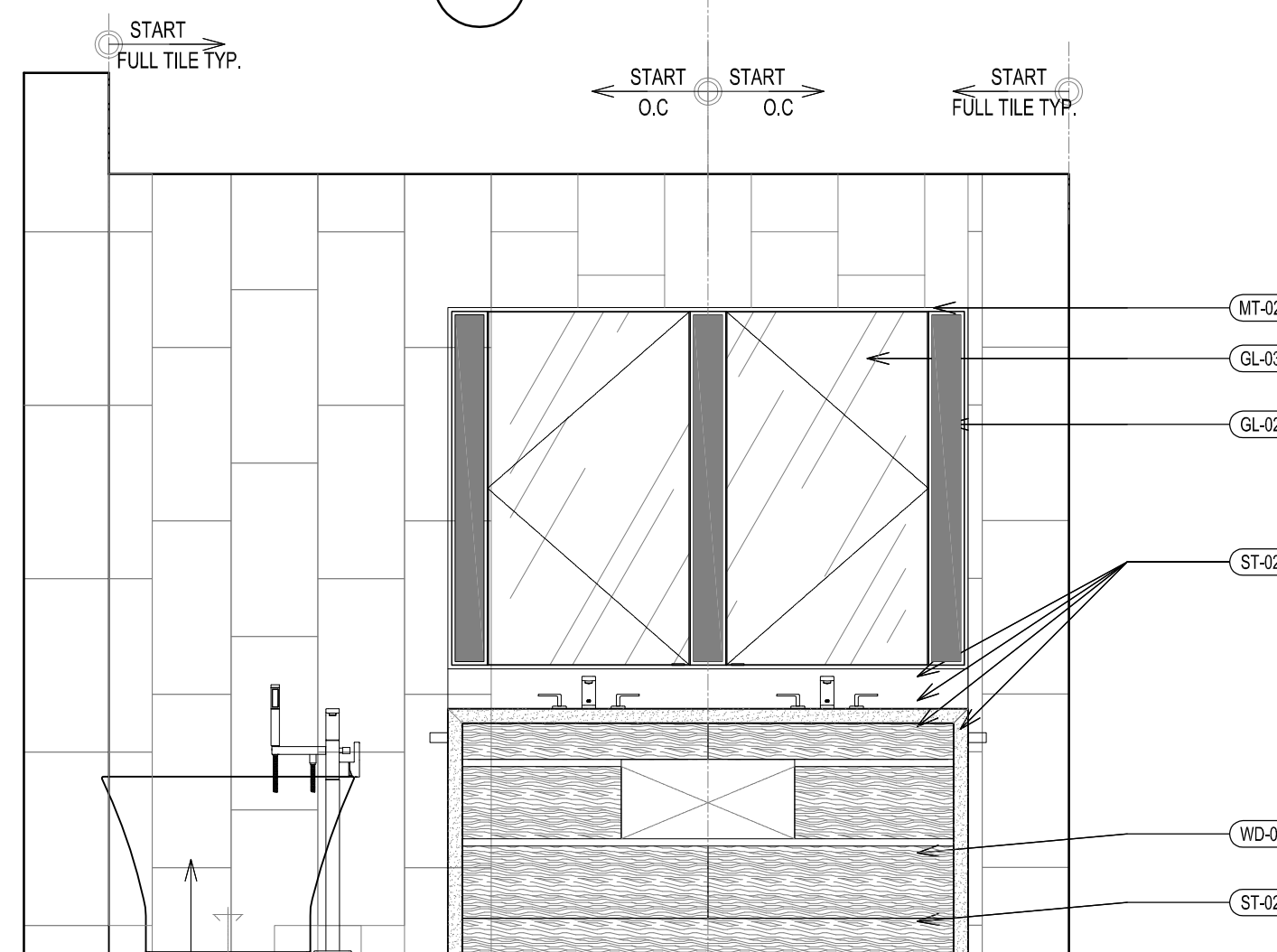
NOTE: ALL BATHROOM TO BE INSTALLED HEATING MAT UNDERNEATH FLOOR FINISH
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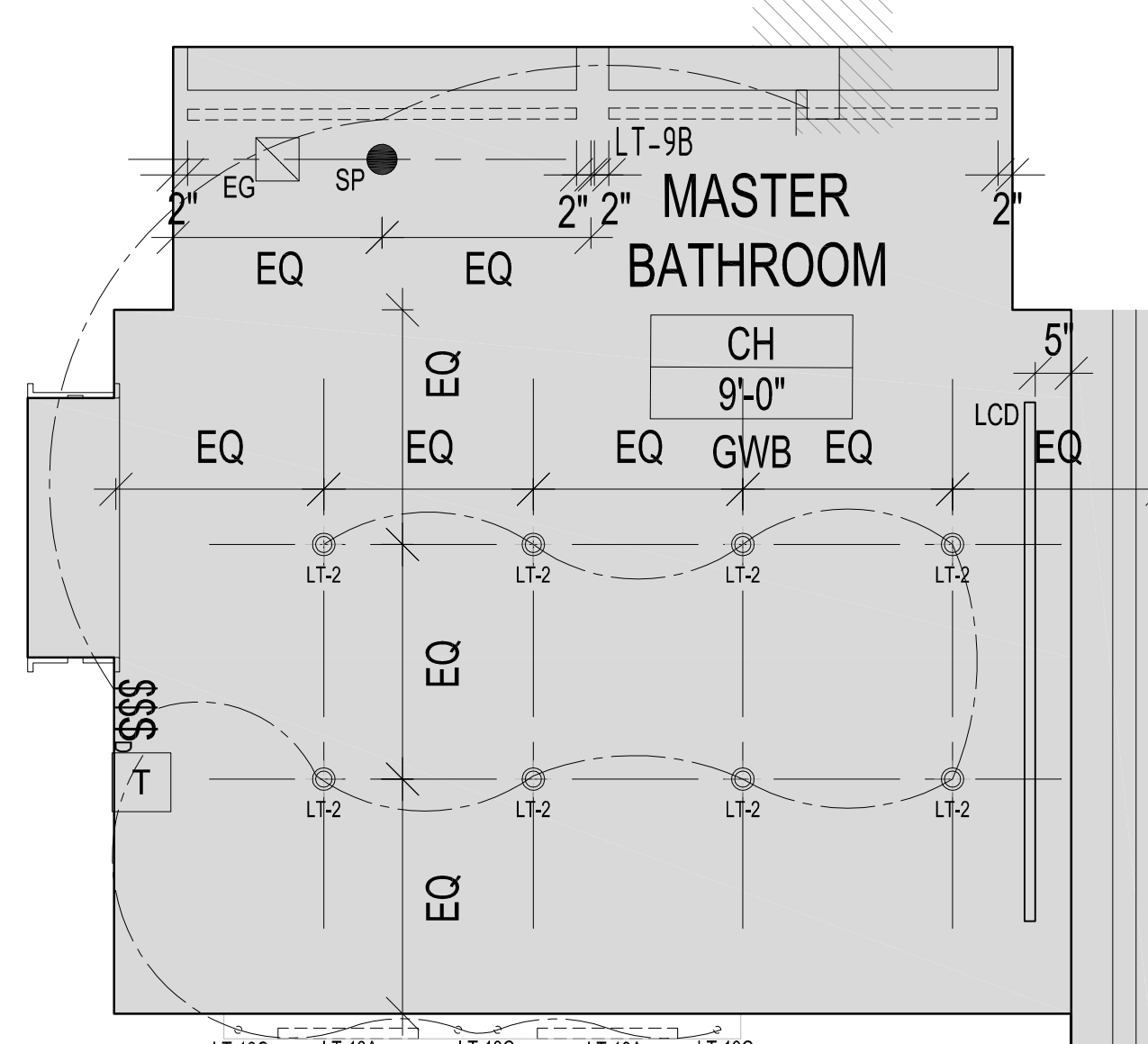
11 ELEVATION



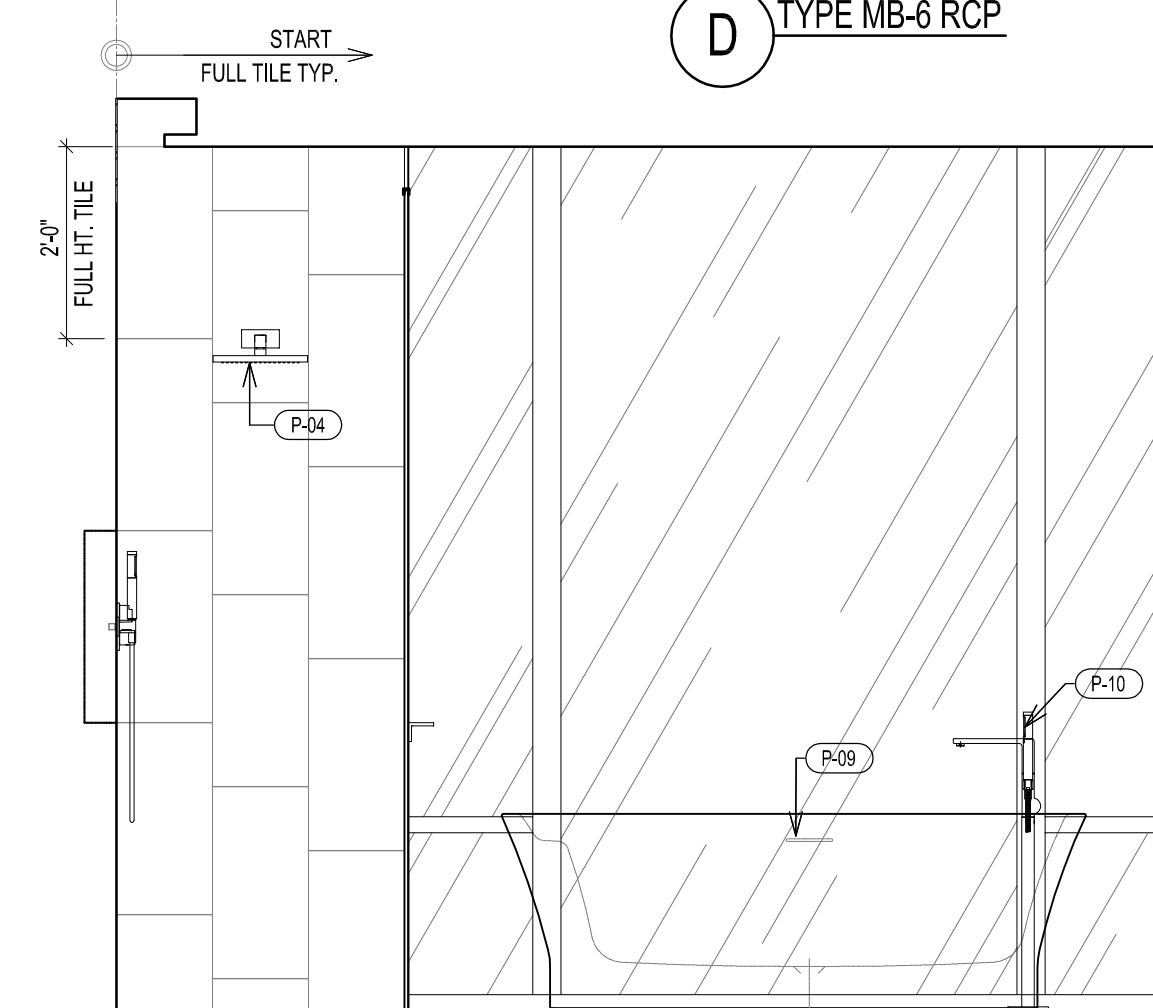
7 ELEVATION



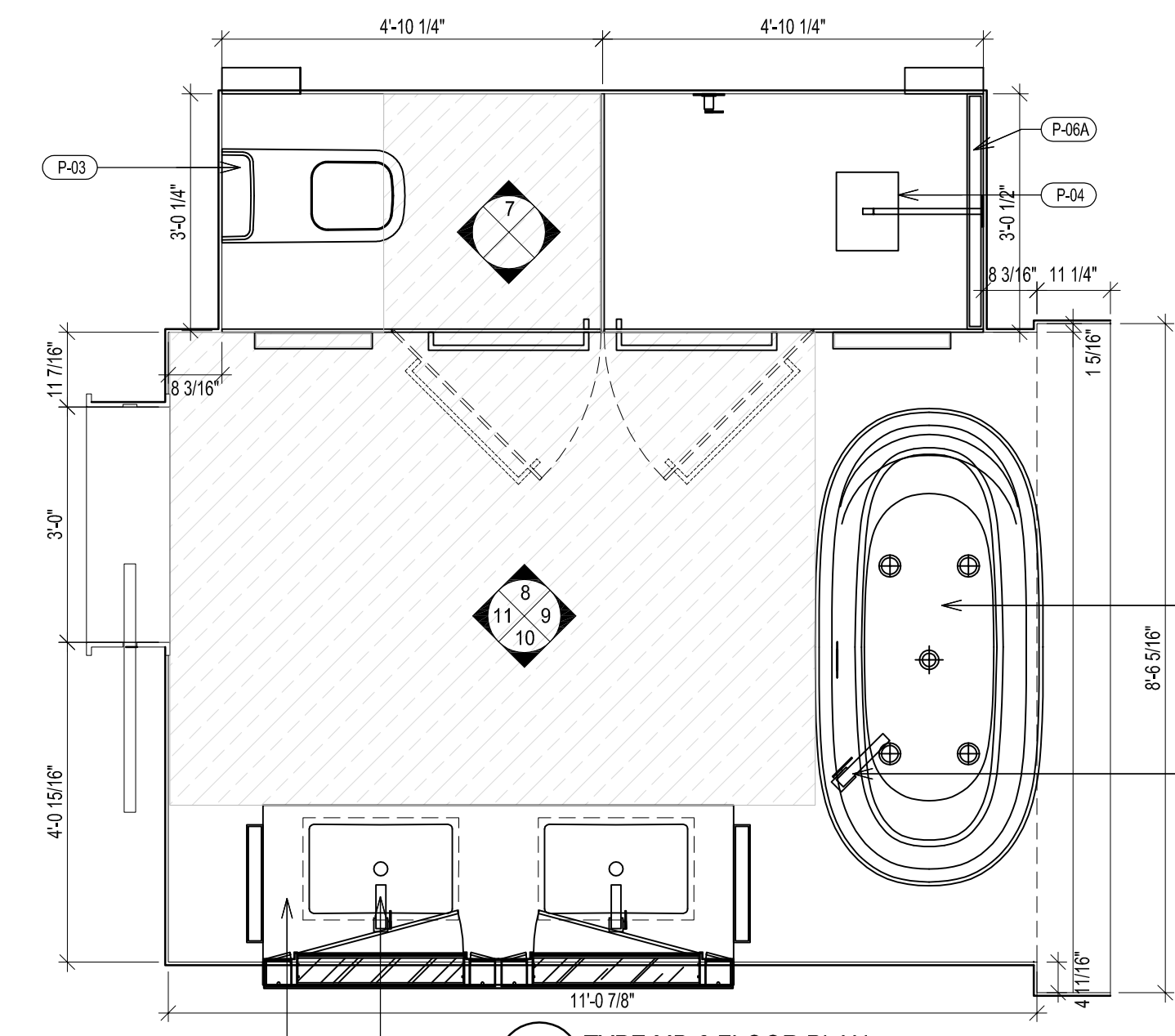
10 ELEVATION



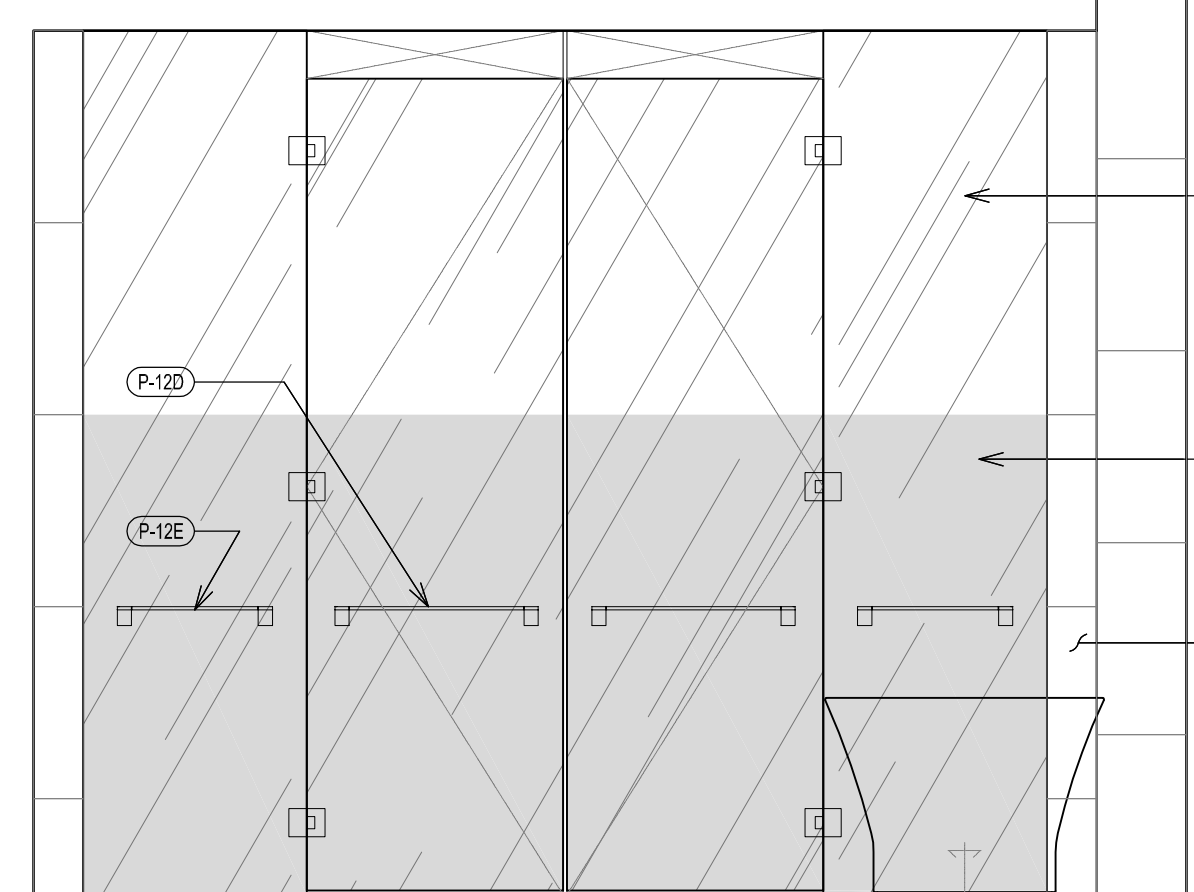
D TYPE MB-6 RCP



9 ELEVATION



C TYPE MB-6 FLOOR PLAN



8 ELEVATION

TYPICAL BATHROOM TYPE MB-6 PLAN, RCP & ELEVATIONS

SCALE 1/2" = 1'-0"

277
Fifth Avenue
NEW YORK, NY

OWNER:
VICTOR NOMAD LLC

CONSTRUCTION MANAGER:
LEND LEASE
200 PARK AVENUE, 9TH FLOOR
NEW YORK, NY 10166
TEL: 212 592 6700

ARCHITECT :
RAFAEL VINOLY ARCHITECTS PC
50 VANDAM STREET
NEW YORK, NY 10013
TEL: 212 924 5060 FAX: 212 924 5858

STRUCTURAL ENGINEER:
WSP PARSONS BRINCKERHOFF
ONE PENN PLAZA, 4TH FLOOR
NEW YORK, NY 10119
TEL: 212 687 9888

MEP/FP/IT ENGINEER:
MGE ENGINEERING
116 WEST 32ND STREET, 12TH FLOOR
NEW YORK, NY 10001
TEL: 212 643 9055

GEOTECH CIVIL ENGINEER:
LANGAN ENGINEERING
300 KIMBALL DRIVE, 4TH FLOOR
PARSIPPANY, NJ, 07054
TEL: 973 560 4900

VERTICAL TRANSPORT, CONSULTANT:
VAN DEUSEN & ASSOCIATES
120 EAGLE ROCK AVENUE, SUITE 310
EAST HANOVER, NJ, 07936
TEL: 973 994 9220

ENCLOSURE CONSULTANT:
VIDARIS, INC.
360 PARK AVENUE SOUTH, 15TH FLOOR
NEW YORK, NY, 10010
TEL: 212 689 5389

FACADE MAINTENANCE CONSULTANT:
ENITEK ENGINEERING LLC
166 AMES STREET
HACKENSACK, NJ, 07601
TEL: 201 820 2801

ACOUSTICAL CONSULTANT:
CERAMI & ASSOCIATES
404 FIFTH AVENUE
NEW YORK, NY, 10018
TEL: 212 616 4179

LIGHTING CONSULTANT:
ONE LUX STUDIO
158 WEST 29TH STREET, 10TH FLOOR
NEW YORK, NY, 10001
TEL: 212 201 5790

SPECIFICATIONS CONSULTANT:
ROBERT SCHWARTZ & ASSOCIATES
589 EIGHTH AVENUE, 17TH FLOOR
NEW YORK, NY, 10018
TEL: 212 691 3248

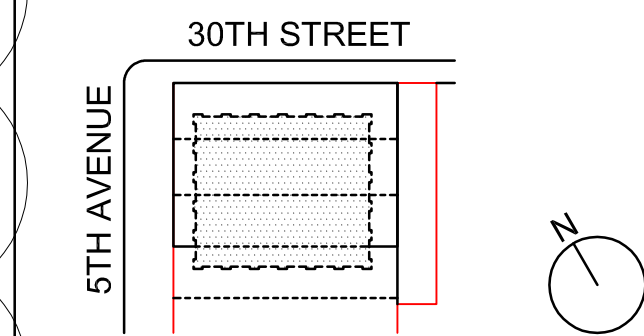
ENERGY MODELING CONSULTANT:
STEVEN WINTER ASSOCIATES, INC
307 SEVENTH AVENUE, SUITE 1701
NEW YORK, NY, 10001
TEL: 212 564 5800

INTERIOR DESIGN CONSULTANT:
BEERS INTERIORS
156 5TH AVENUE, PENTHOUSE 2
NEW YORK, NY, 10010
TEL: 212 352 2020

NYC DEPT. OF BUILDINGS
PAA #2

ARCHITECT'S SEAL
Areg Asatryan, RA
U. [Signature]
APPROVED
Under Directive 2 of 2015
ADMINISTRATIVE REGULATION
Date: 04/19/2018
NYC Development Hub

09/08/2017 PAA #2
02/24/2017 PAA #1
ISSUE DATE
NO. DESCRIPTION



KEY PLAN AND NORTH SIGN
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A REDUCED PRINT;
REFER TO GRAPHIC SCALE

SCALE 1/2" = 1'-0"

TYPICAL BATHROOM
TYPES PLANS, RCPs &
ELEVATIONS
MB-5, MB-6

SHEET TITLE:

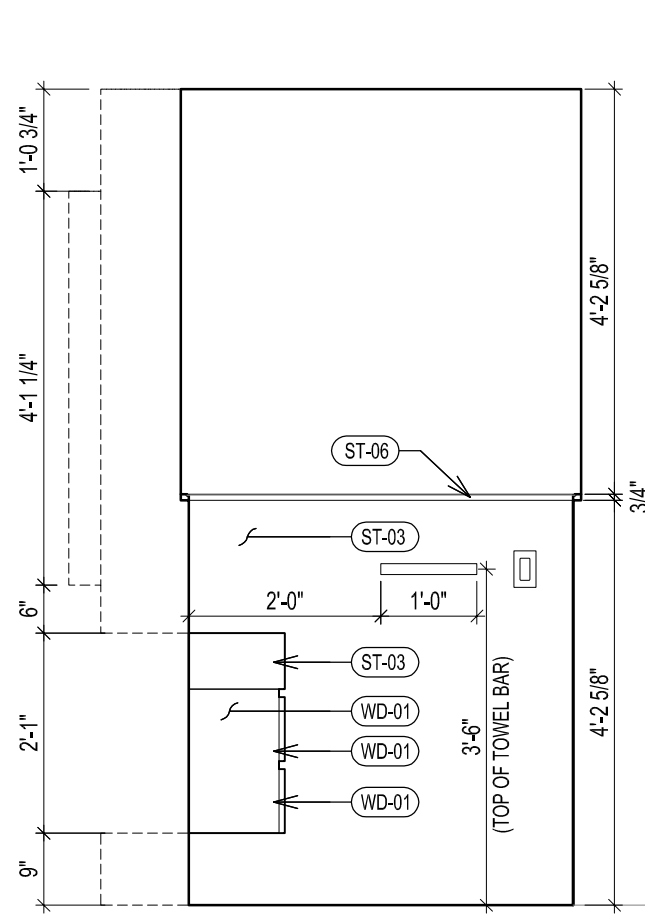
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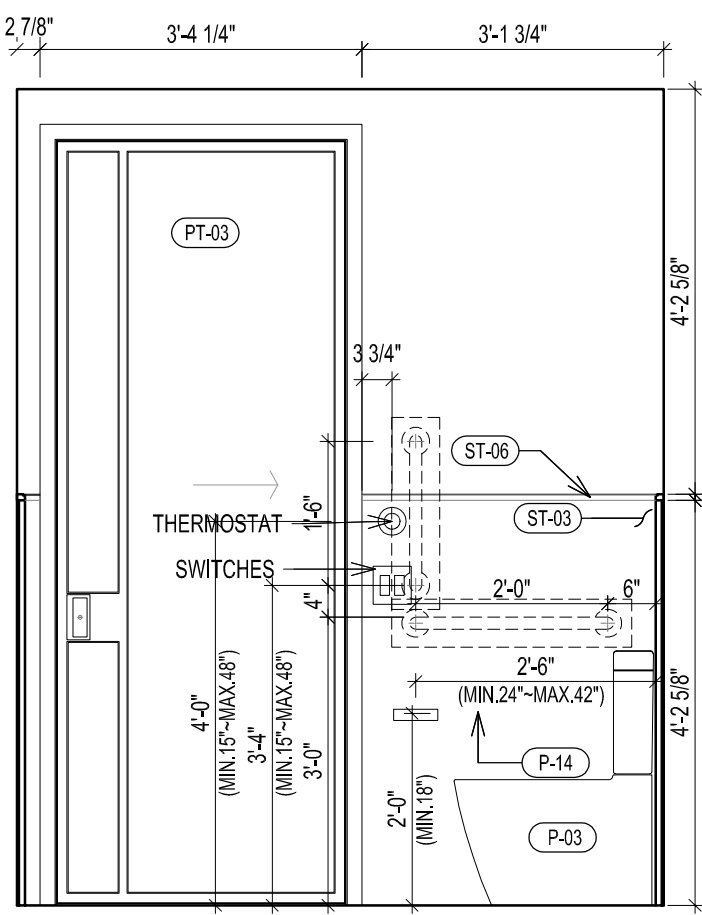
2016 RAFAEL VINOLY ARCHITECTS

- TYPICAL ADA NOTES
1) ALL DIMENSIONS SHOULD BE VERIFIED IN FIELD CONDITION
2) ALL TYPE "A" AND "APPENDIX P" BATHROOM VANITY BASE CABINETS SHALL BE REMOVABLE IN ORDER TO COMPLY WITH ANSI A117.1.2009. FINISH FLOOR SHALL CONTINUE UNDER CABINET AND COUNTER TOP SHALL BE @ 3/4" ABOVE FINISH FLOOR
3) SEE DRAWING A-709.00 FOR RESIDENTIAL PLUMBING SCHEDULE

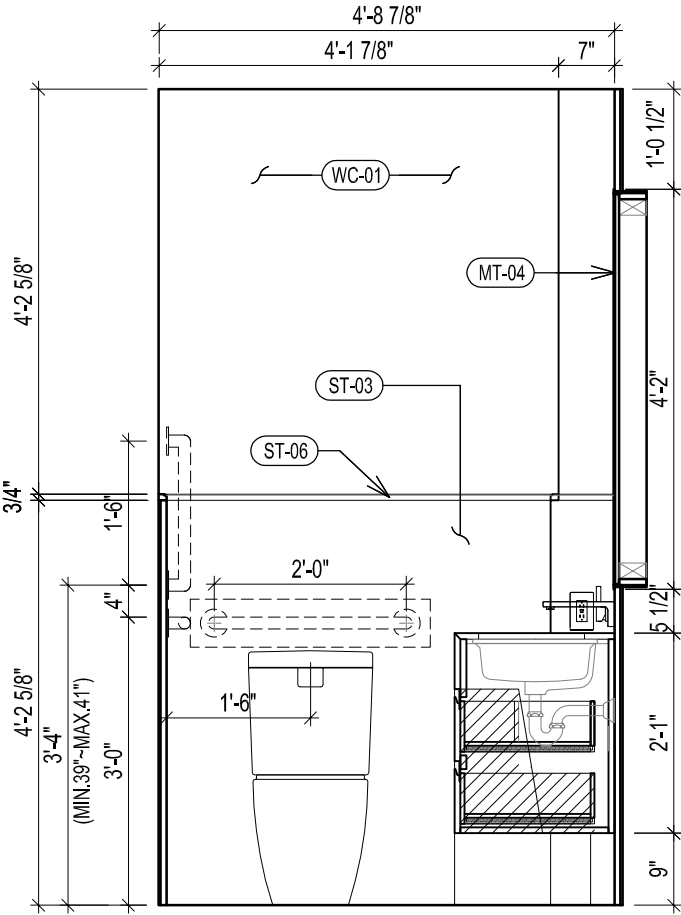
BATHROOM TYPE	FLOOR	UNIT	REMARK	VANITY TYPE
P-1A	LV 28-35	UNIT C	NYC ADAPTABLE "APPENDIX-P" BATHROOM	TYPE 7 36"



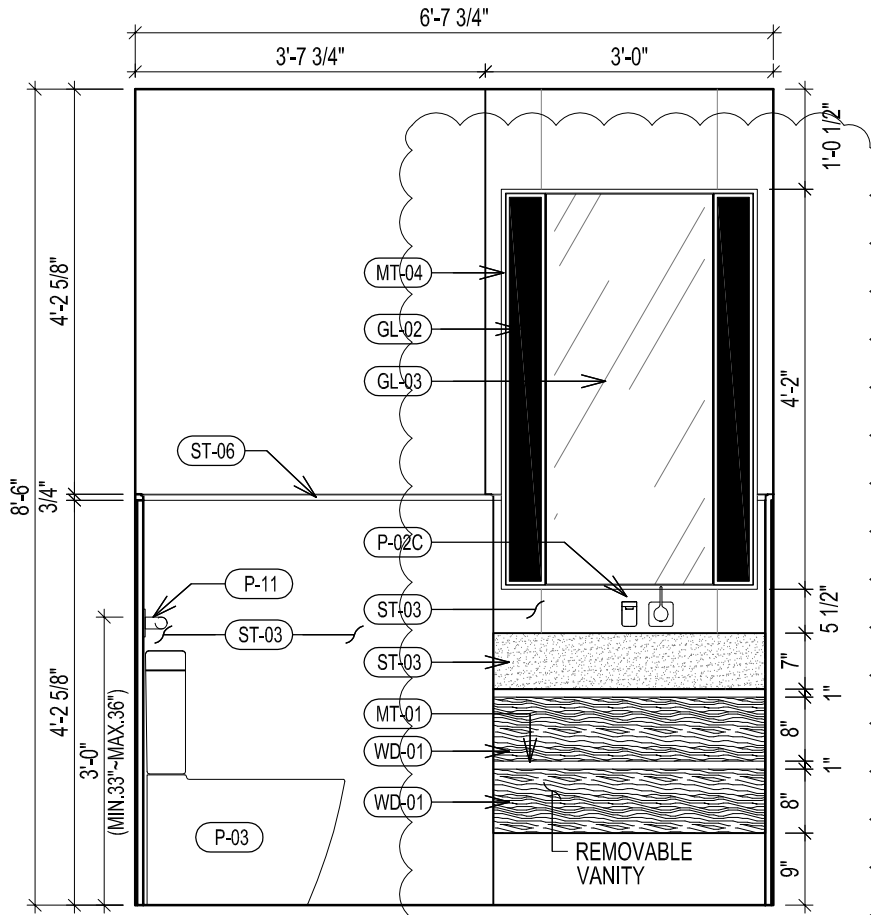
4 ELEVATION



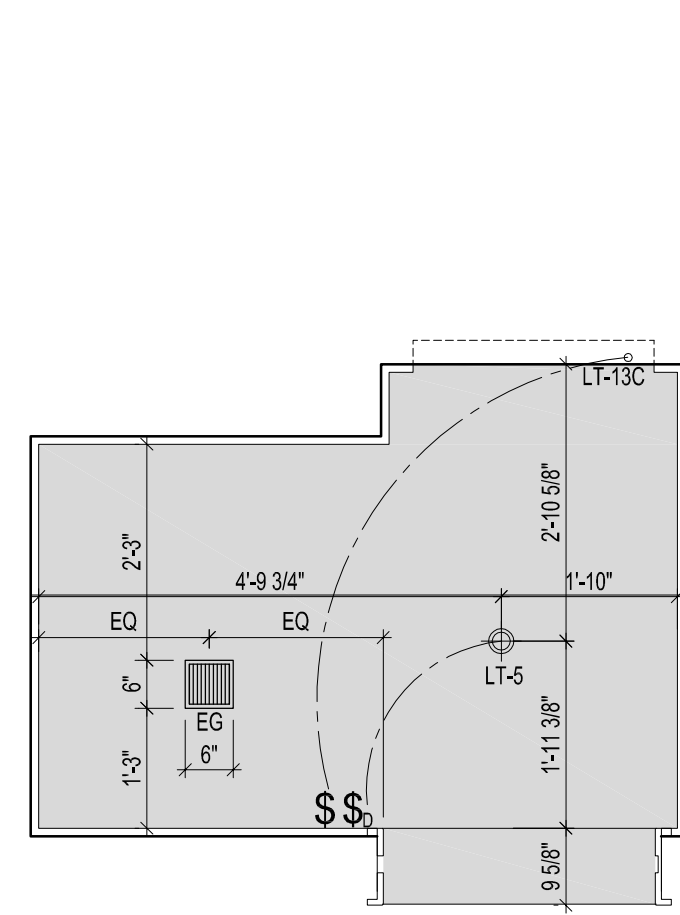
3 ELEVATION



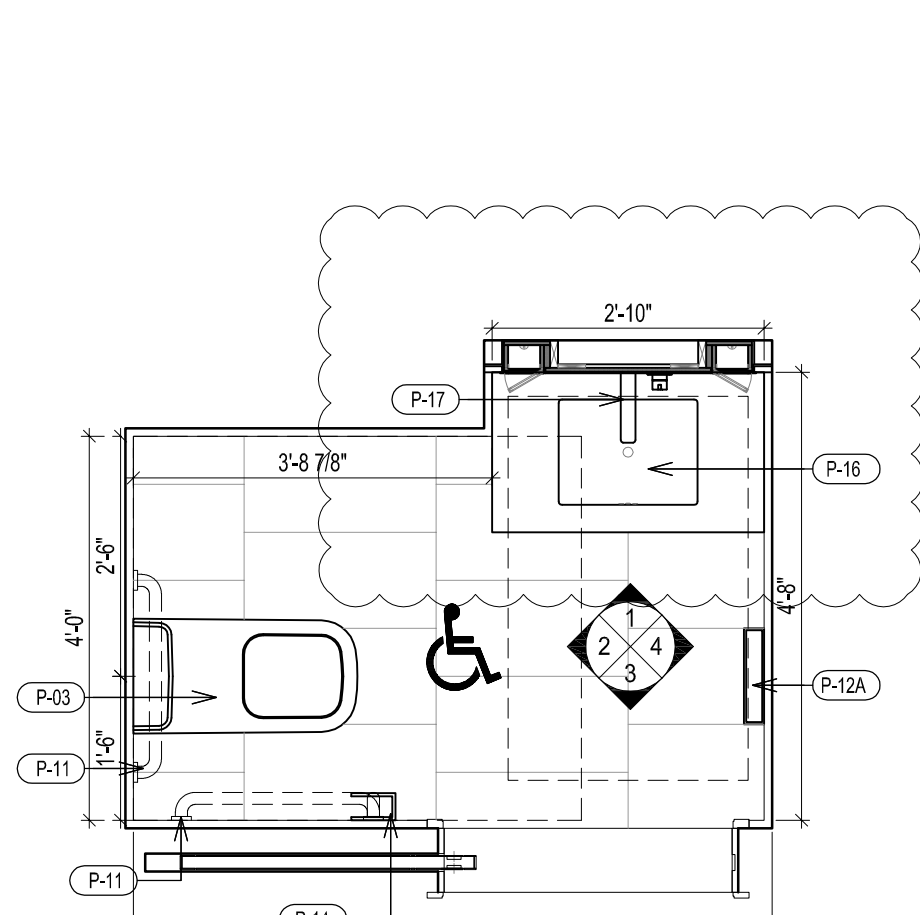
2 ELEVATION



1 ELEVATION



B TYPE P1-A RCP

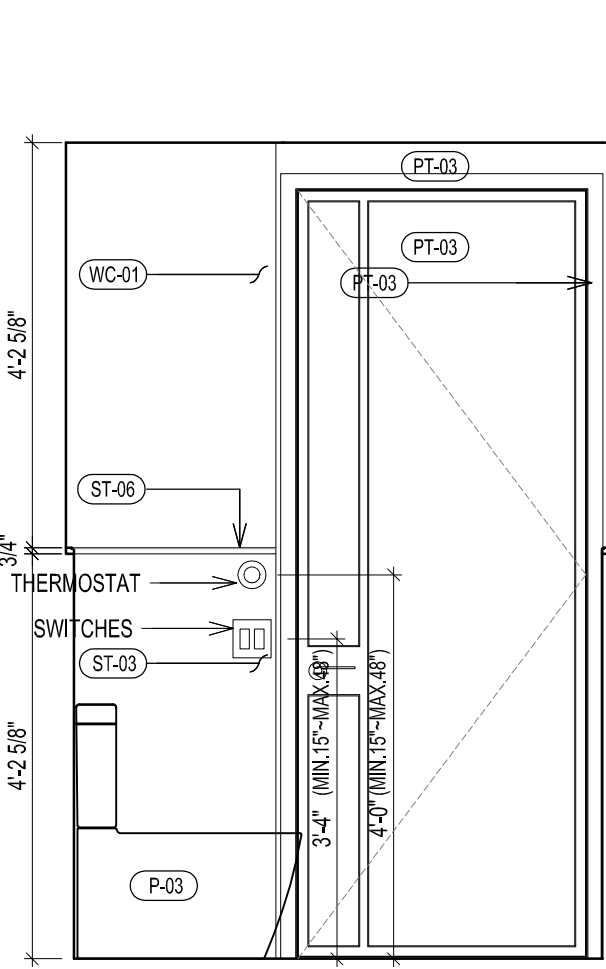


A TYPE P1-A FLOOR PLAN

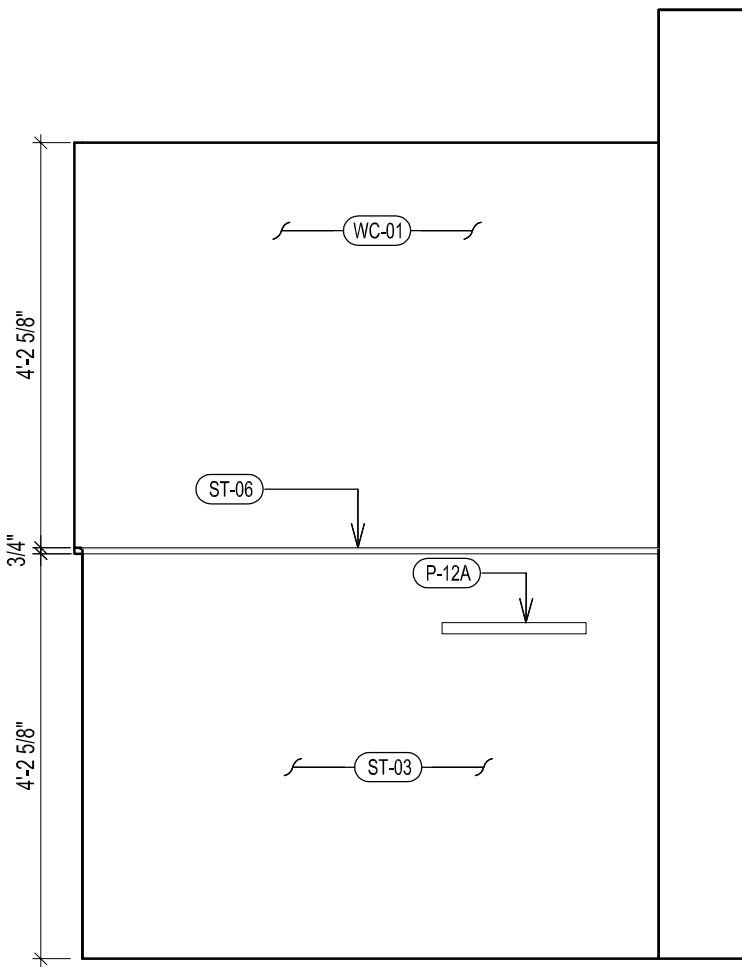
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SCALE 1/2" = 1'-0"

01

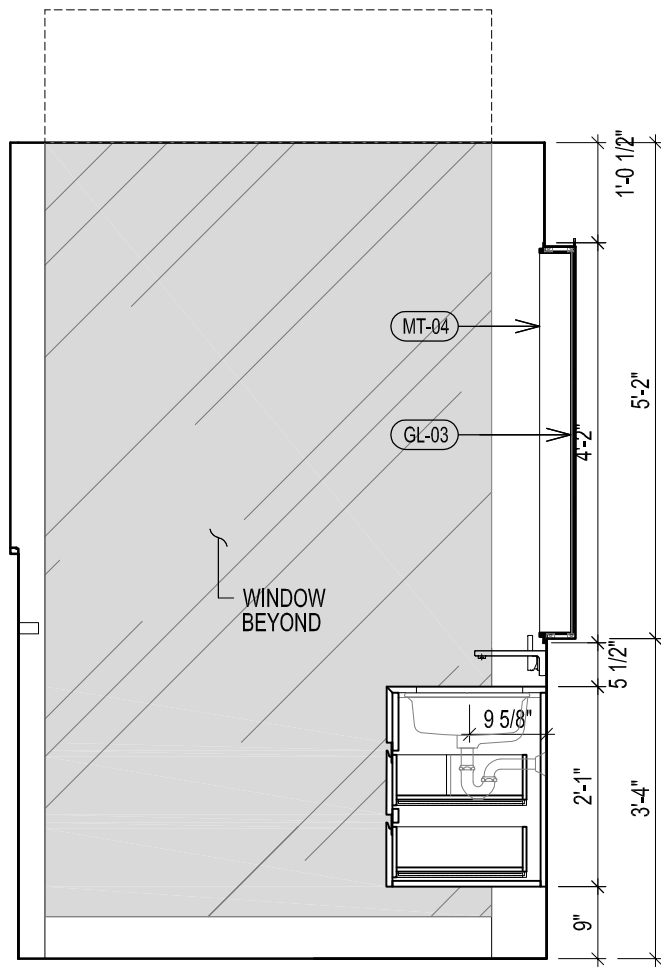
BATHROOM TYPE	FLOOR	UNIT	REMARK	VANITY TYPE
P-2A	LV 40-41	UNIT A		TYPE 7 36"
	LV 44	UNIT B		
P-2A-M	LV 42-43	UNIT A		TYPE 7 36"
	LV 46	UNIT B		



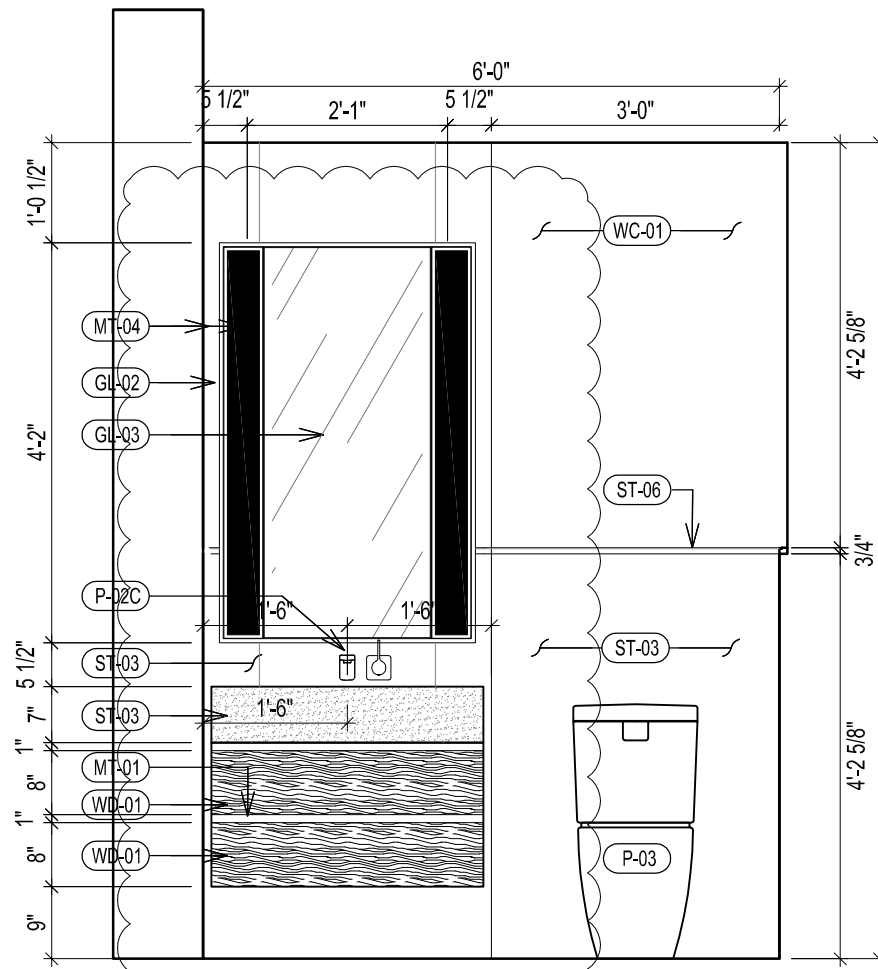
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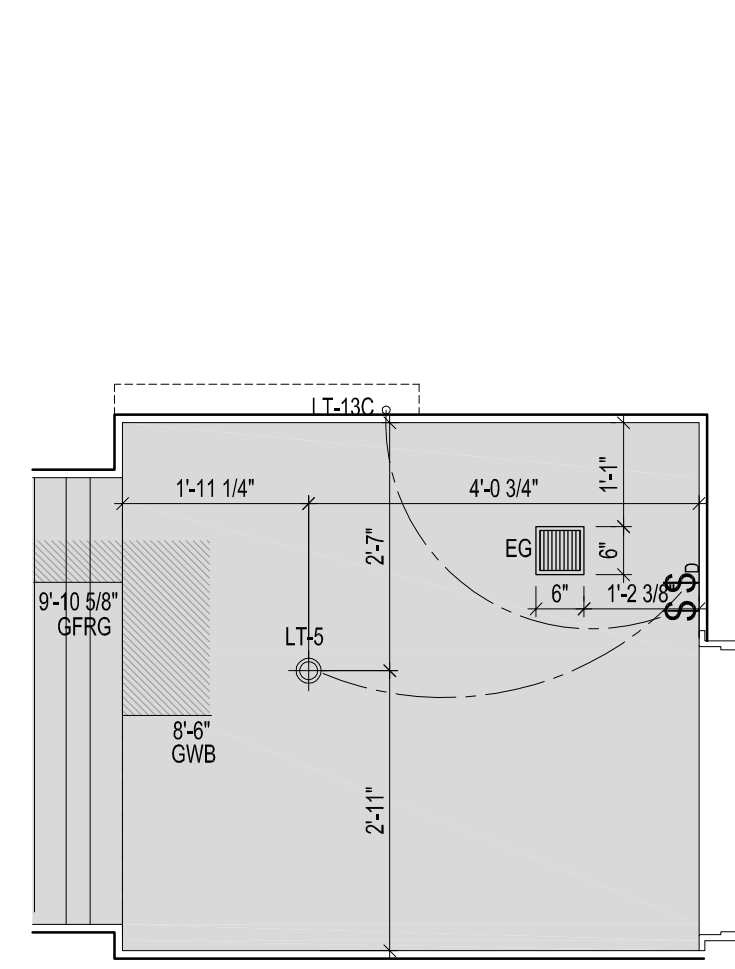
3 ELEVATION



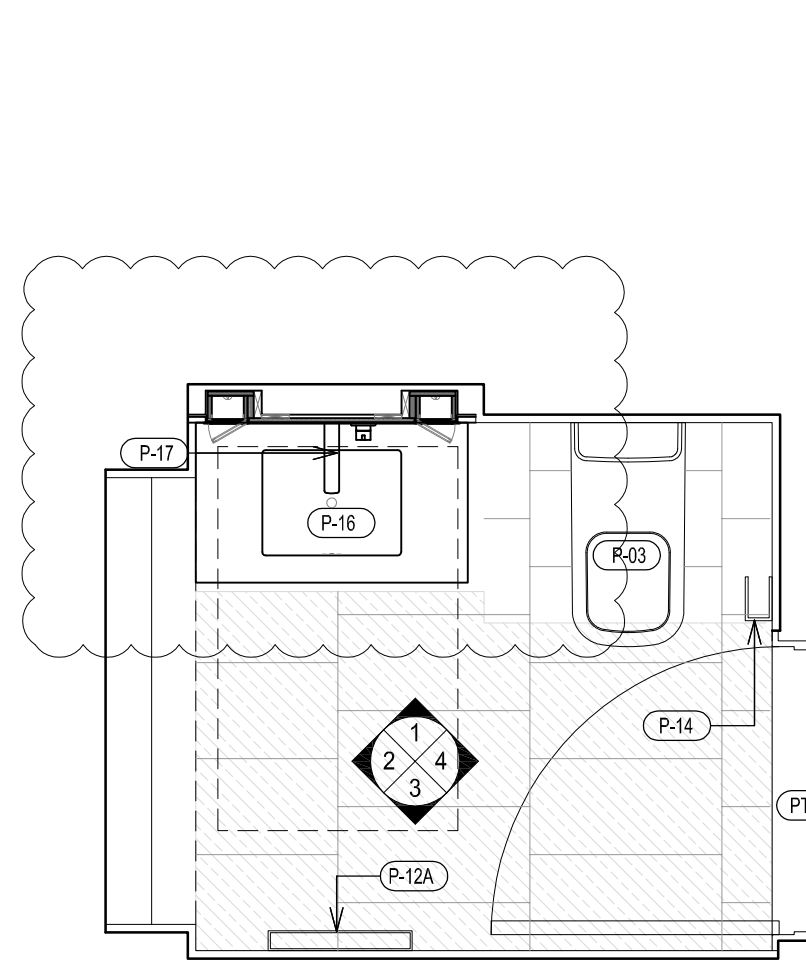
2 ELEVATION



1 ELEVATION



B TYPE P2-A RCP

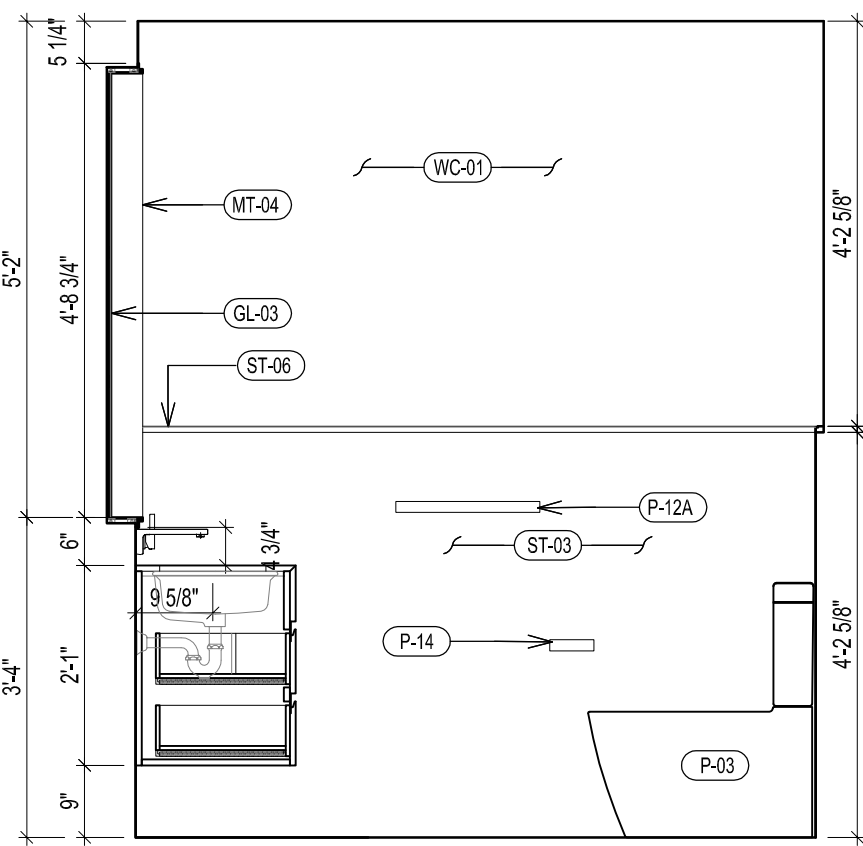


A TYPE P2-A FLOOR PLAN

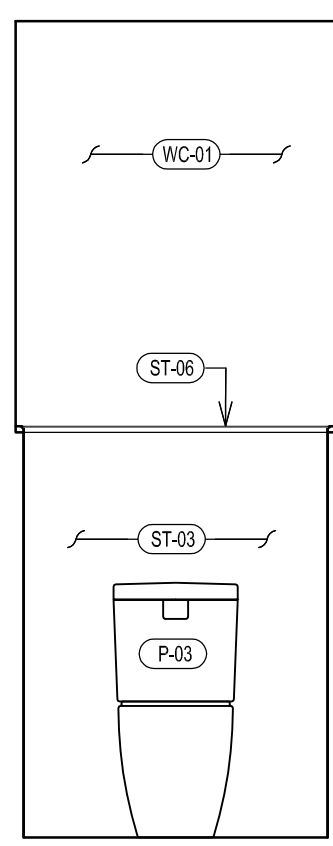
TYPICAL BATHROOM TYPE P2-A, RCP & ELEVATIONS
SCALE 1/2" = 1'-0"

02

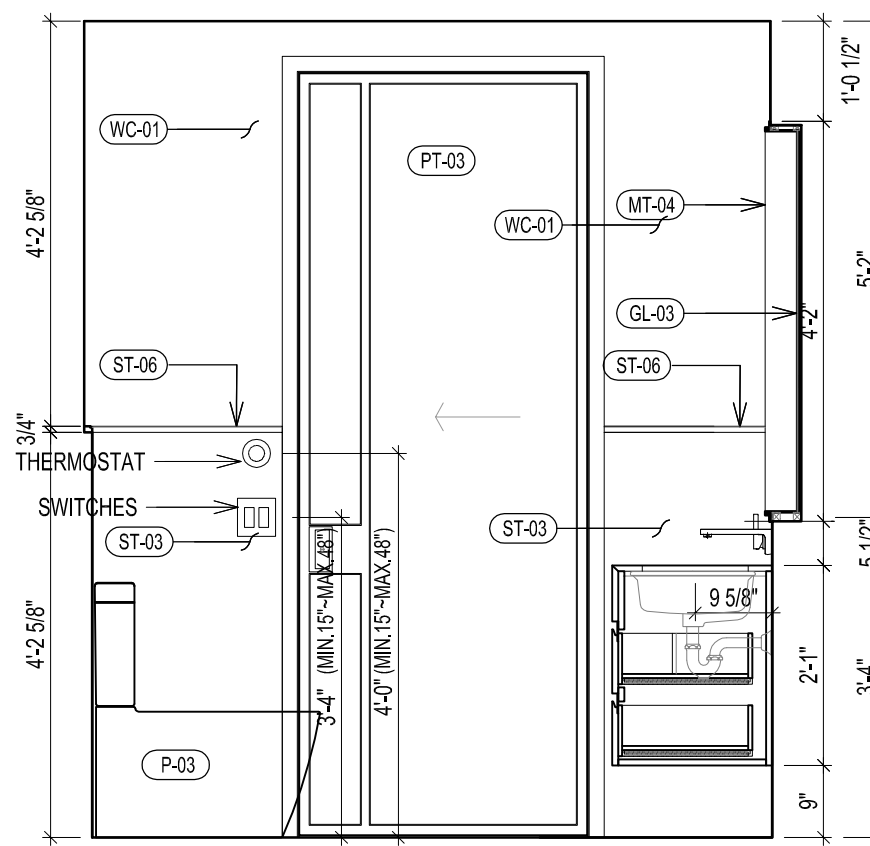
BATHROOM TYPE	FLOOR	UNIT	REMARK	VANITY TYPE
P-3A	LV 40	UNIT B		TYPE 7 36"
	LV 44	UNIT A		
P-3A-M	LV 42	UNIT B		TYPE 7 36"
	LV 46	UNIT A		



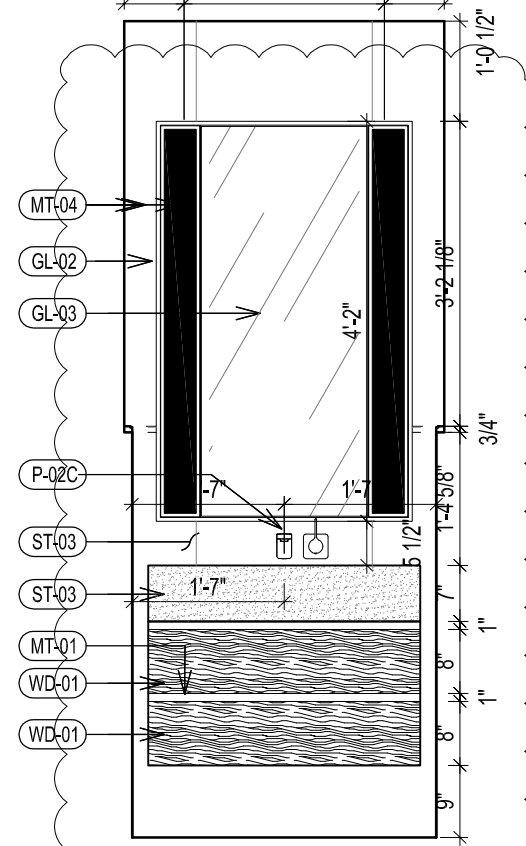
4 ELEVATION



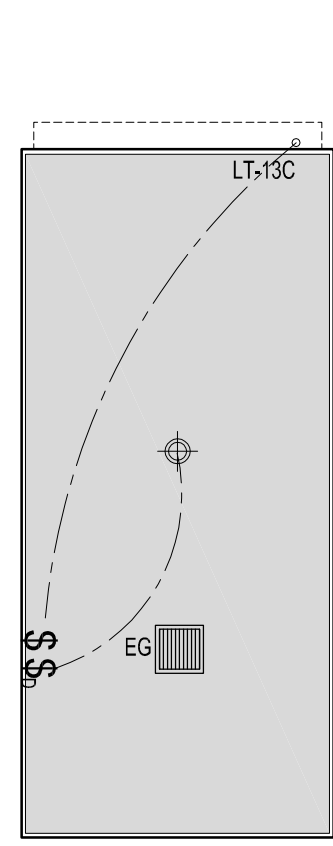
3 ELEVATION



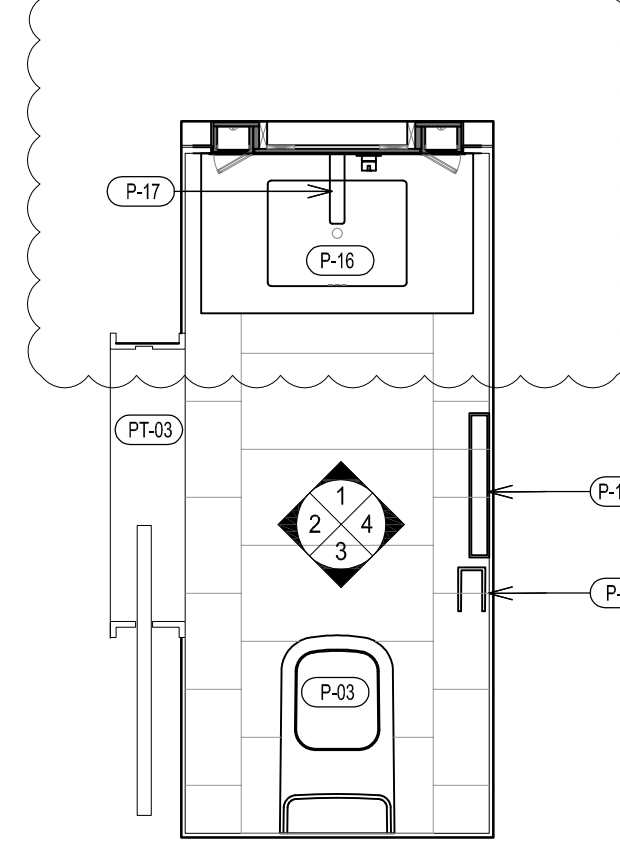
2 ELEVATION



1 ELEVATION



B TYPE P3-A RCP

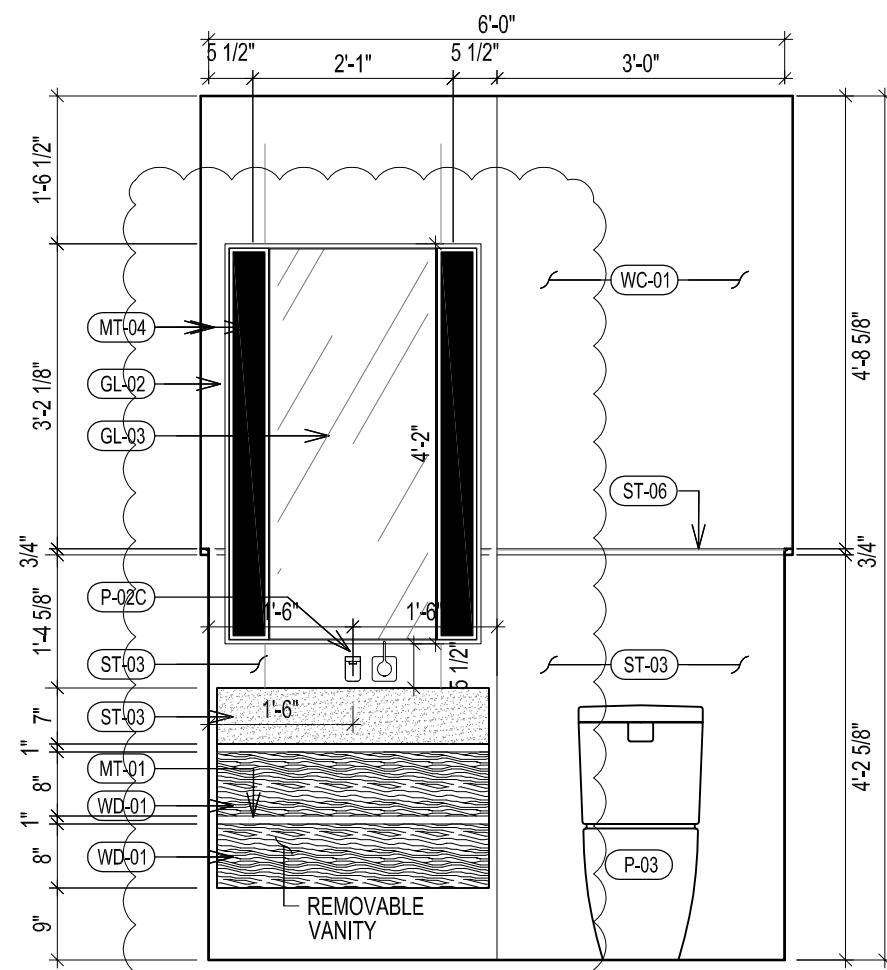


A TYPE P3-A FLOOR PLAN

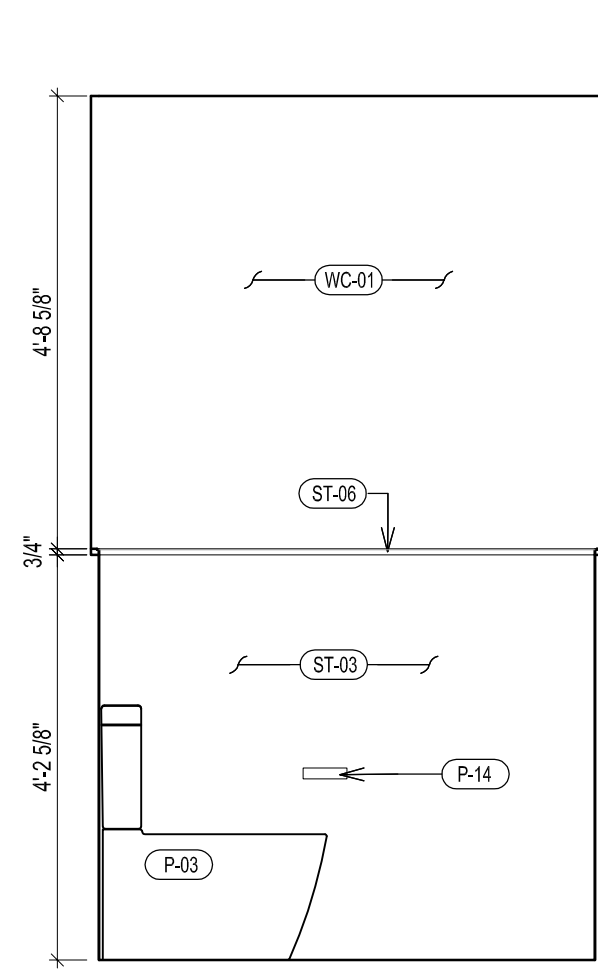
TYPICAL BATHROOM TYPE P3-A, RCP & ELEVATIONS
SCALE 1/2" = 1'-0"

03

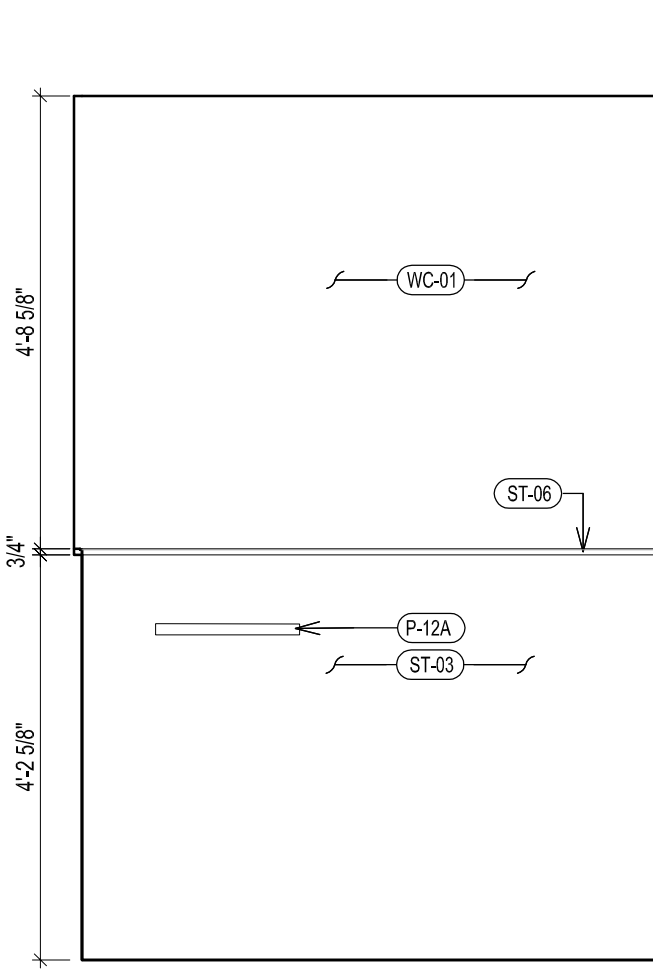
BATHROOM TYPE	FLOOR	UNIT	REMARK	VANITY TYPE
P-4A-M	LV 49	PH		TYPE 7 36"



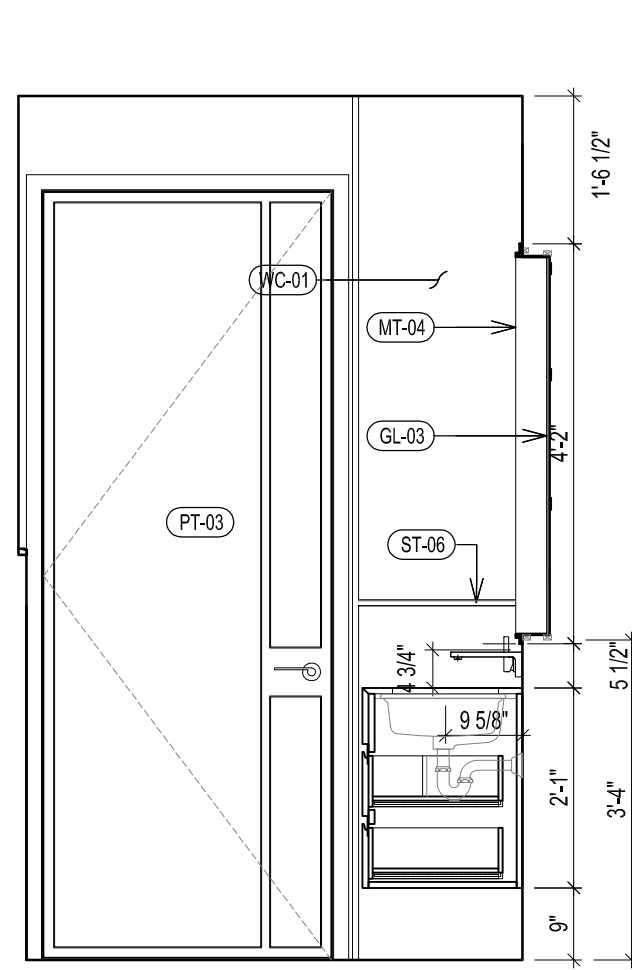
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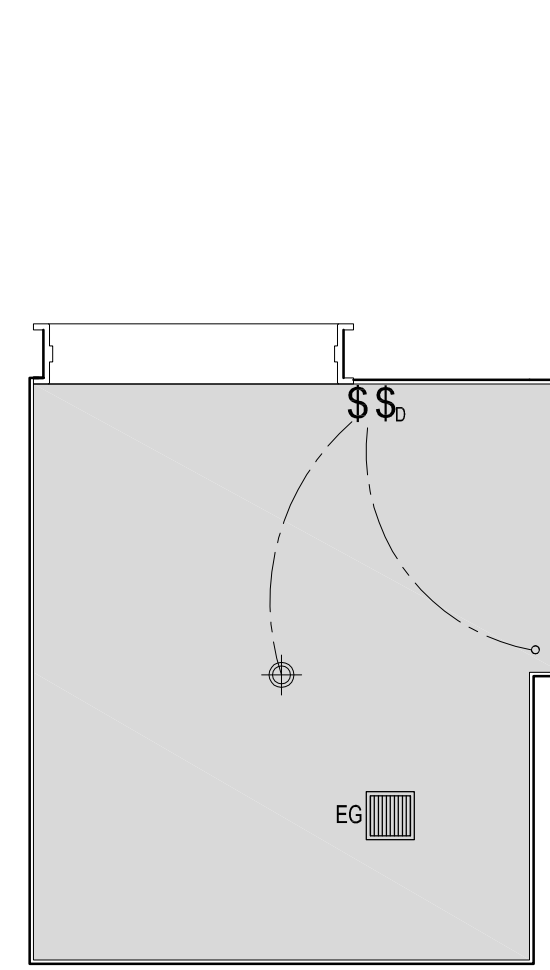
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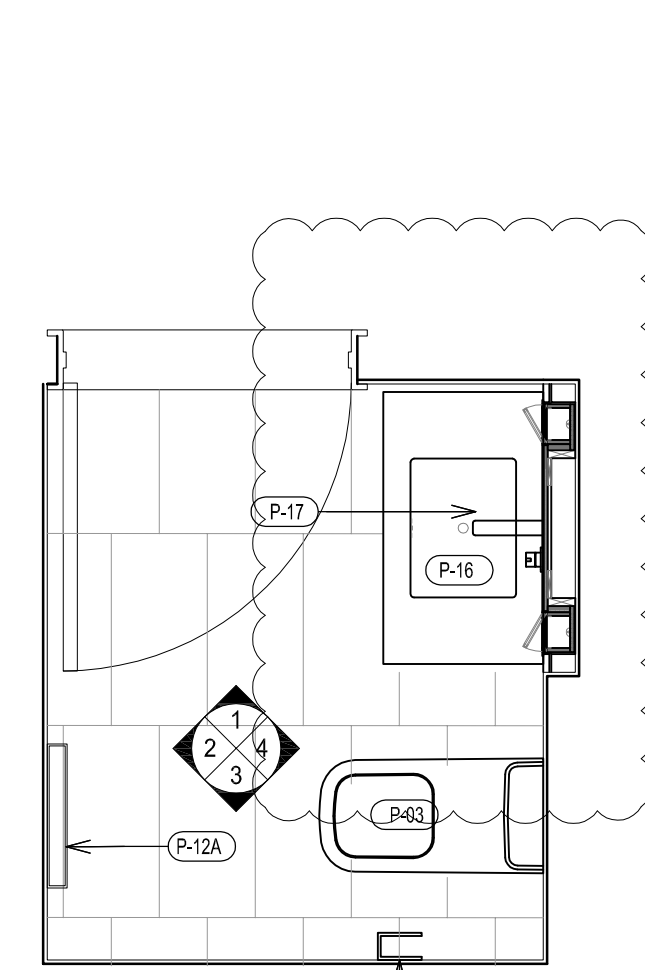
2 ELEVATION



1 ELEVATION



B TYPE P4-A RCP



A TYPE P4-A FLOOR PLAN

TYPICAL BATHROOM TYPE P3-A, RCP & ELEVATIONS
SCALE 1/2" = 1'-0"

04

277
Fifth Avenue

NEW YORK, NY

OWNER:
VICTOR NOMAD LLC

CONSTRUCTION MANAGER:
LEND LEASE
202 PARK AVENUE, 9TH FLOOR
NEW YORK, NY 10166
TEL: 212 592 6700

ARCHITECT :
RAFAEL VINOLY ARCHITECTS PC
50 VANDAM STREET
NEW YORK, NY 10013
TEL: 212 924 5060 FAX: 212 924 5858

STRUCTURAL ENGINEER:
WSP PARSONS BRINCKERHOFF
ONE PENN PLAZA, 4TH FLOOR
NEW YORK, NY 10119
TEL: 212 687 9888

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GEOTECH CIVIL ENGINEER:
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300 KIMBALL DRIVE, 4TH FLOOR
PARSIPPANY, NJ, 07054
TEL: 973 560 4900

VERTICAL TRANSPORT, CONSULTANT:
VAN DEUSEN & ASSOCIATES
120 EAGLE ROCK AVENUE, SUITE 310
EAST HANOVER, NJ, 07936
TEL: 973 994 9220

ENCLOSURE CONSULTANT:
VIDARIS, INC.
360 PARK AVENUE SOUTH, 15TH FLOOR
NEW YORK, NY, 10010
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FAÇADE MAINTENANCE CONSULTANT:
ENTEK ENGINEERING LLC
166 AMES STREET
HACKENSACK, NJ, 07601
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ACOUSTICAL CONSULTANT:
CERAMI & ASSOCIATES
404 FIFTH AVENUE
NEW YORK, NY, 10018
TEL: 212 616 4179

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ONE LUX STUDIO
158 WEST 29TH STREET, 10TH FLOOR
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NEW YORK, NY, 10018
TEL: 212 691 3248

ENERGY MODELING CONSULTANT:
STEVEN WINTER ASSOCIATES, INC
307 SEVENTH AVENUE, SUITE 1701
NEW YORK, NY, 10001
TEL: 212 564 5800

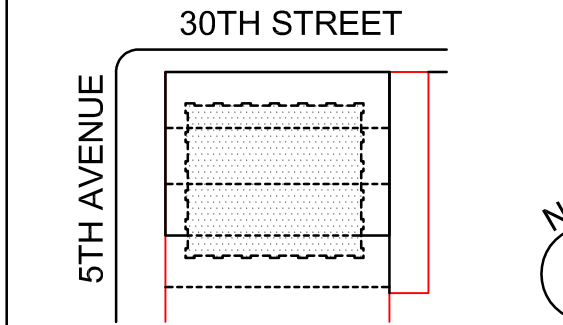
INTERIOR DESIGN CONSULTANT:
BEERS INTERIORS
156 5TH AVENUE, PENTHOUSE 2
NEW YORK, NY, 10010
TEL: 212 352 2020

NYC DEPT. OF BUILDINGS
PAA #2

ARCHITECT'S SEAL

Areg Asatryan, RA
U. [Signature]
APPROVED
Under Directive 2 of 2015
DESIGN PROFESSIONAL REGISTRATION
Date: 04/19/2018
NYC Development Hub

09/08/2017 PAA #2
02/24/2017 PAA #1
ISSUE NO. DATE DESCRIPTION



KEY PLAN AND NORTH SIGN
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REFER TO GRAPHIC SCALE



SCALE 1/2" = 1'-0"

TYPICAL BATHROOM
TYPES PLANS, RCPs &
ELEVATIONS

P1-A, P2-A, P3-A, P4-A

SHEET TITLE :

A-529.01

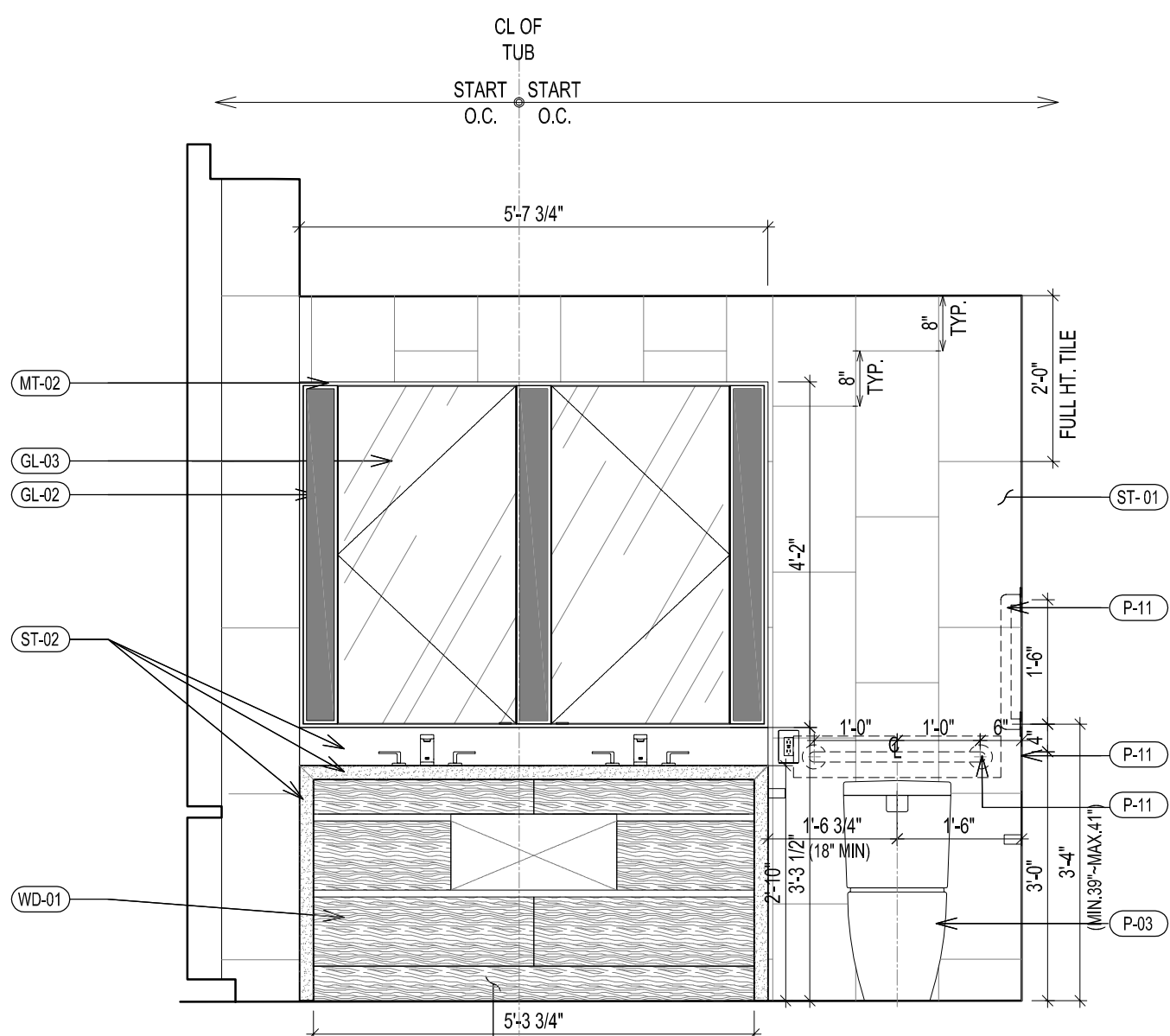
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C
D
E

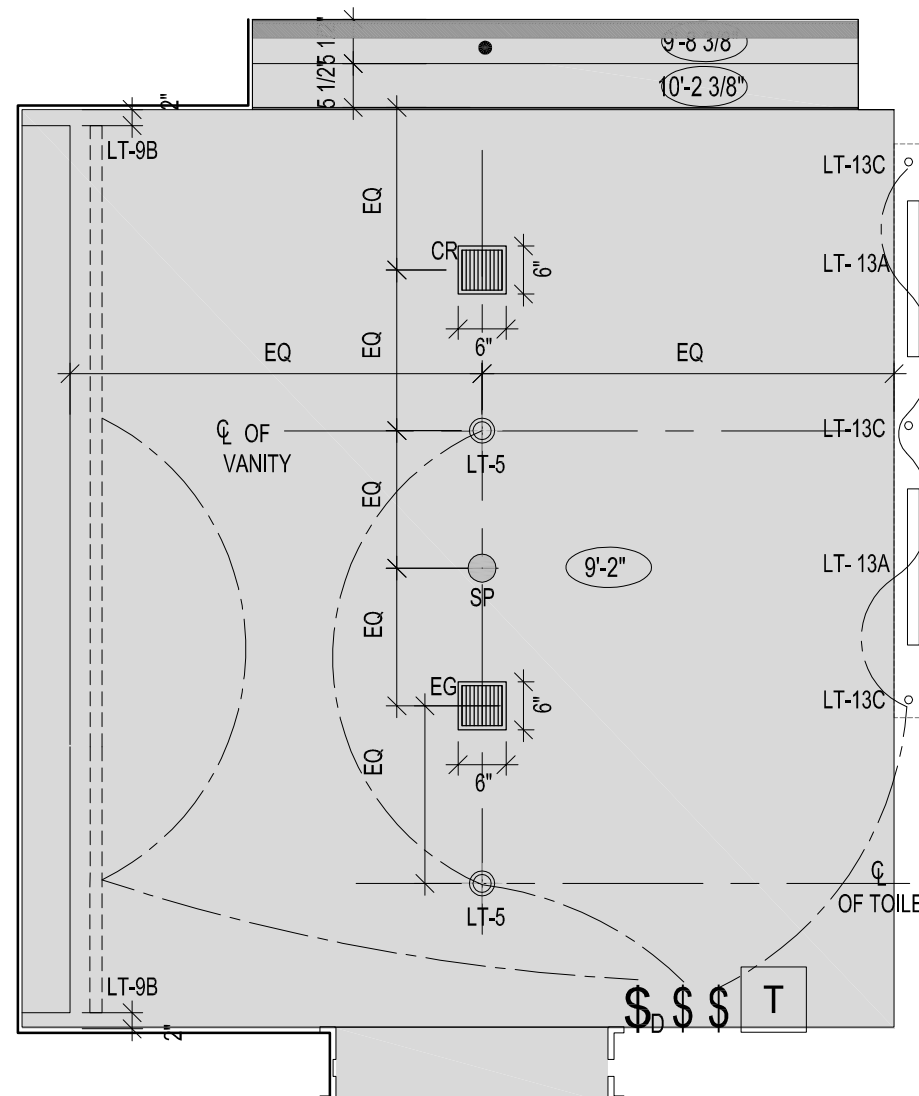
TYPICAL ADA NOTES
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FINISH FLOOR SHALL CONTINUE UNDER CABINET AND COUNTER TOP SHALL BE @ 3/4" ABOVE FINISH FLOOR
3) SEE DRAWING A-709.00 FOR RESIDENTIAL PLUMBING SCHEDULE

BATHROOM TYPE	FLOOR	UNIT	CEILING HT	REMARK	VANITY TYPE
MB-1E	LV 36-39	UNIT B	8'-6"	NYC ADAPTABLE "APPENDIX-P" BATHROOM	TYPE 5 68"

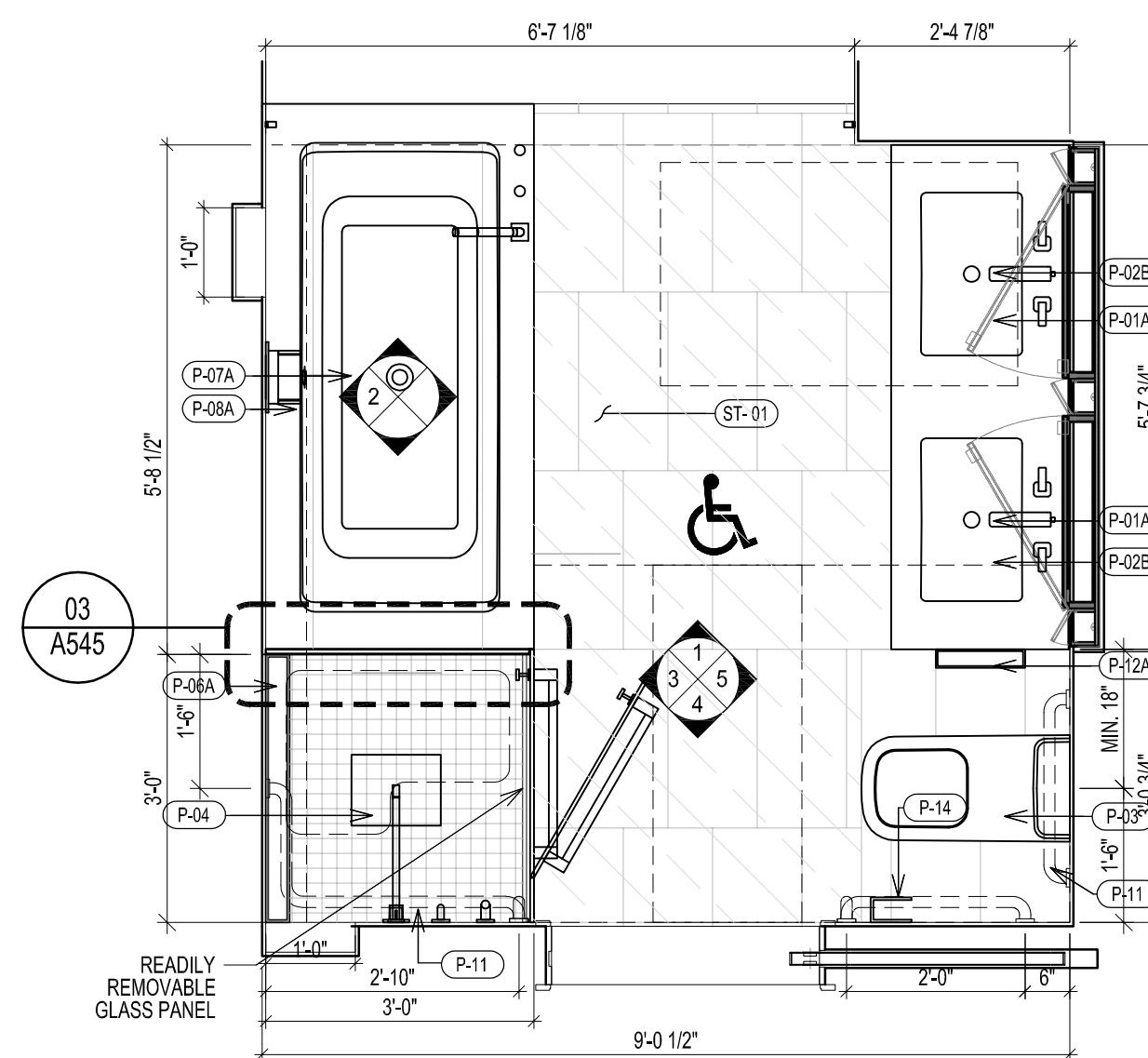
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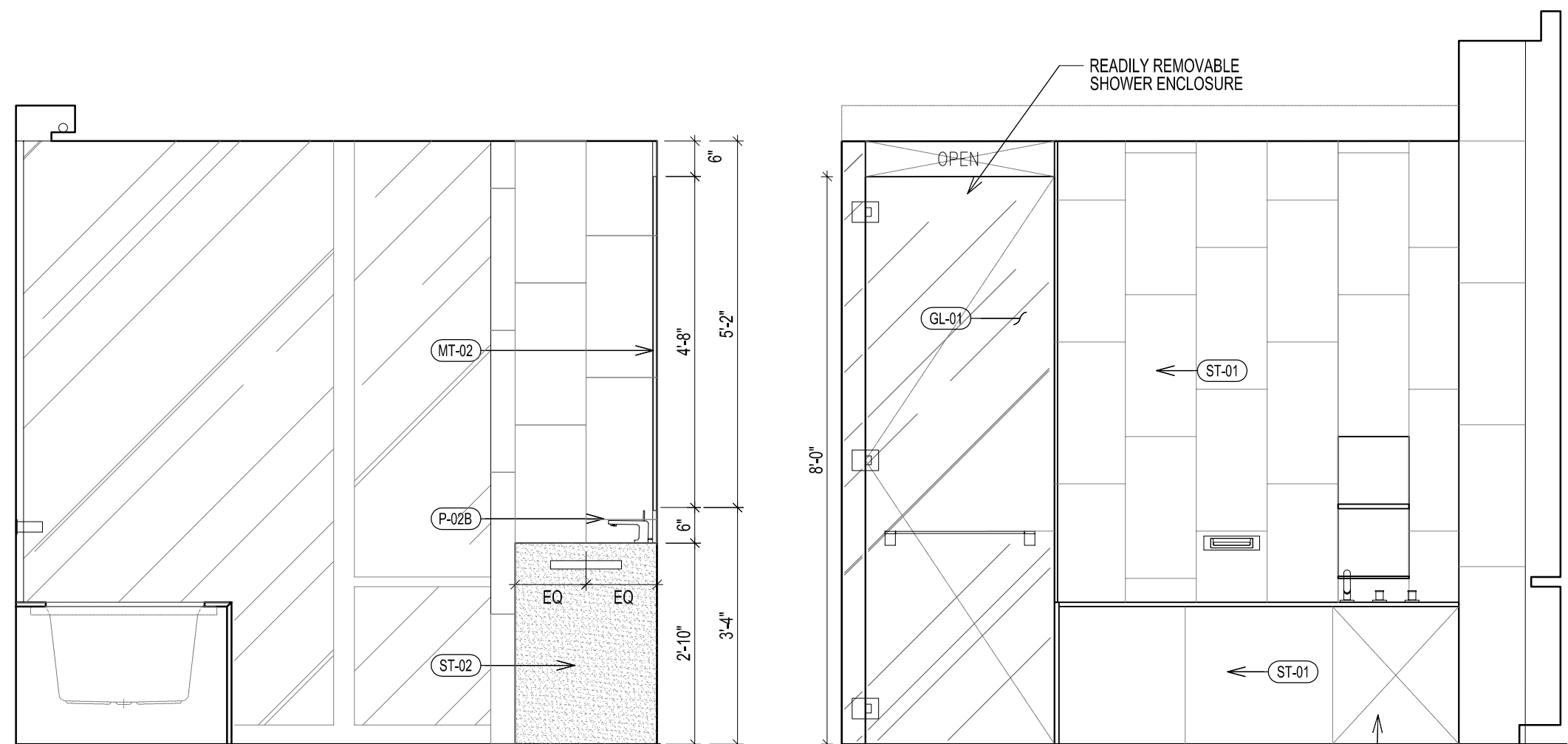
5 ELEVATION



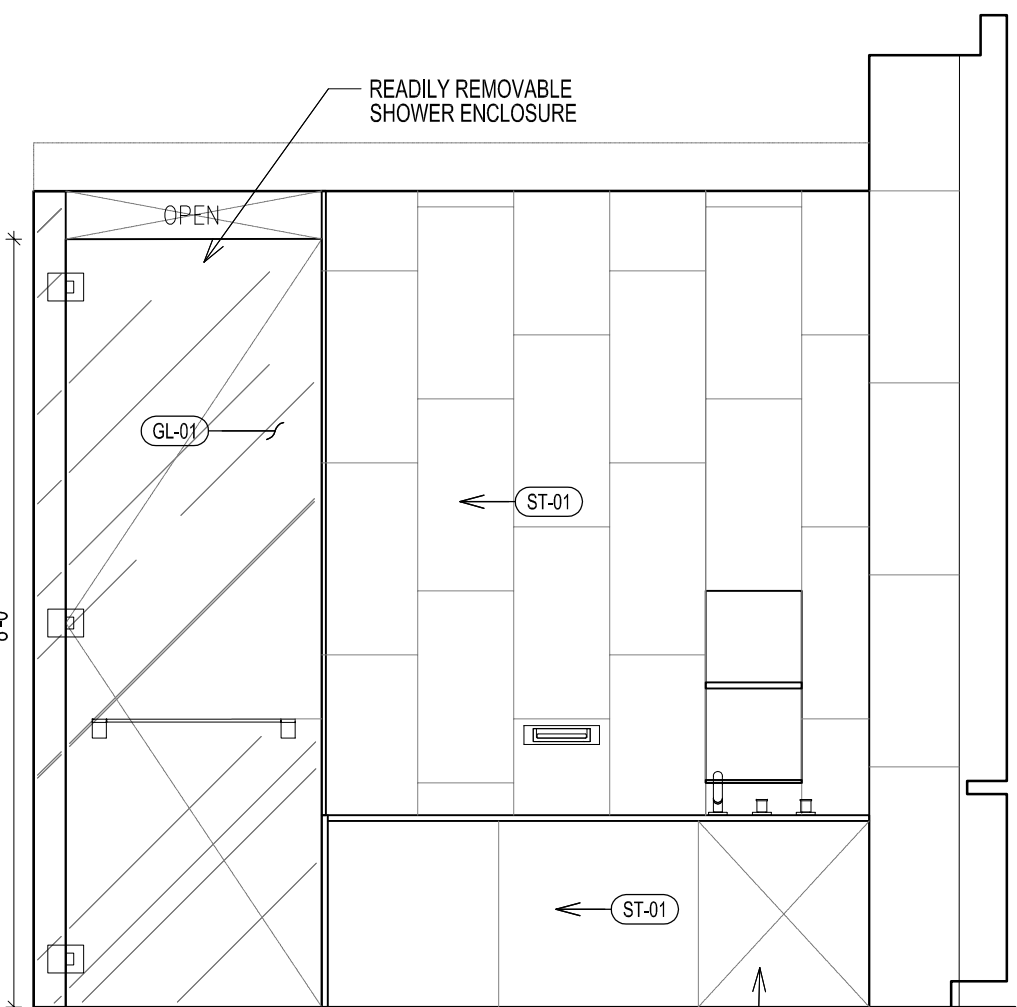
B TYPE MB-1 RCP



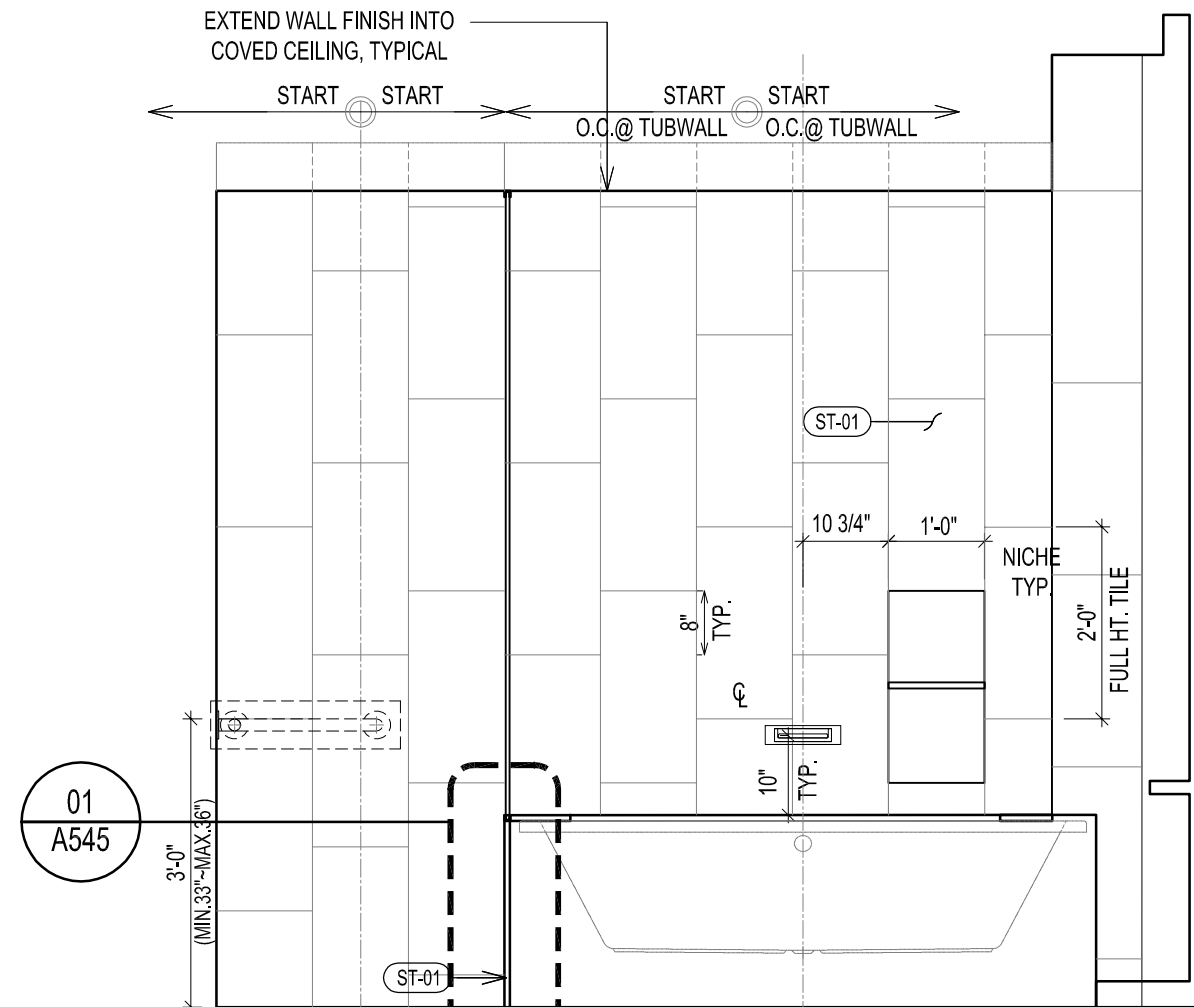
A TYPE MB-1 FLOOR PLAN



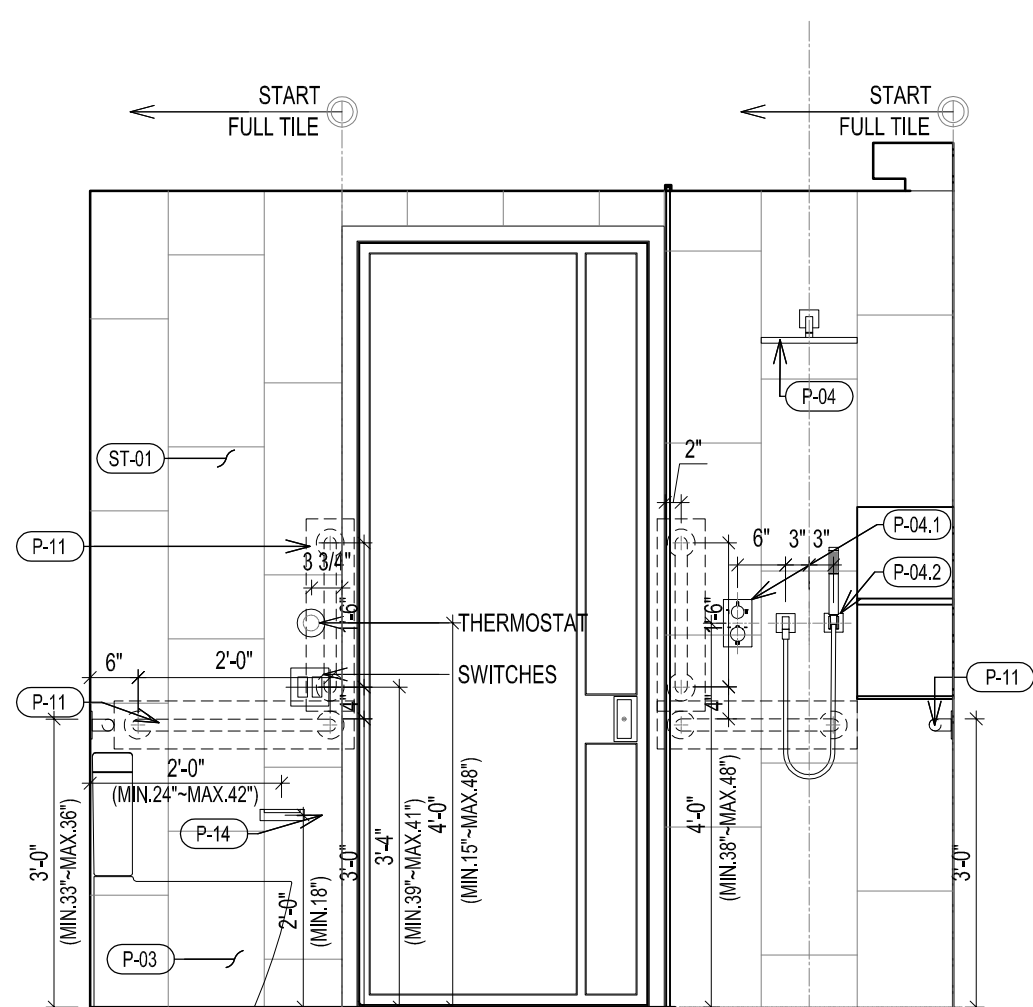
4 ELEVATION



3 ELEVATION



2 ELEVATION



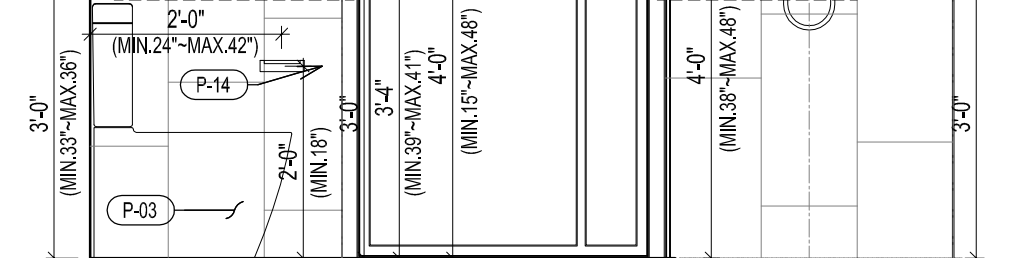
1 ELEVATION

TYPICAL BATHROOM TYPE MB-1 PLAN, RCP & ELEVATIONS
SCALE 1/2" = 1'-0"

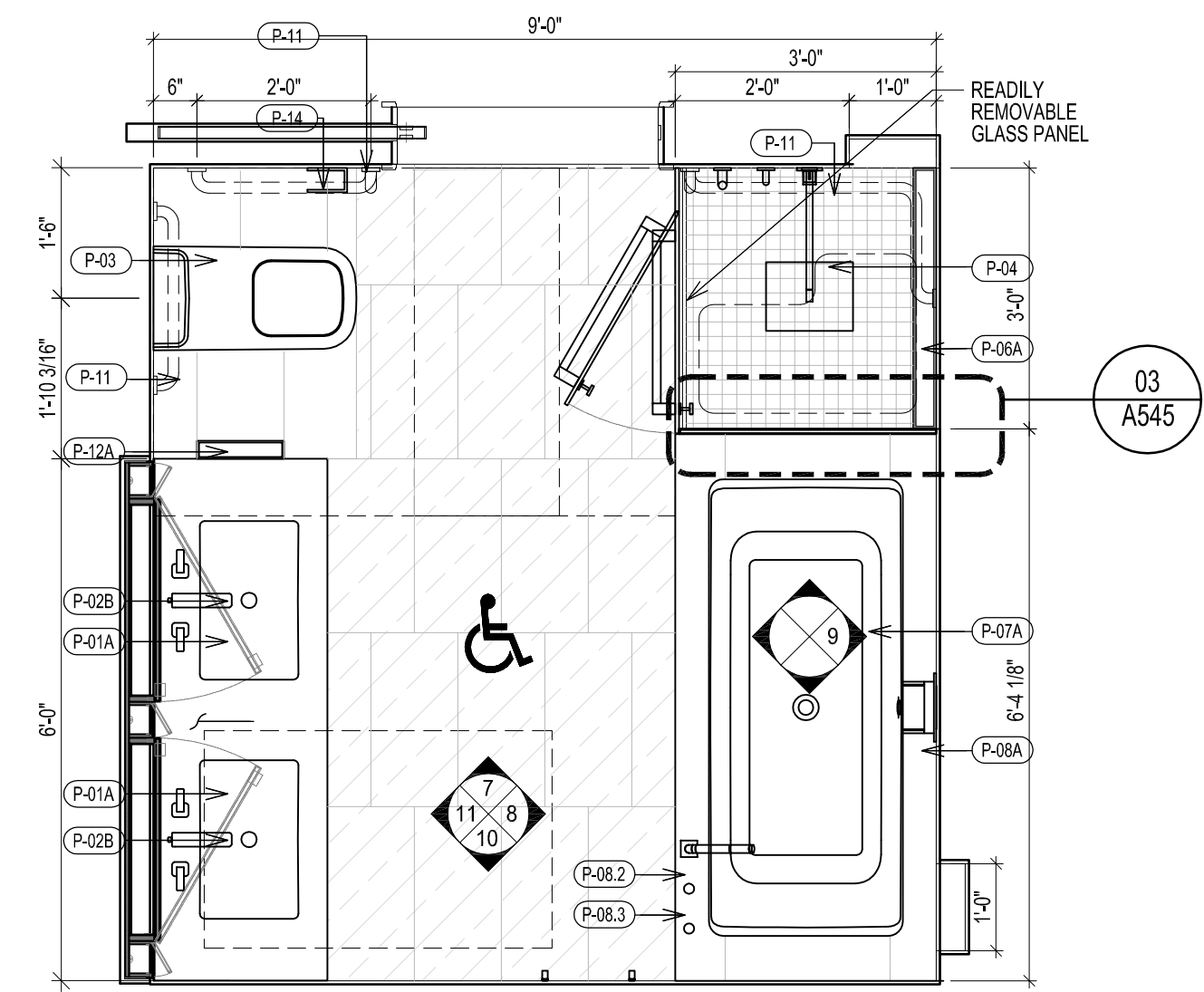
BATHROOM TYPE	FLOOR	UNIT	CEILING HT	REMARK	VANITY TYPE
MB-2A	LV 7	UNIT D	9'-2"	NYC ADAPTABLE "APPENDIX-P" BATHROOM	TYPE 4 72"

NOTE: ALL BATHROOM TO BE INSTALLED HEATING MAT UNDERNEATH FLOOR FINISH
UNLESS OTHERWISE INDICATED

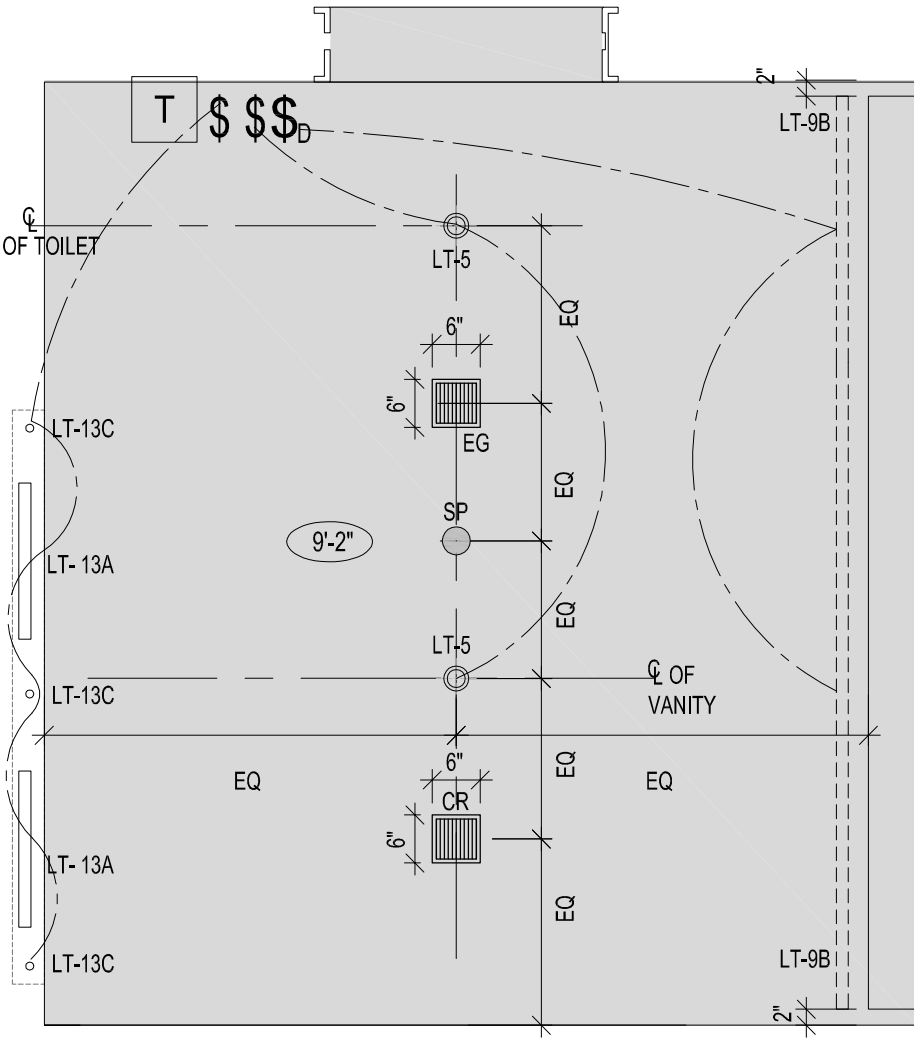
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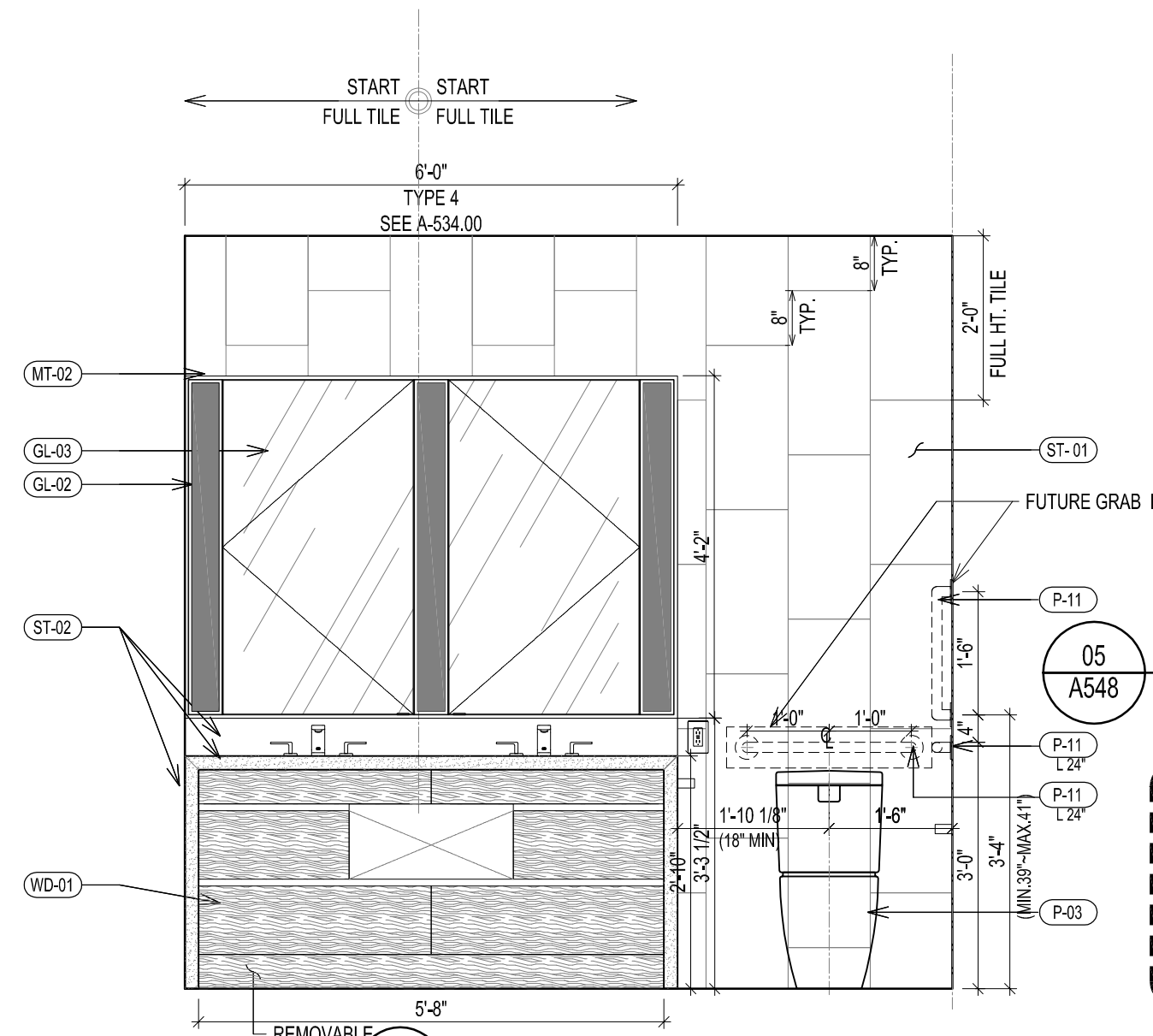
1 ELEVATION



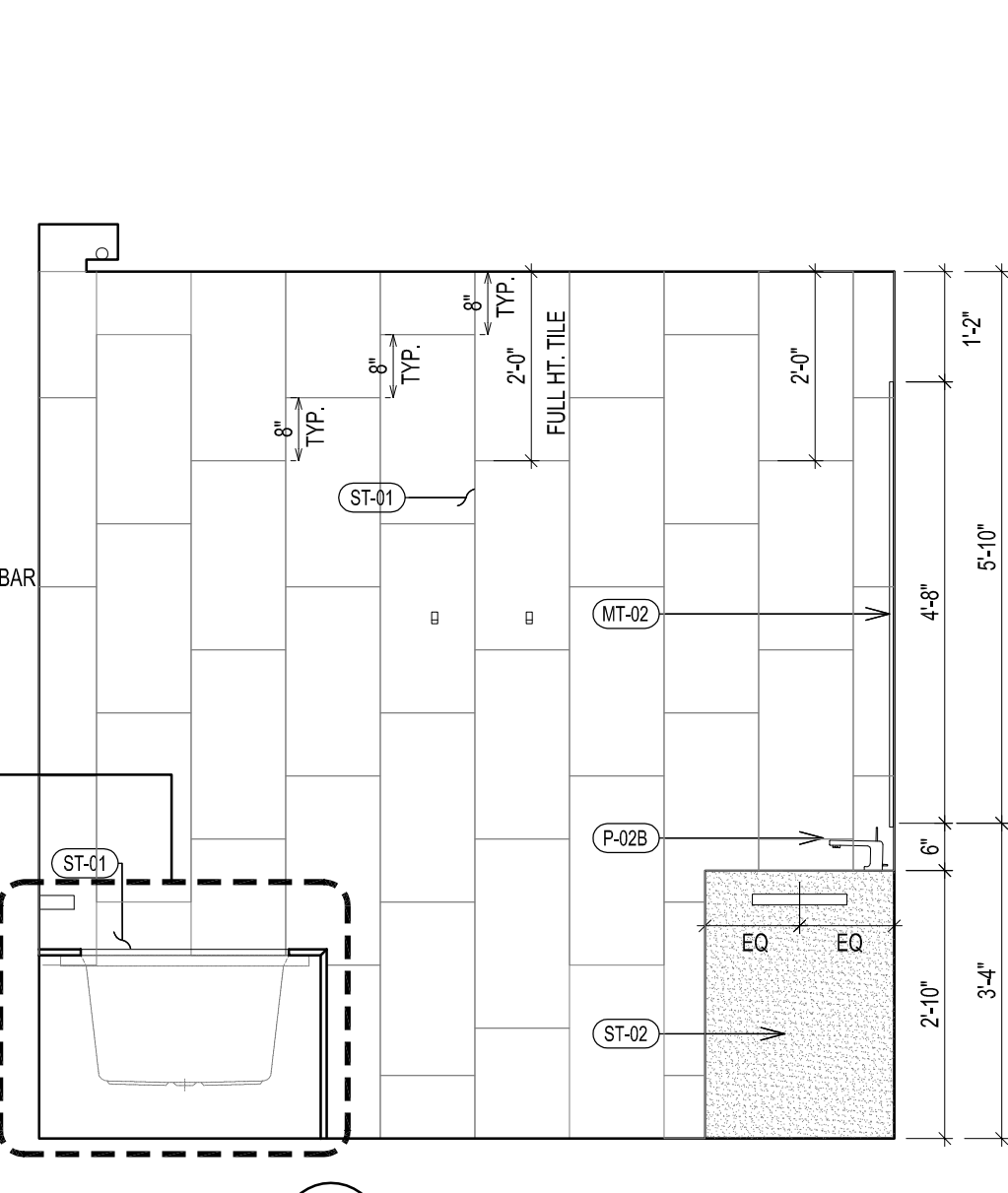
D TYPE MB-2 FLOOR PLAN



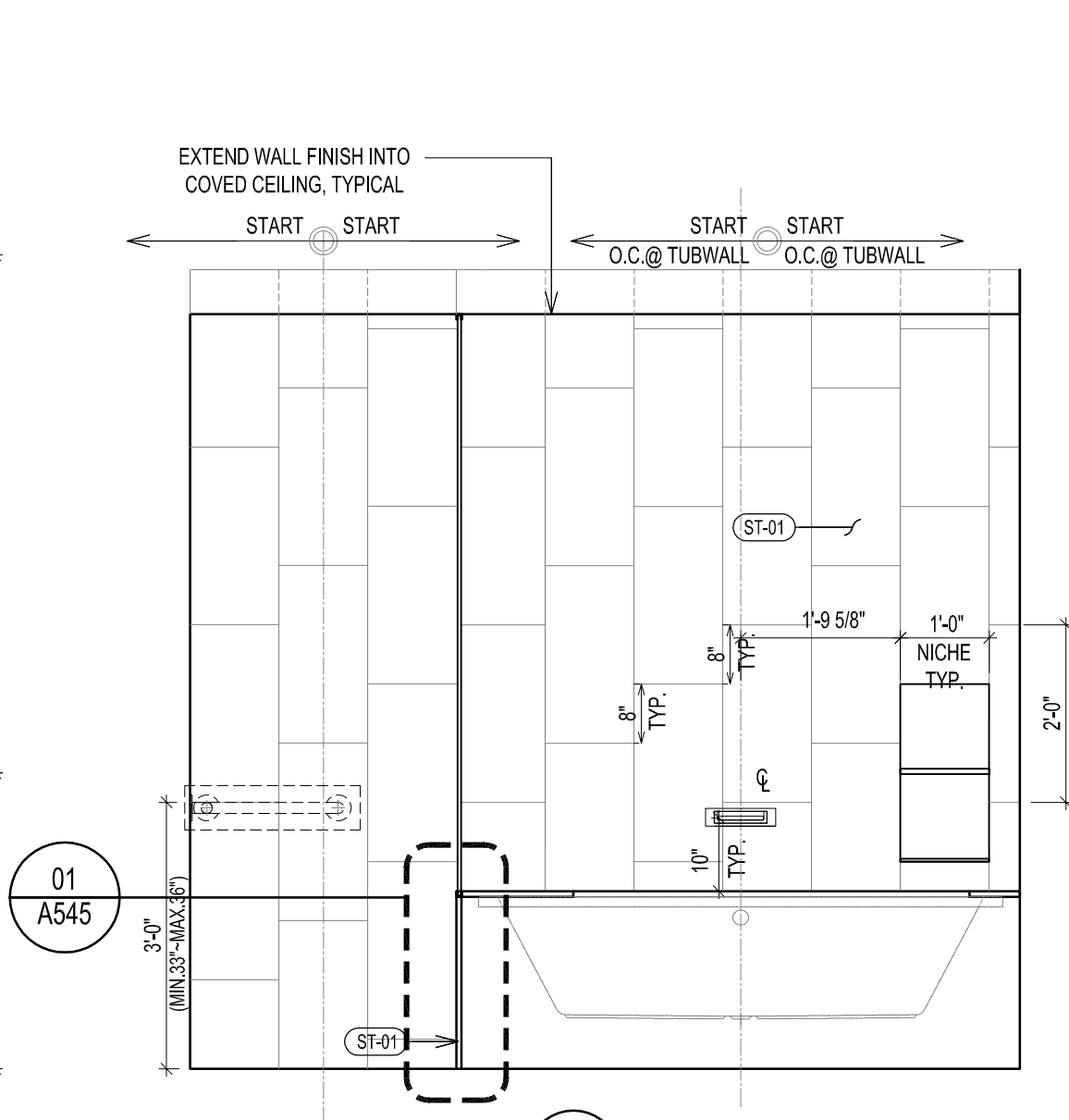
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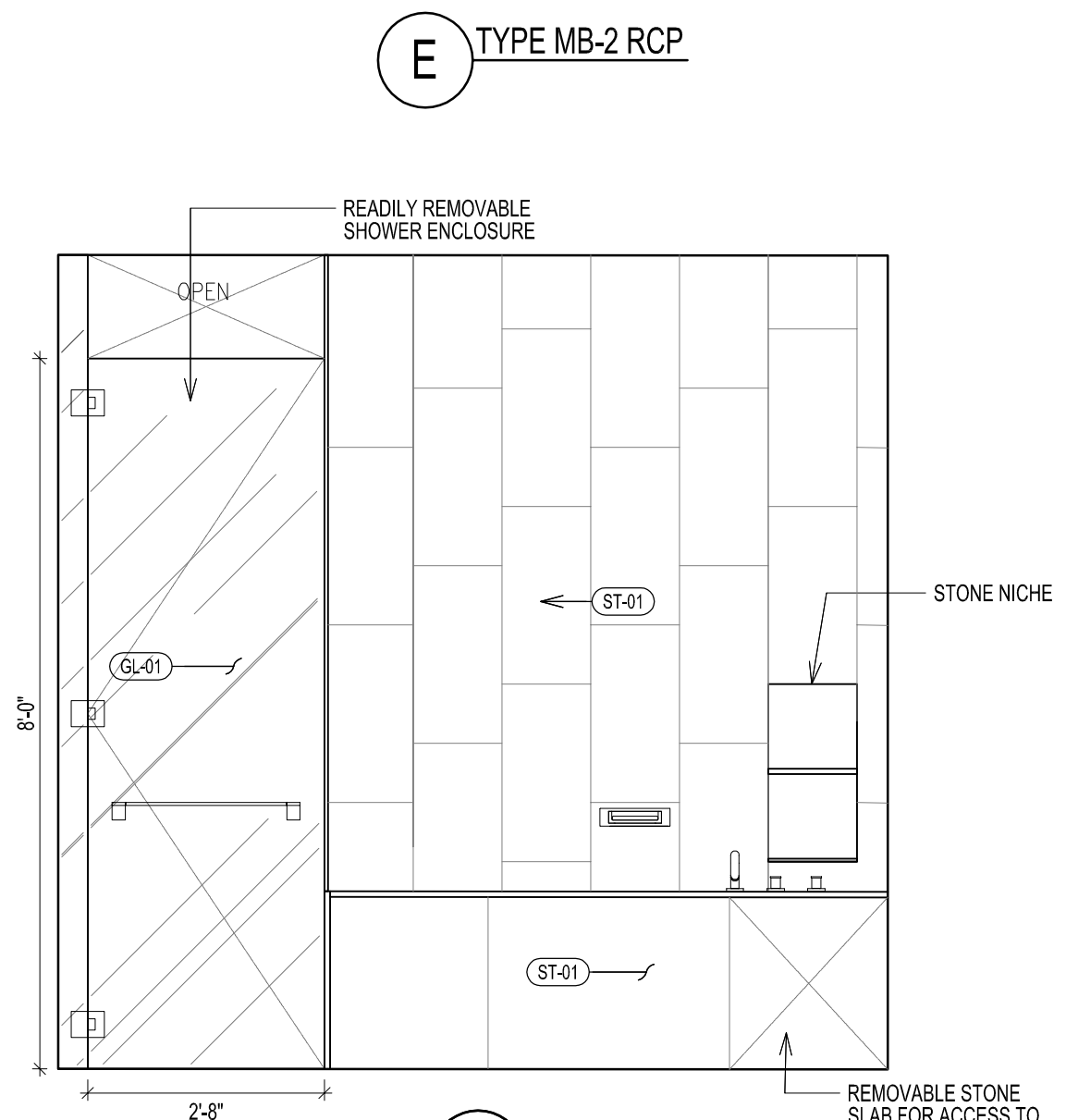
11 ELEVATION



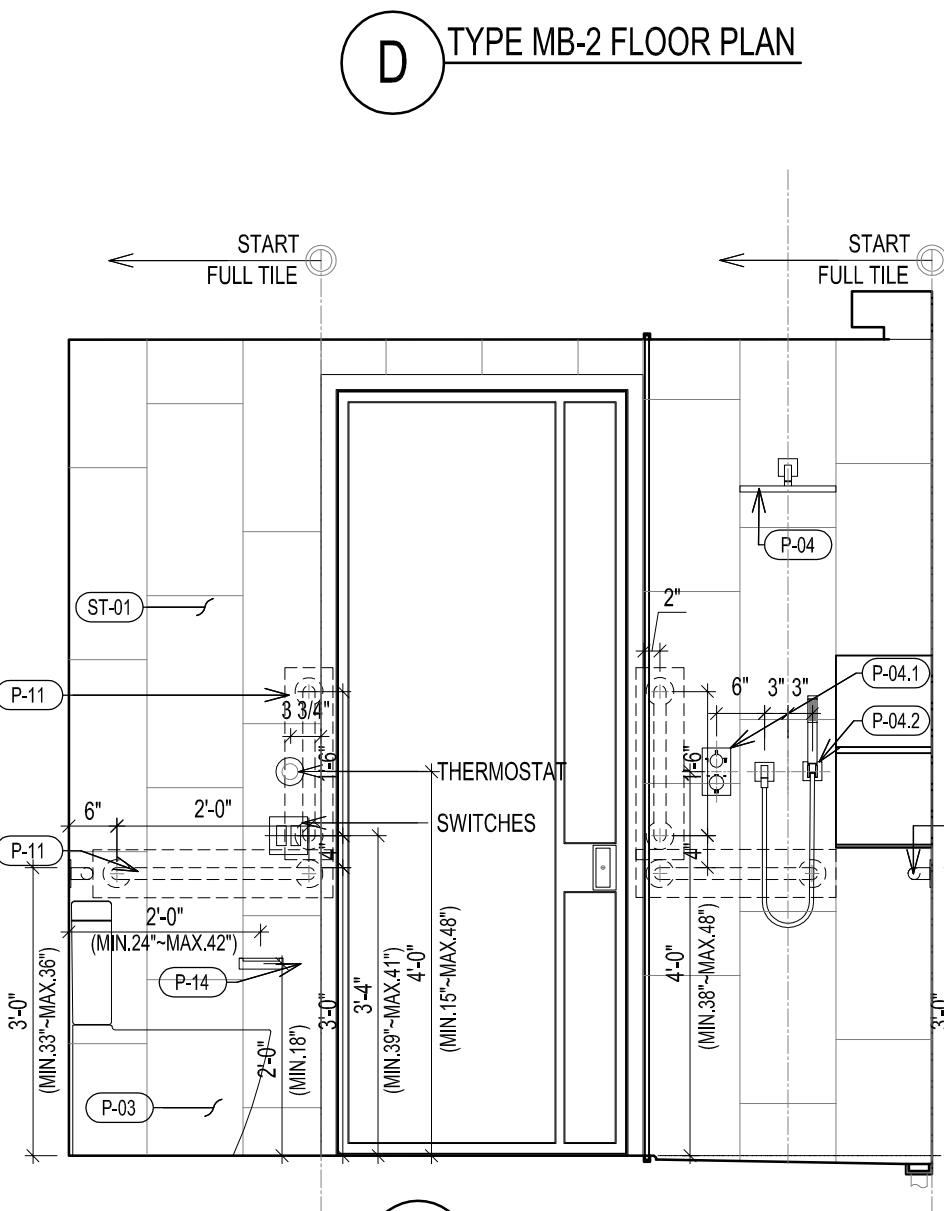
10 ELEVATION



9 ELEVATION



8 ELEVATION



7 ELEVATION

TYPICAL BATHROOM TYPE MB-2 PLAN, RCP & ELEVATIONS
SCALE 1/2" = 1'-0"

277
Fifth Avenue
NEW YORK, NY

OWNER:
VICTOR NOMAD LLC

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ARCHITECT:
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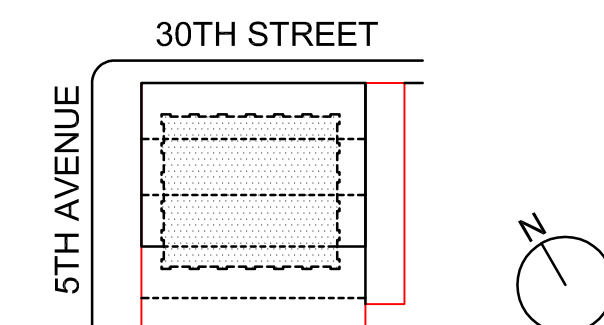
ENERGY MODELING CONSULTANT:
STEVEN WINTER ASSOCIATES, INC
307 SEVENTH AVENUE, SUITE 1701
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SCALE 1/2" = 1'-0"

TYPICAL BATHROOM
TYPES PLANS, RCPs &
ELEVATIONS

MB-1, MB-2

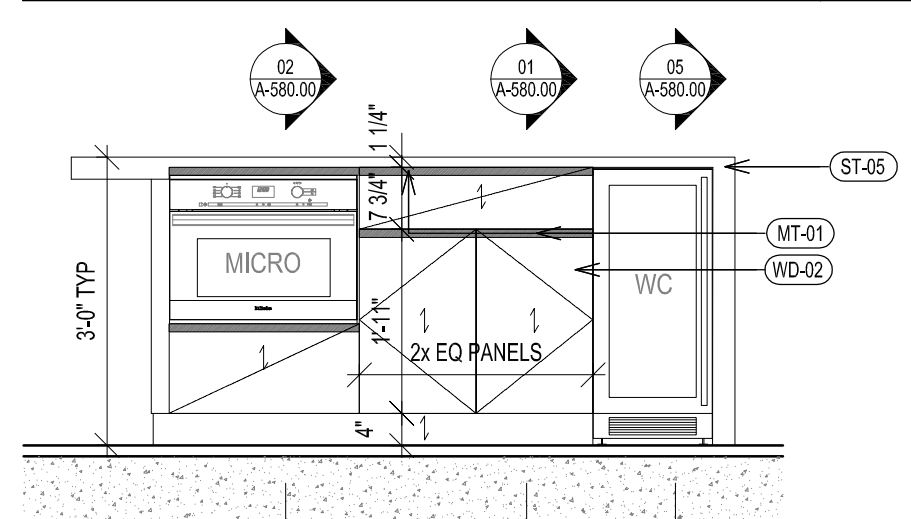
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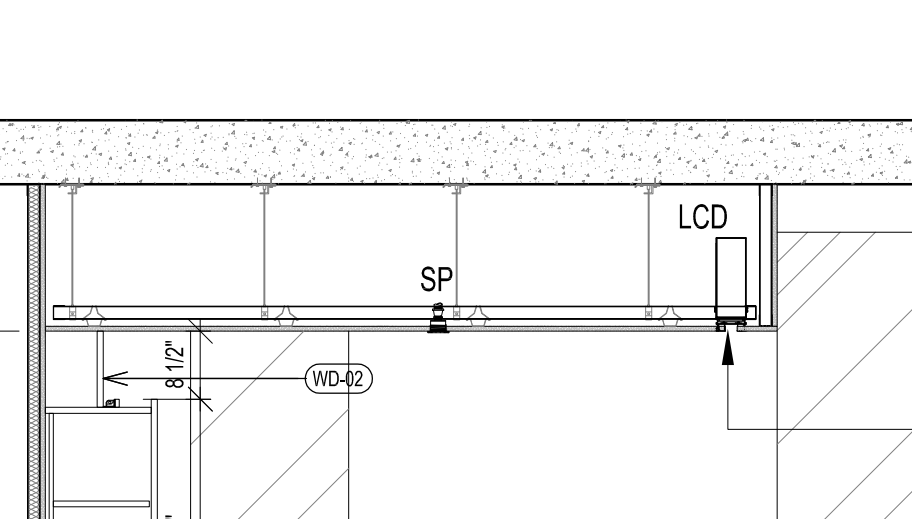
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KITCHEN TYPE	FLOOR	UNIT	CEILING HT
B1	LV 7-25	UNIT A	8'-8"

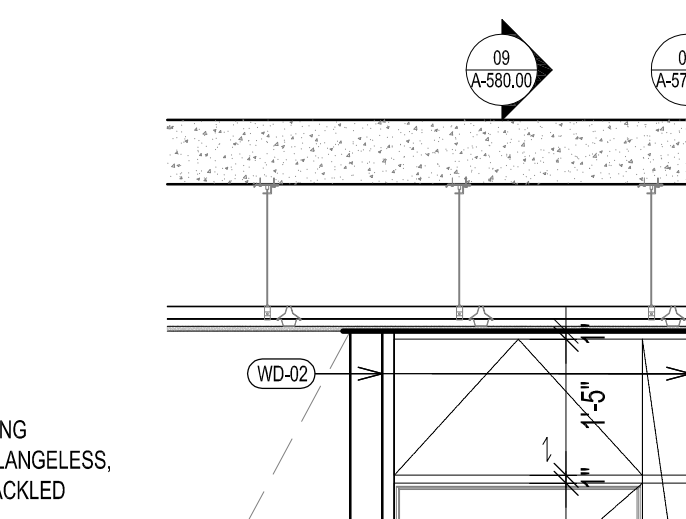
INTERIOR ELEVATION KIT-B1
SCALE 1/2" = 1'-0" 21



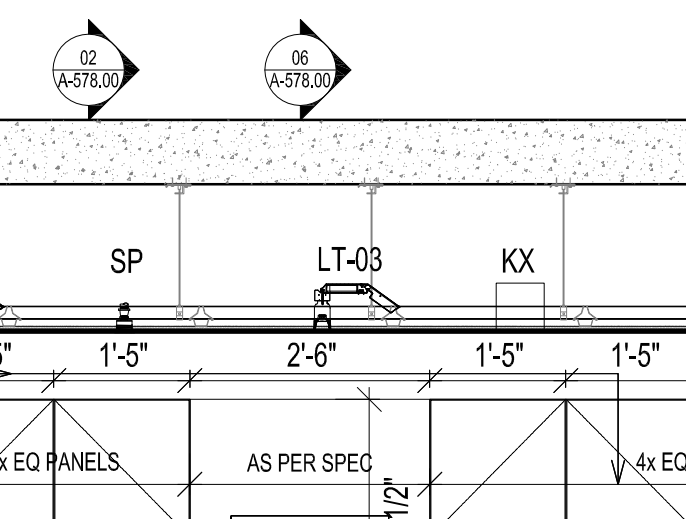
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SCALE 1/2" = 1'-0" 20



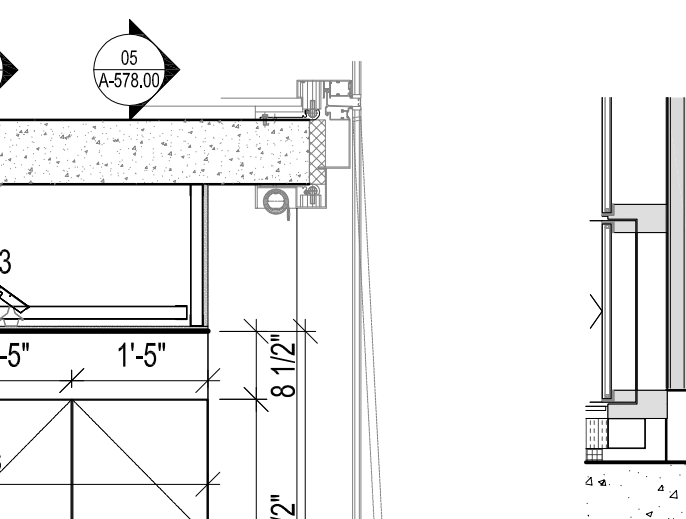
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SCALE 1/2" = 1'-0" 19



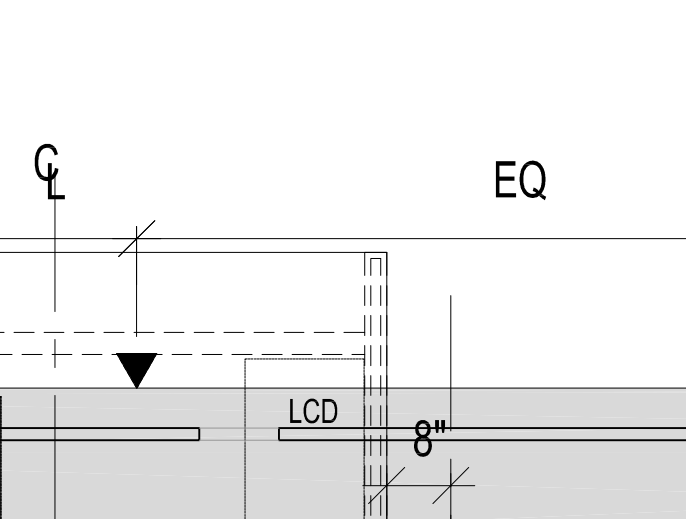
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SCALE 1/2" = 1'-0" 18



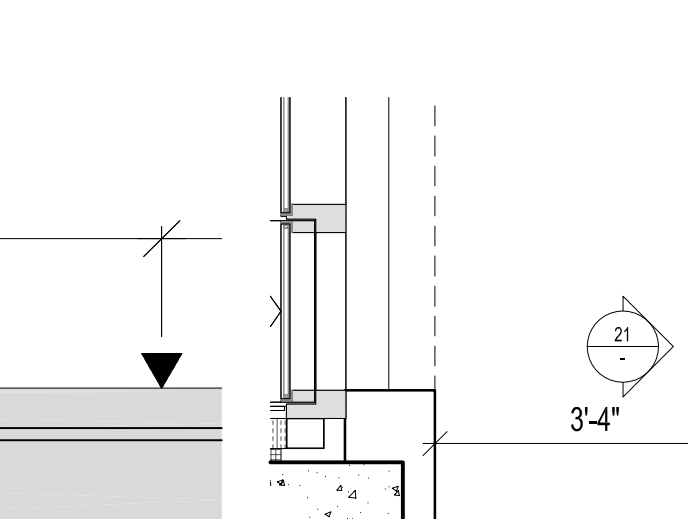
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SCALE 1/2" = 1'-0" 17



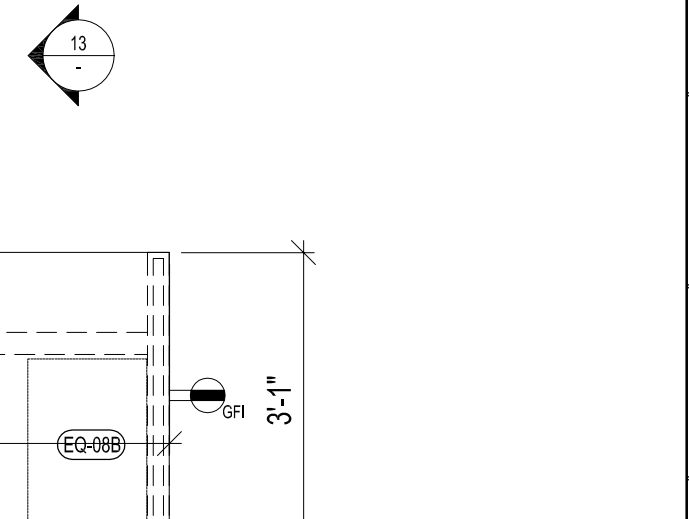
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SCALE 1/2" = 1'-0" 16



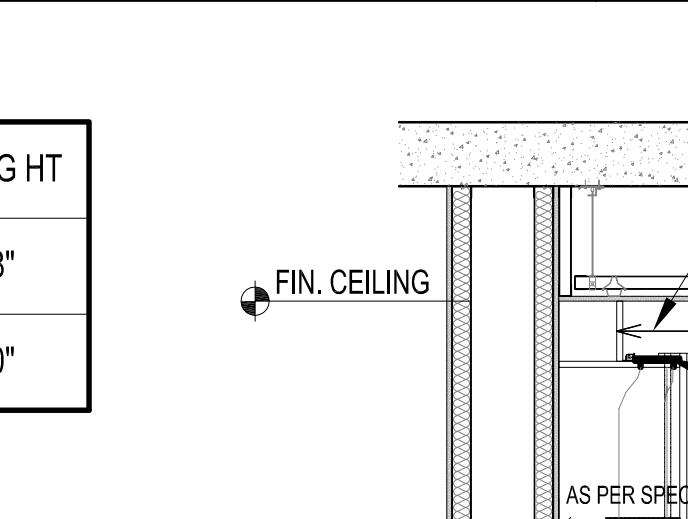
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SCALE 1/2" = 1'-0" 15



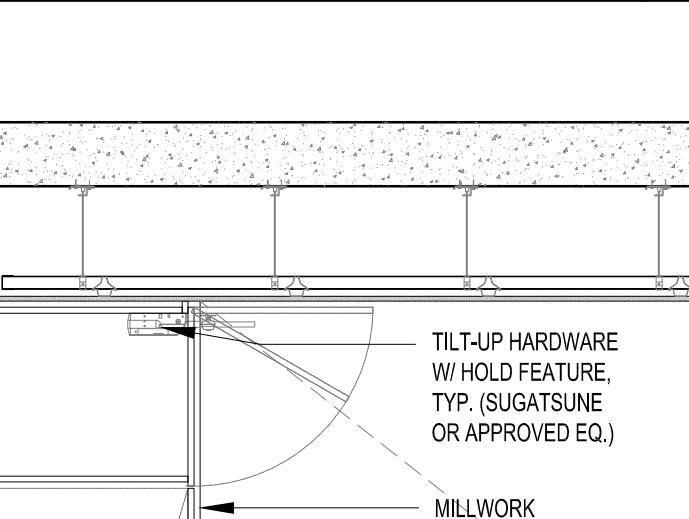
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SCALE 1/2" = 1'-0" 14



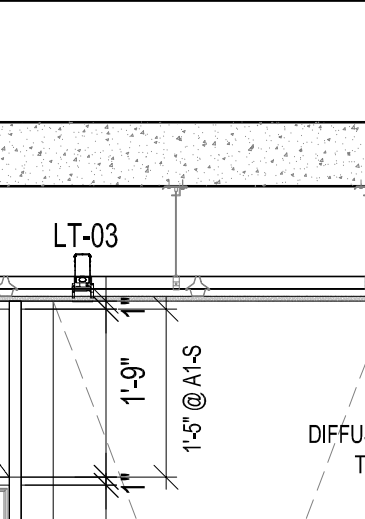
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SCALE 1/2" = 1'-0" 13



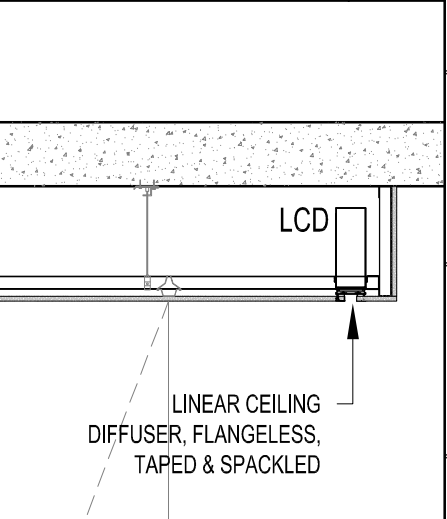
INTERIOR ELEVATION KIT-B1
SCALE 1/2" = 1'-0" 12



RCP KIT-B1
SCALE 1/2" = 1'-0" 11

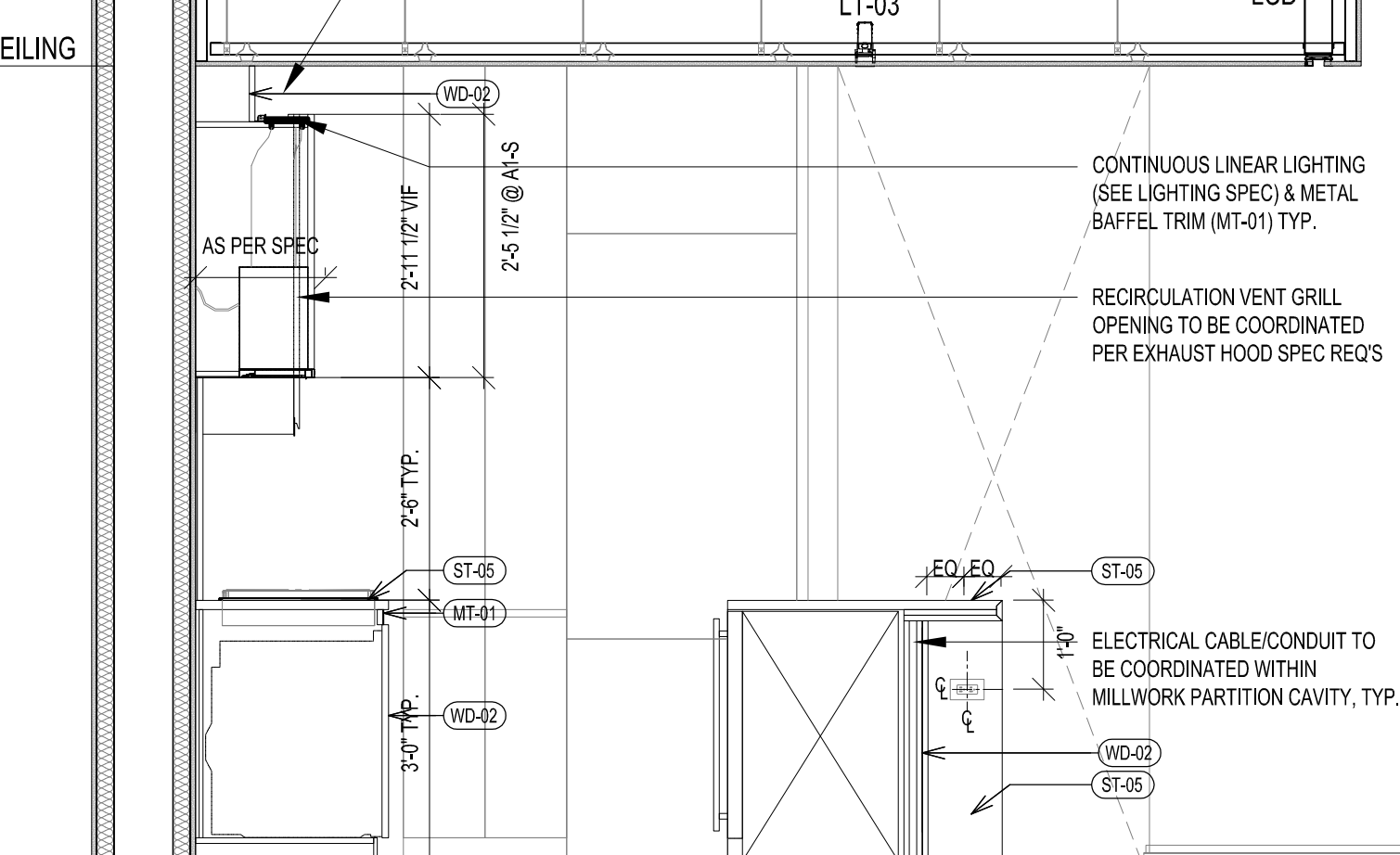


PLAN KIT-B1
SCALE 1/2" = 1'-0" 10

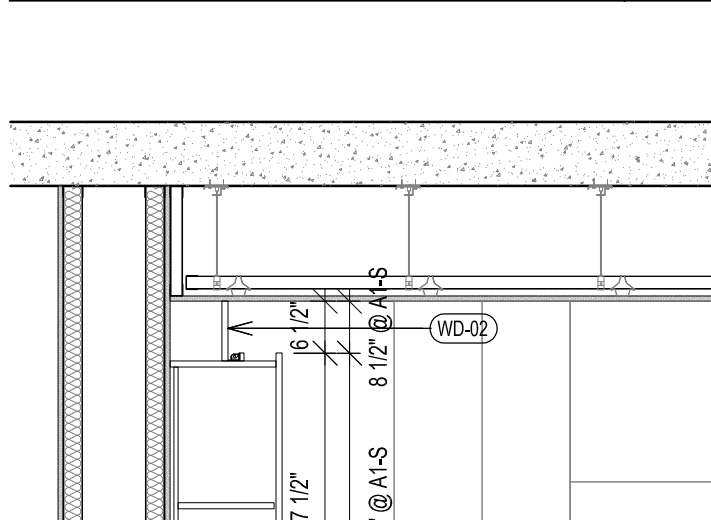


KITCHEN TYPE	FLOOR	UNIT	CEILING HT
A1-S	LV 7	UNIT B	8'-8"
A1	LV 8-25	UNIT B	9'-0"

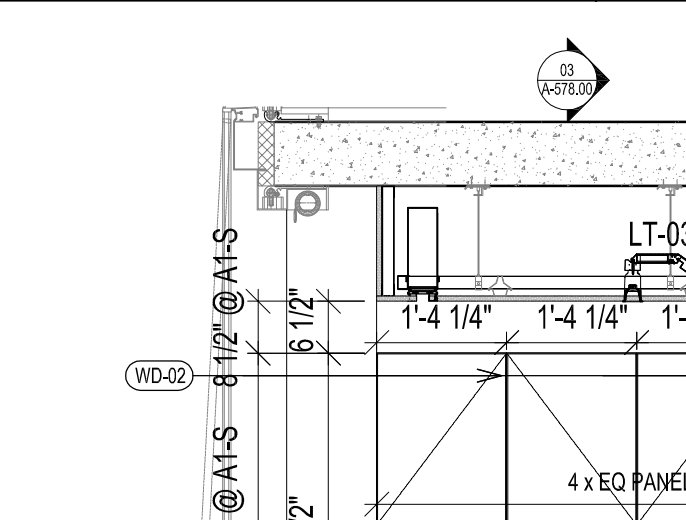
FIN. CEILING



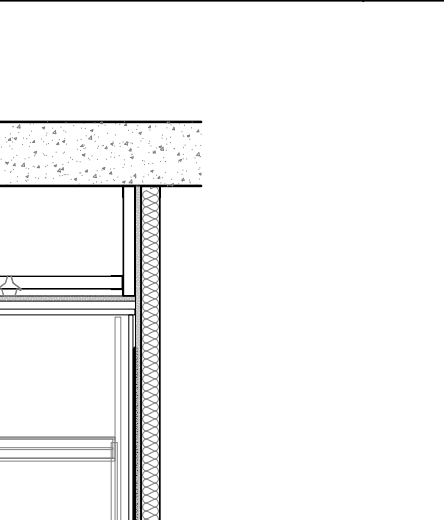
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SCALE 1/2" = 1'-0" 09



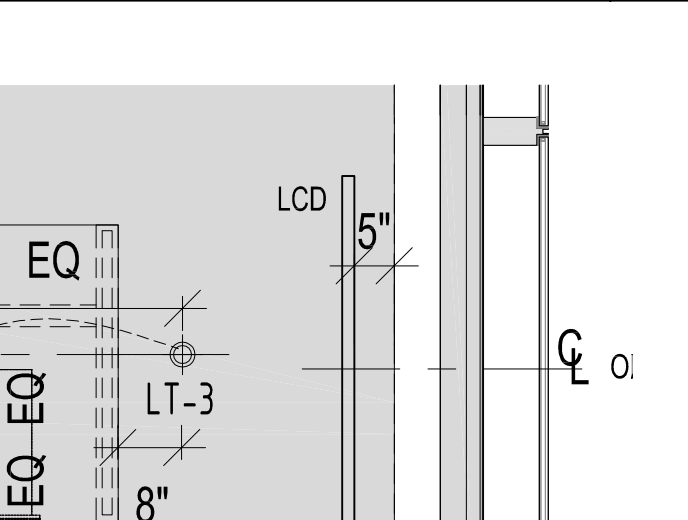
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SCALE 1/2" = 1'-0" 08



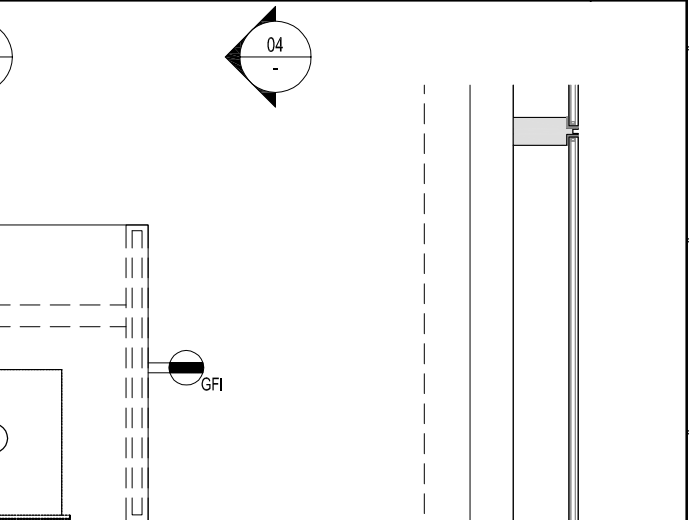
INTERIOR ELEVATION KIT-A1
SCALE 1/2" = 1'-0" 07



INTERIOR ELEVATION KIT-A1
SCALE 1/2" = 1'-0" 06



INTERIOR ELEVATION KIT-A1
SCALE 1/2" = 1'-0" 05



INTERIOR ELEVATION KIT-A1
SCALE 1/2" = 1'-0" 04



INTERIOR ELEVATION KIT-A1
SCALE 1/2" = 1'-0" 03



RCP KIT-A1
SCALE 1/2" = 1'-0" 02



PLAN KIT-A1
SCALE 1/2" = 1'-0" 01



277

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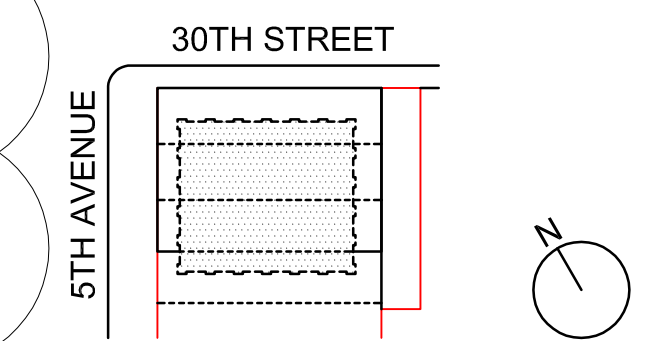
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NYC DEPT. OF BUILDINGS
PAA #2

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U. [Signature]
APPROVED
Under Directive 2 of 1975
DESIGNER REGISTRATION
Date: 04/19/2016
NYC Development Hub

09/08/2017 PAA #2
02/24/2017 PAA #1
ISSUE DATE DESCRIPTION
NO. DATE



KEY PLAN AND NORTH SIGN
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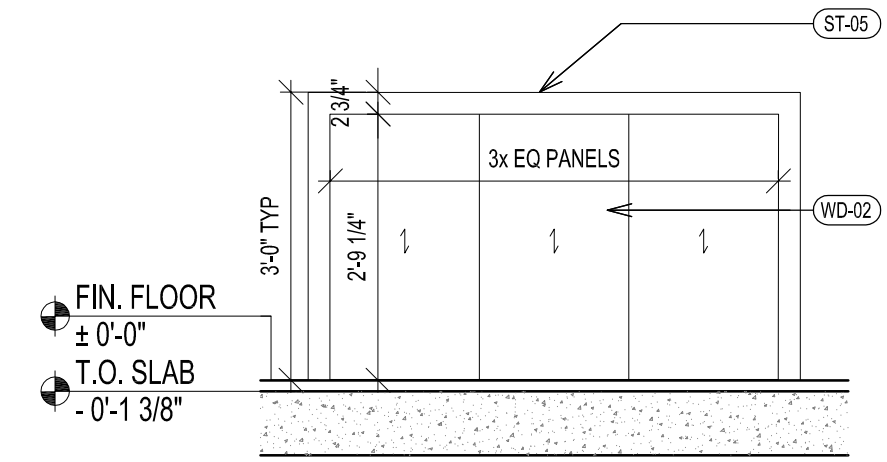
TYPICAL RESIDENTIAL
KITCHEN TYPES A1
B1

SHEET TITLE:

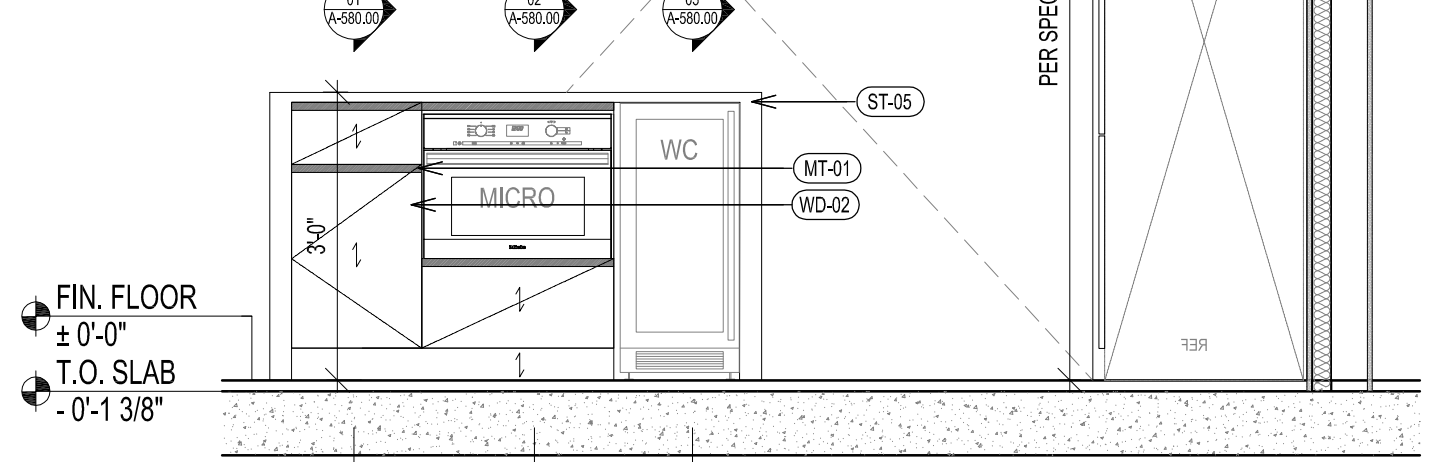
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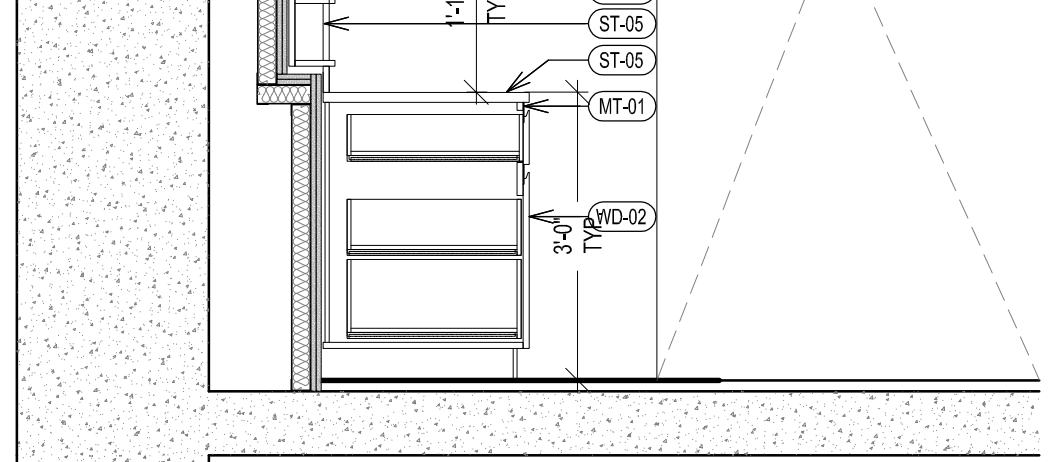
KITCHEN TYPE	FLOOR	UNIT	CEILING HT
A2	LV 8-25	UNIT C	9'-0"
A2-S	LV 7	UNIT C	8'-8"



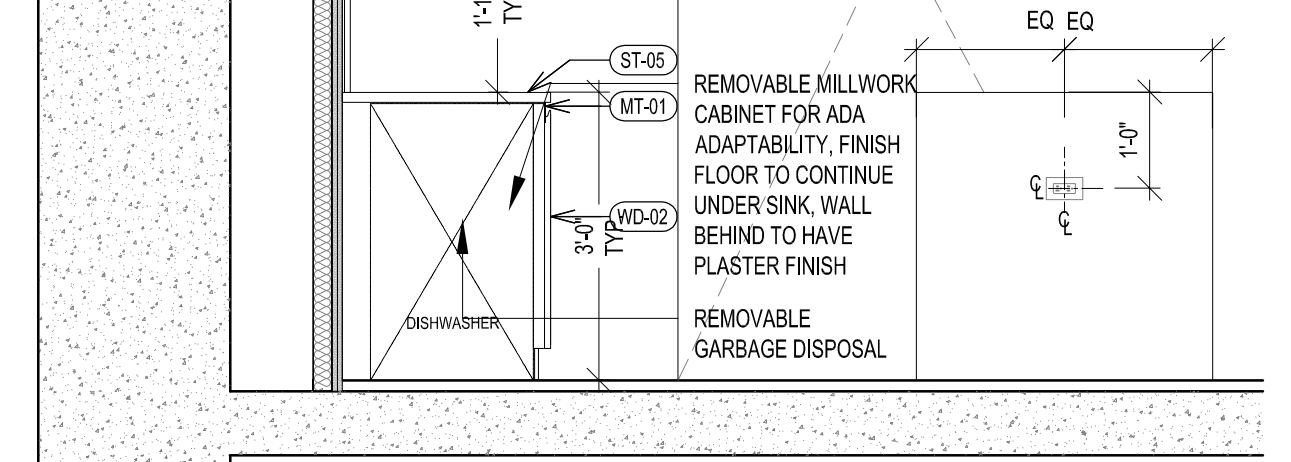
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SCALE 1/2" = 1'-0"



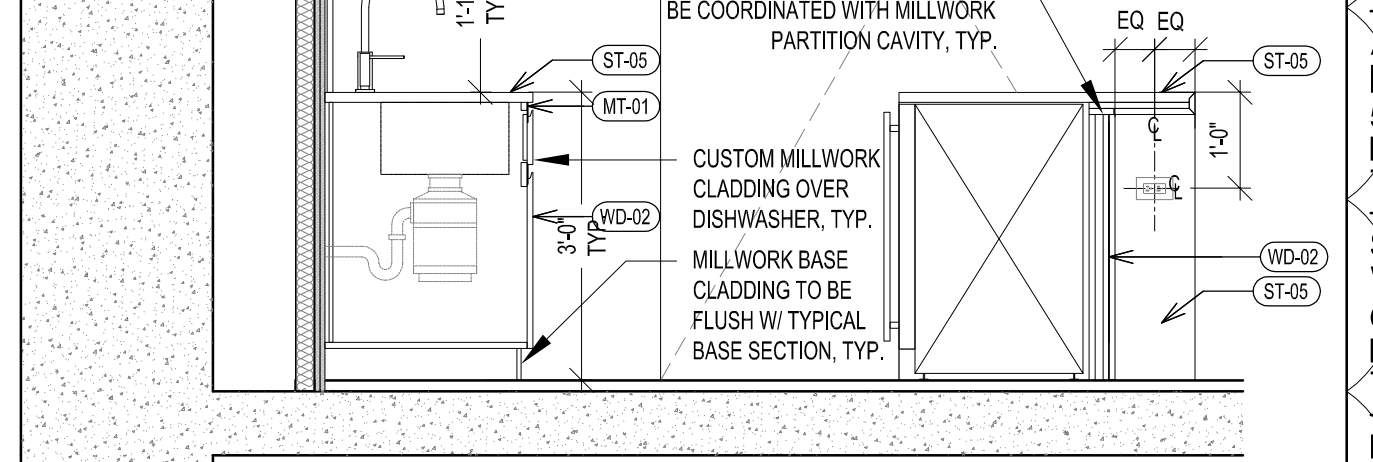
INTERIOR ELEVATION KIT-A2
SCALE 1/2" = 1'-0"



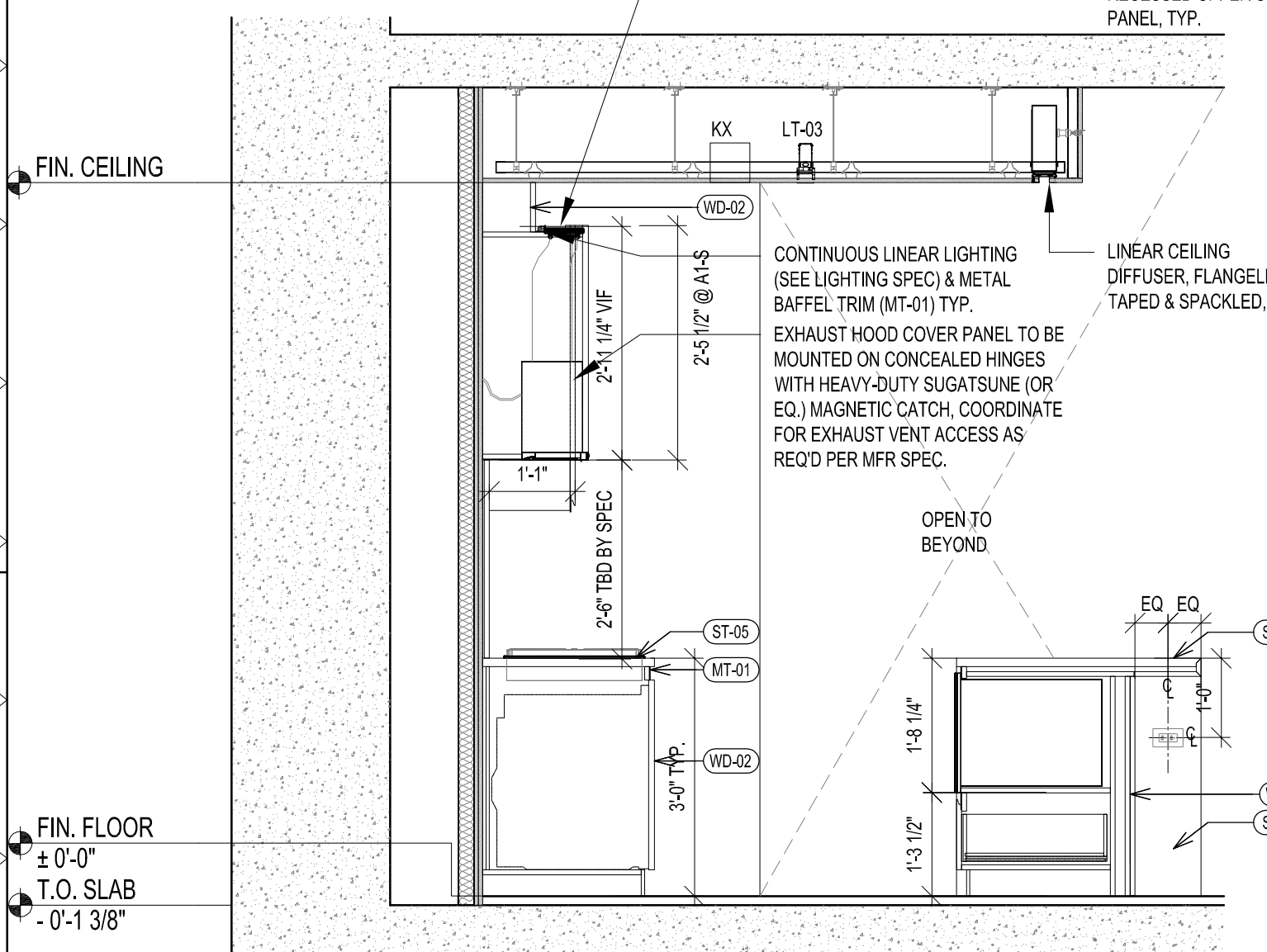
INTERIOR ELEVATION KIT-A2
SCALE 1/2" = 1'-0"



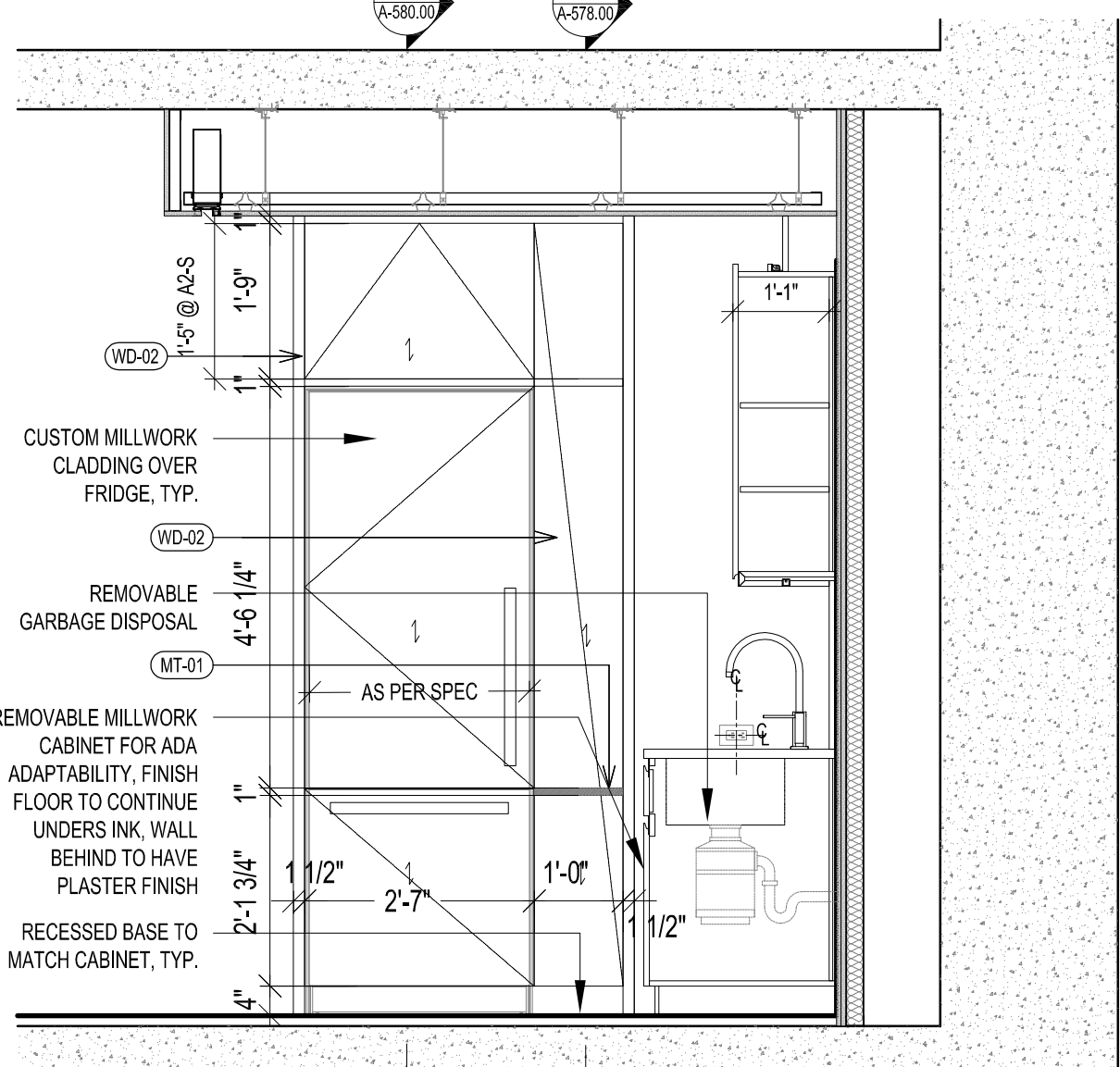
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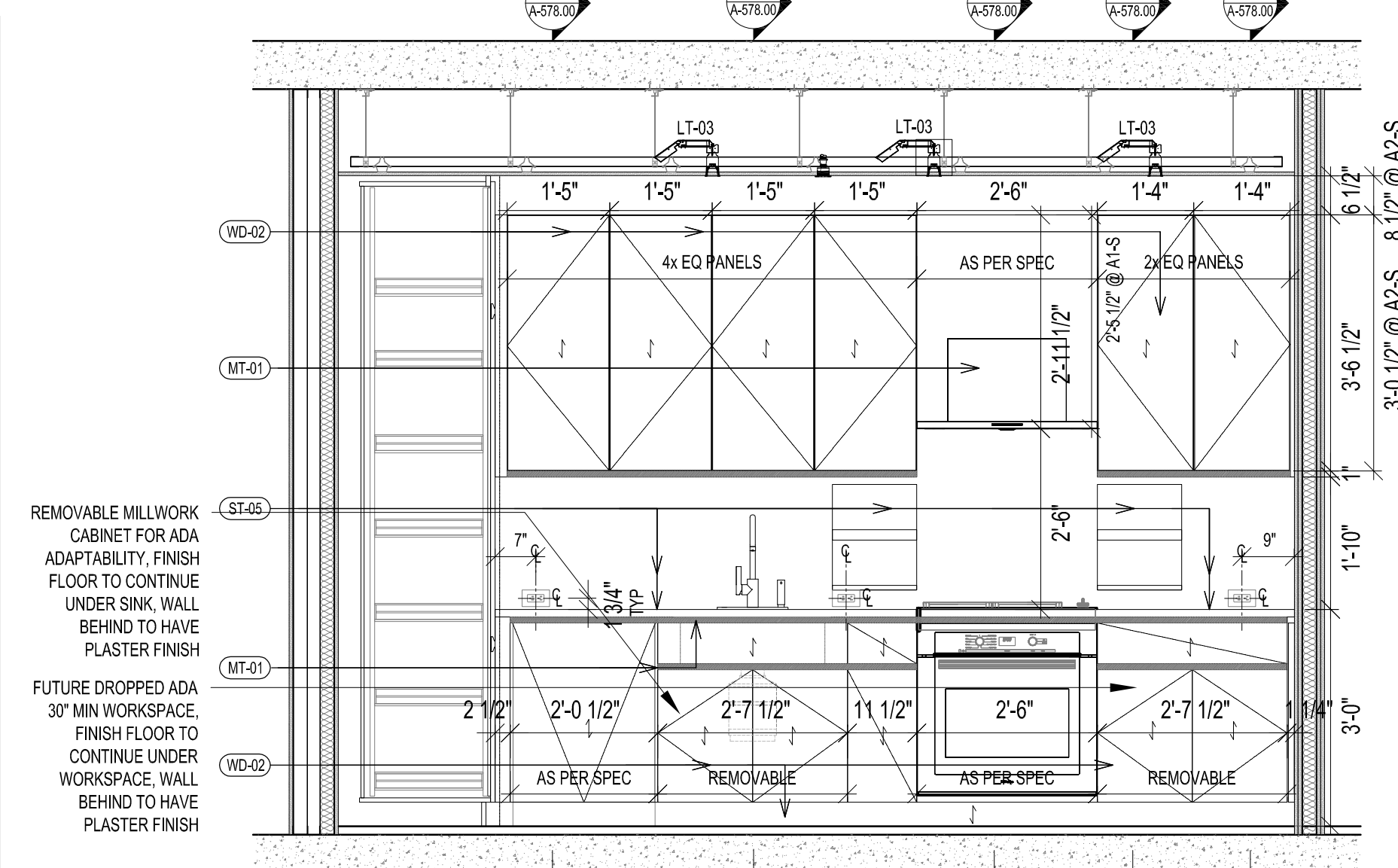
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SCALE 1/2" = 1'-0"



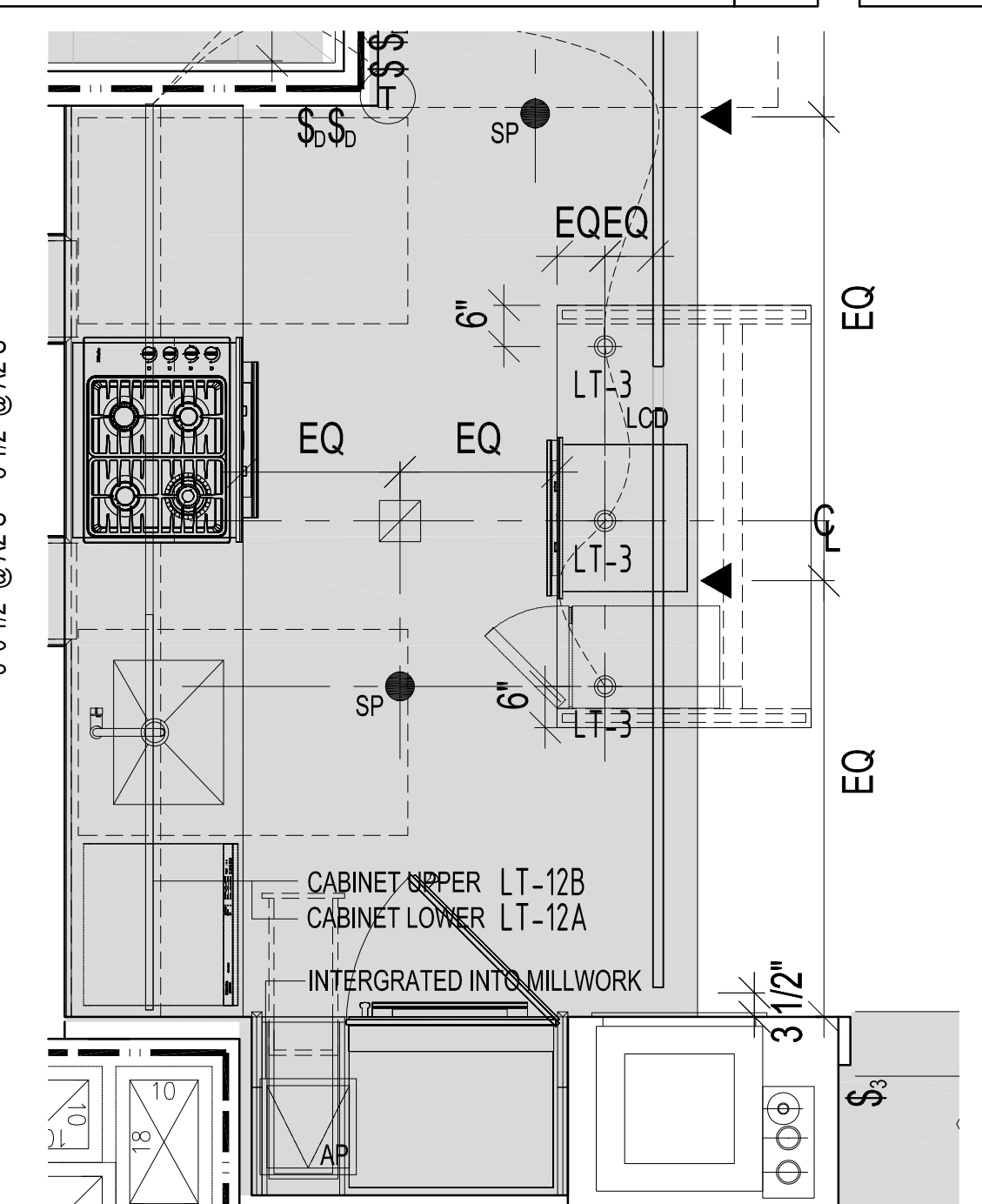
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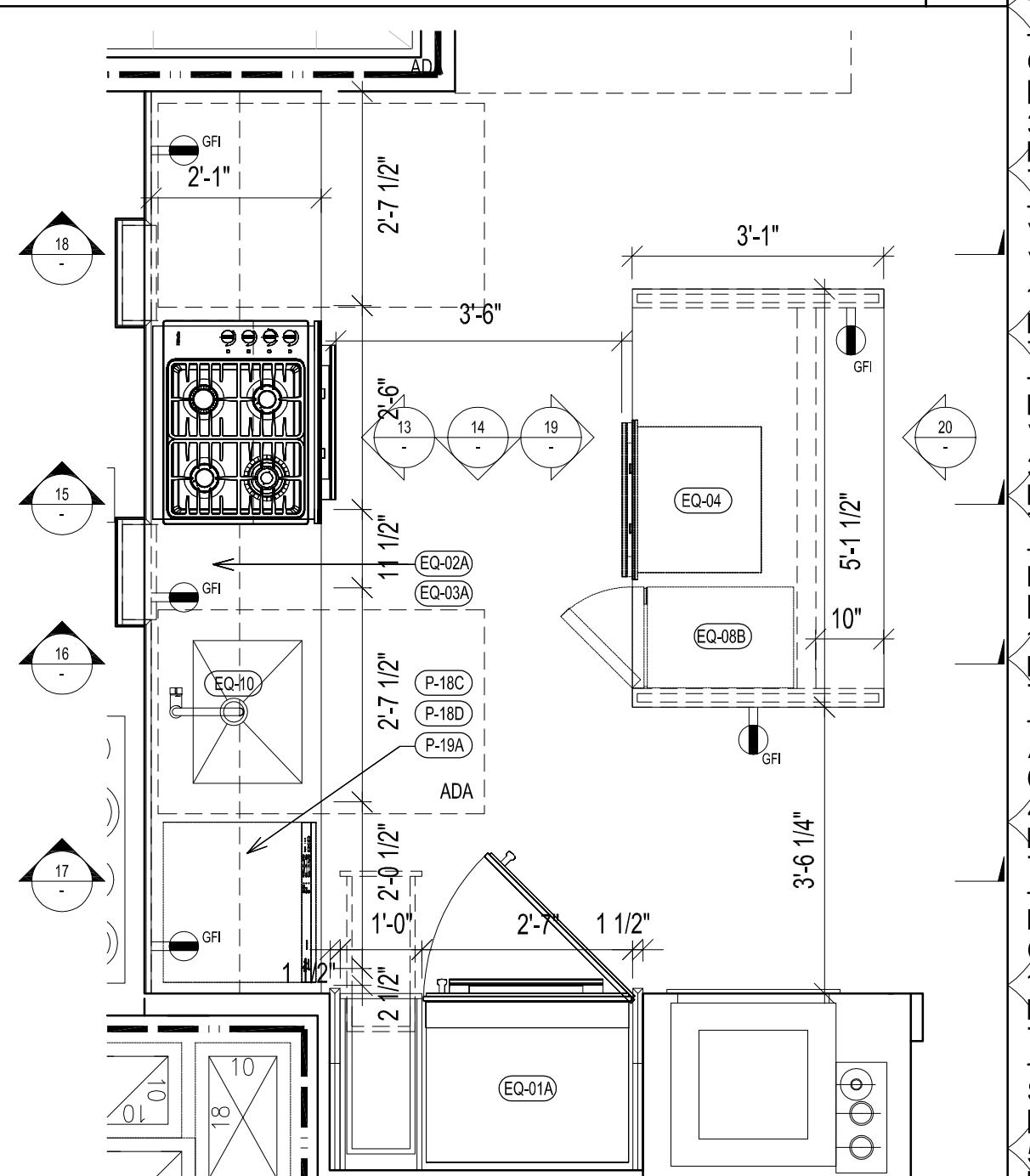
INTERIOR ELEVATION KIT-A2
SCALE 1/2" = 1'-0"



INTERIOR ELEVATION KIT-A2
SCALE 1/2" = 1'-0"

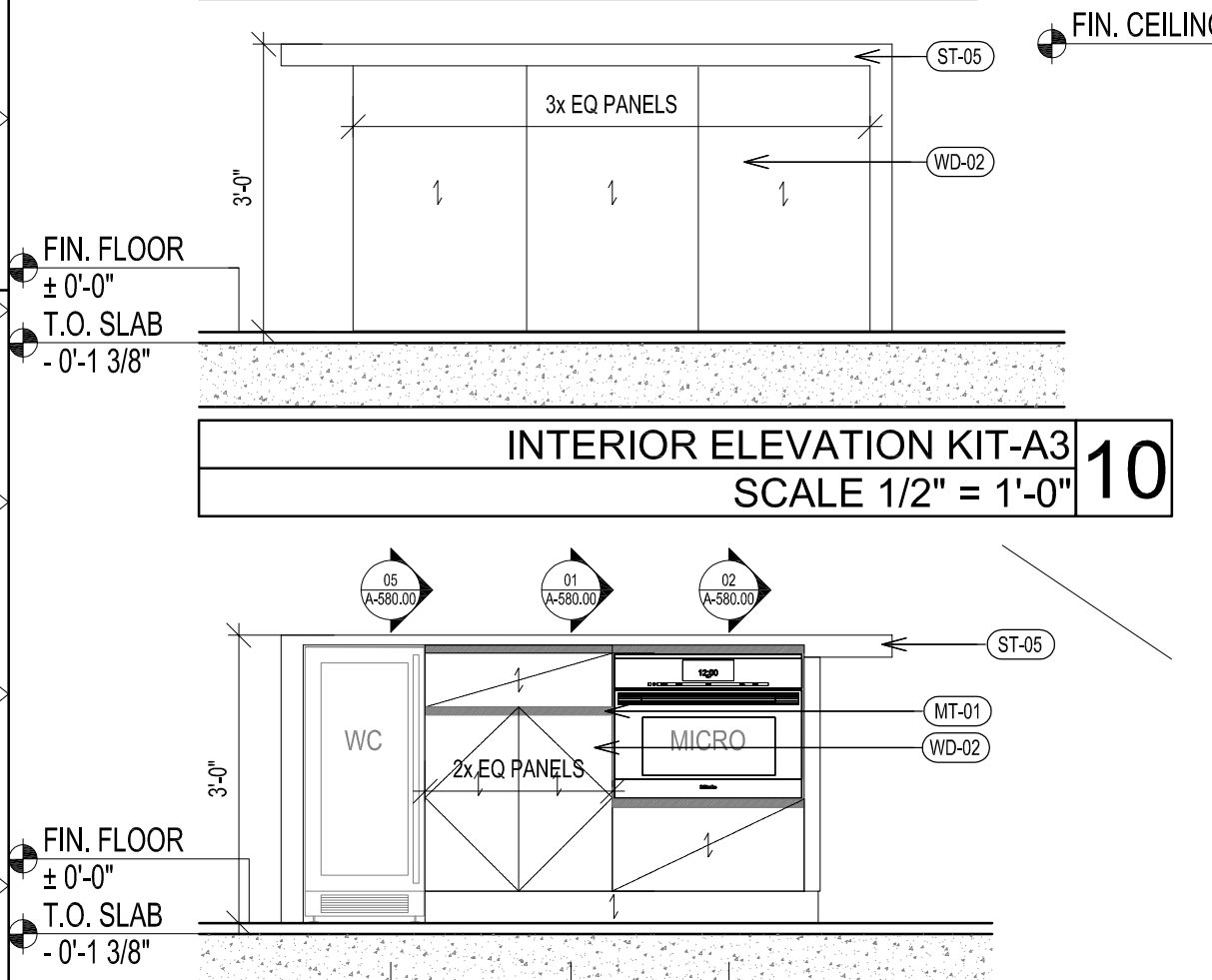


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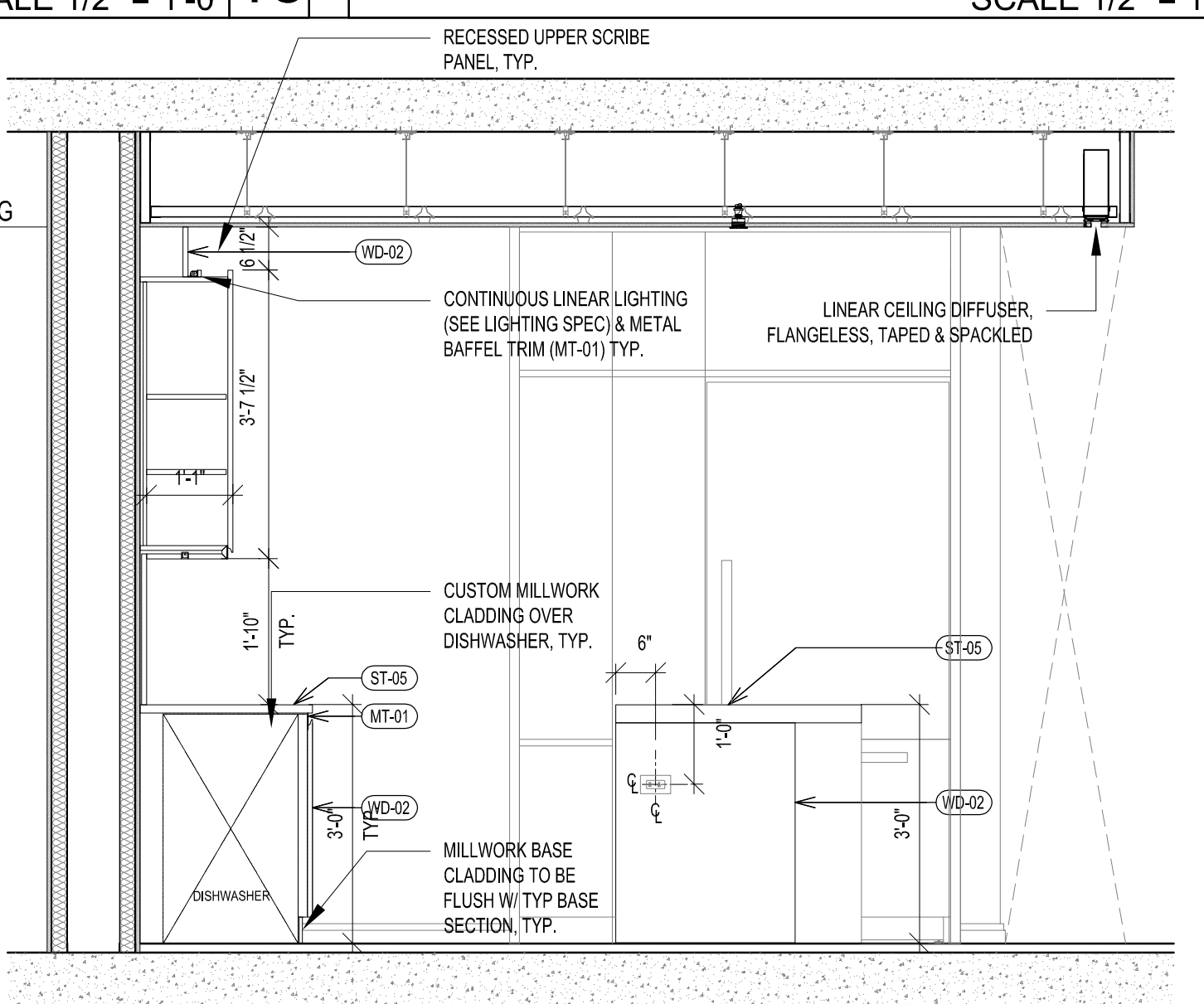


PLAN KIT-A2
SCALE 1/2" = 1'-0"

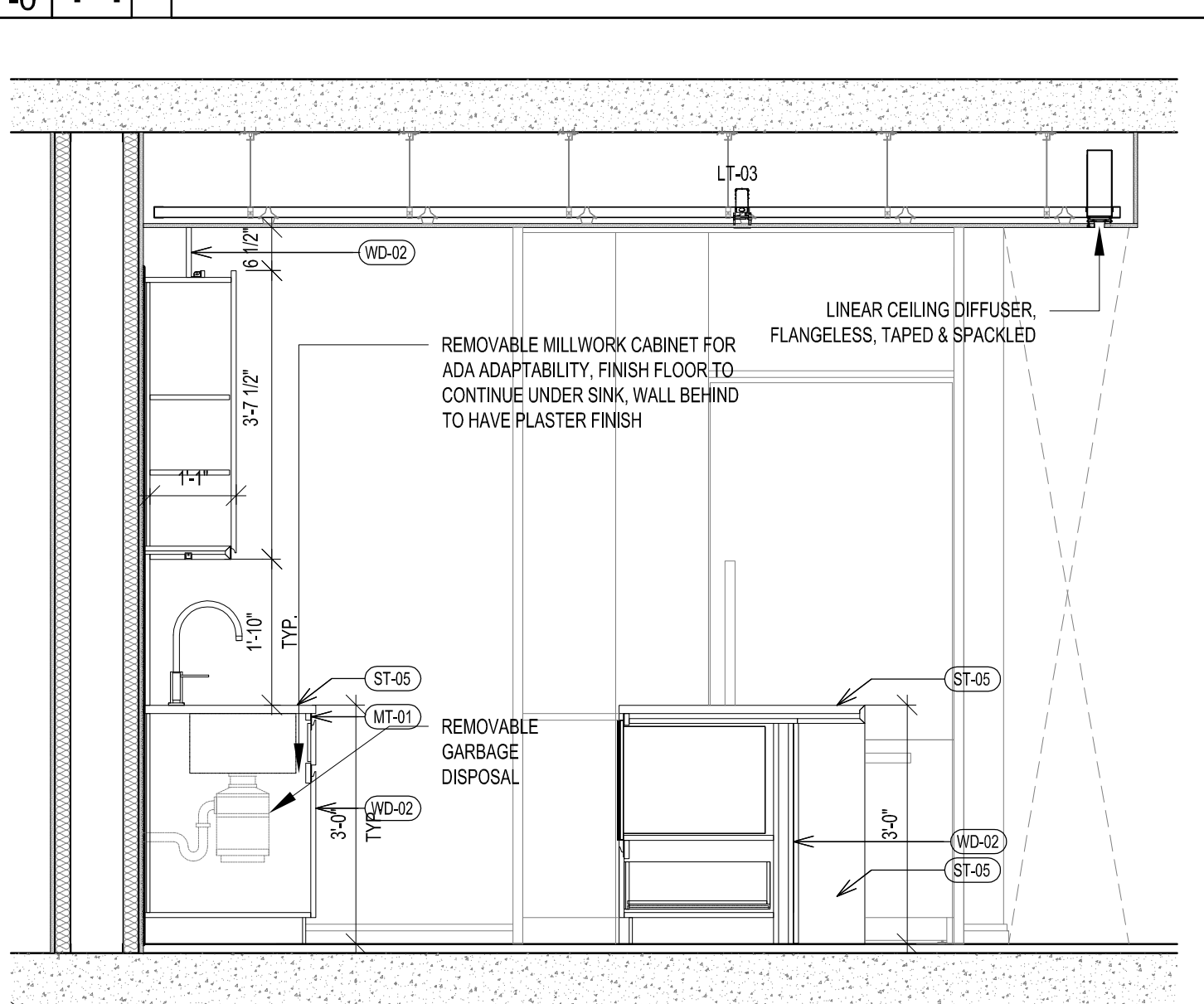
KITCHEN TYPE	FLOOR	UNIT	CEILING HT
A3	LV 8-25	UNIT D	9'-0"



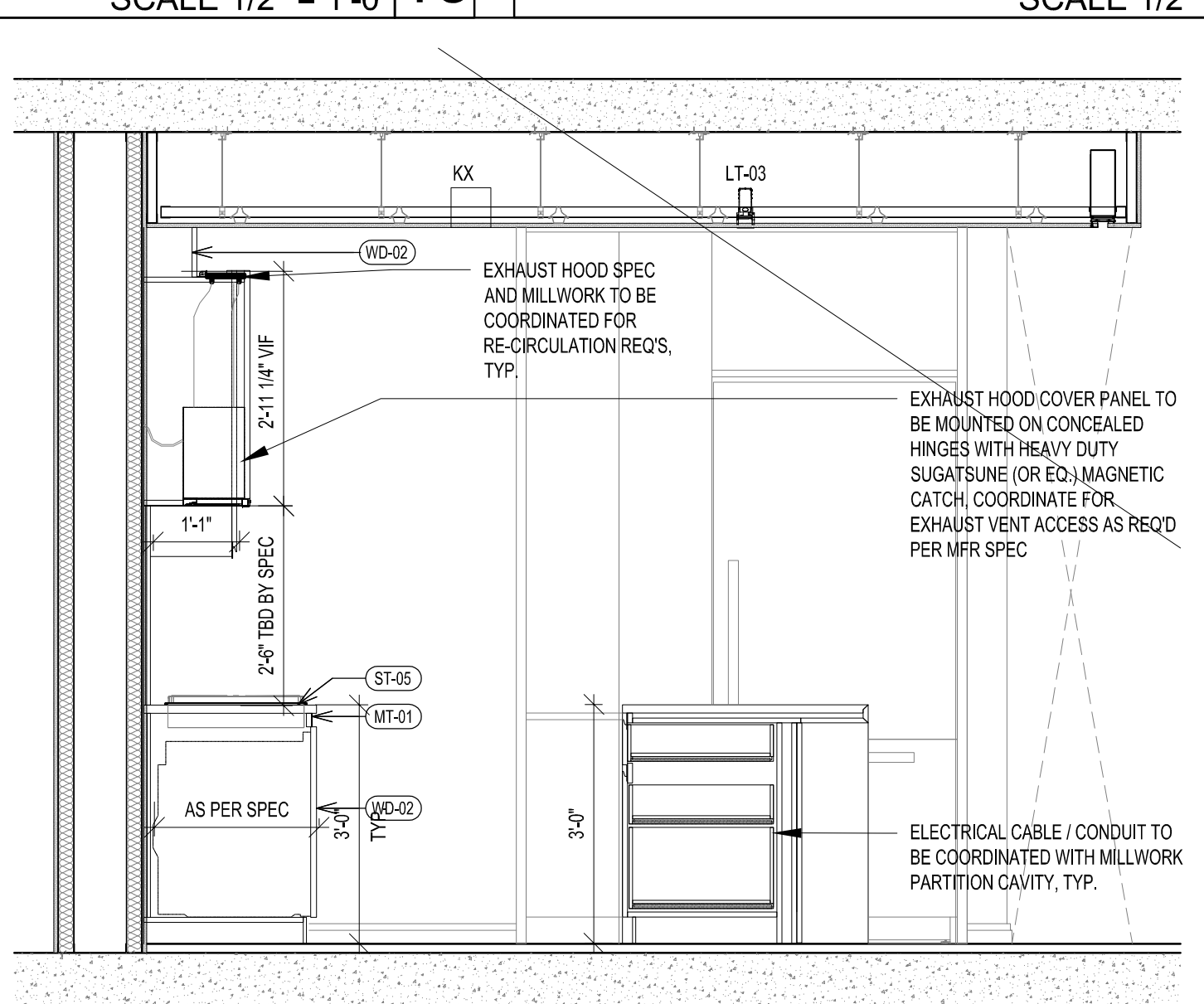
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SCALE 1/2" = 1'-0"



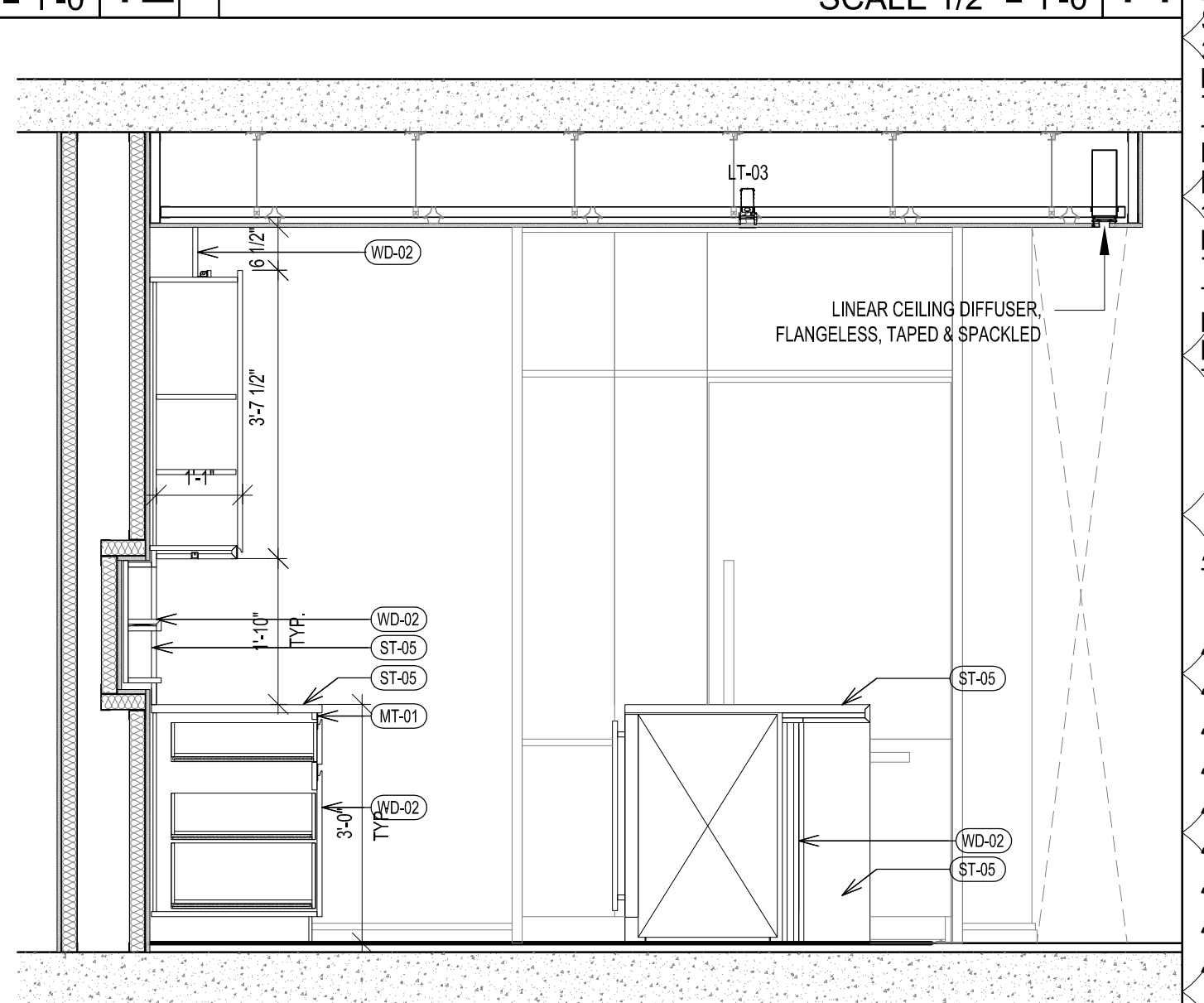
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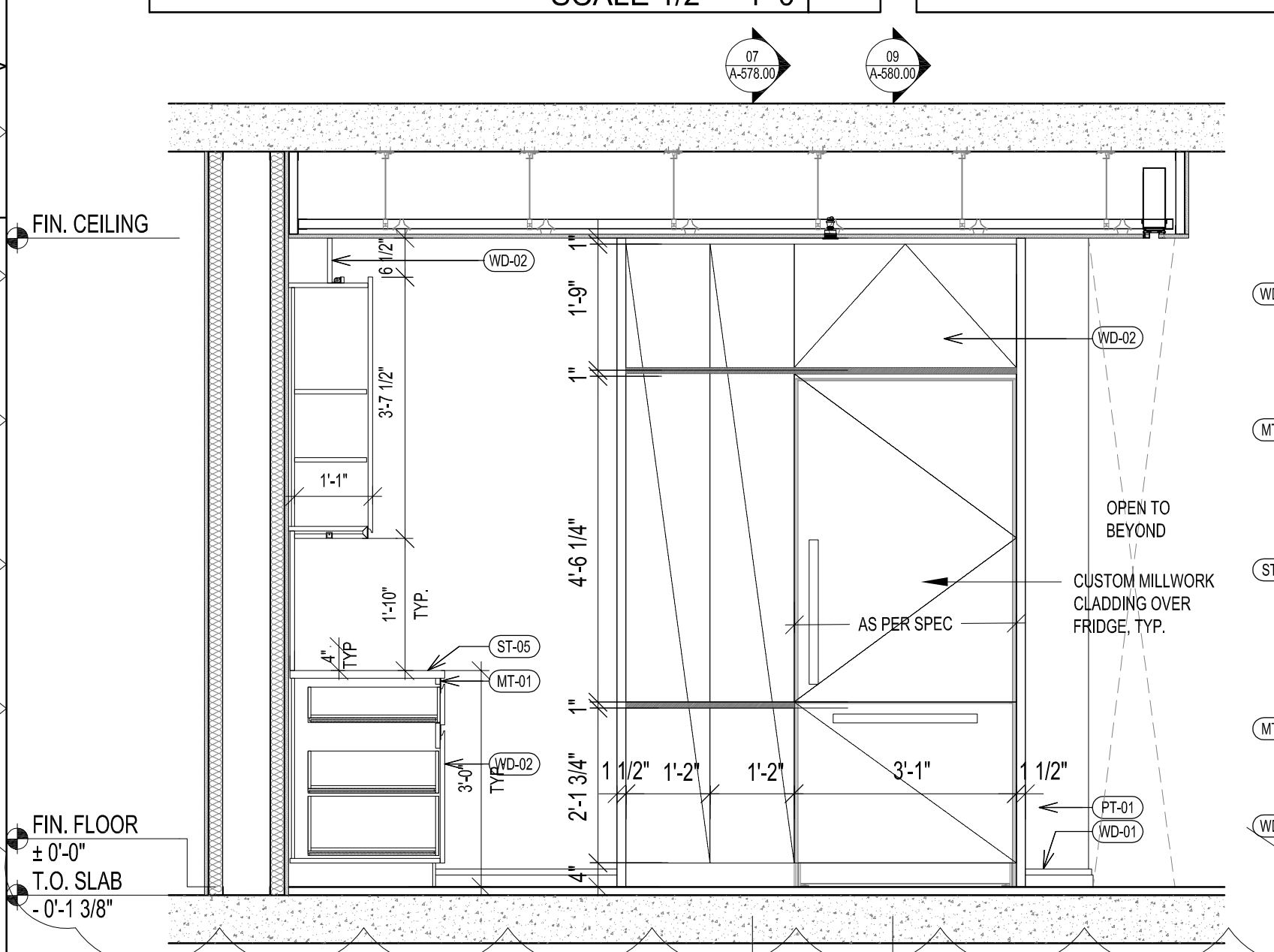
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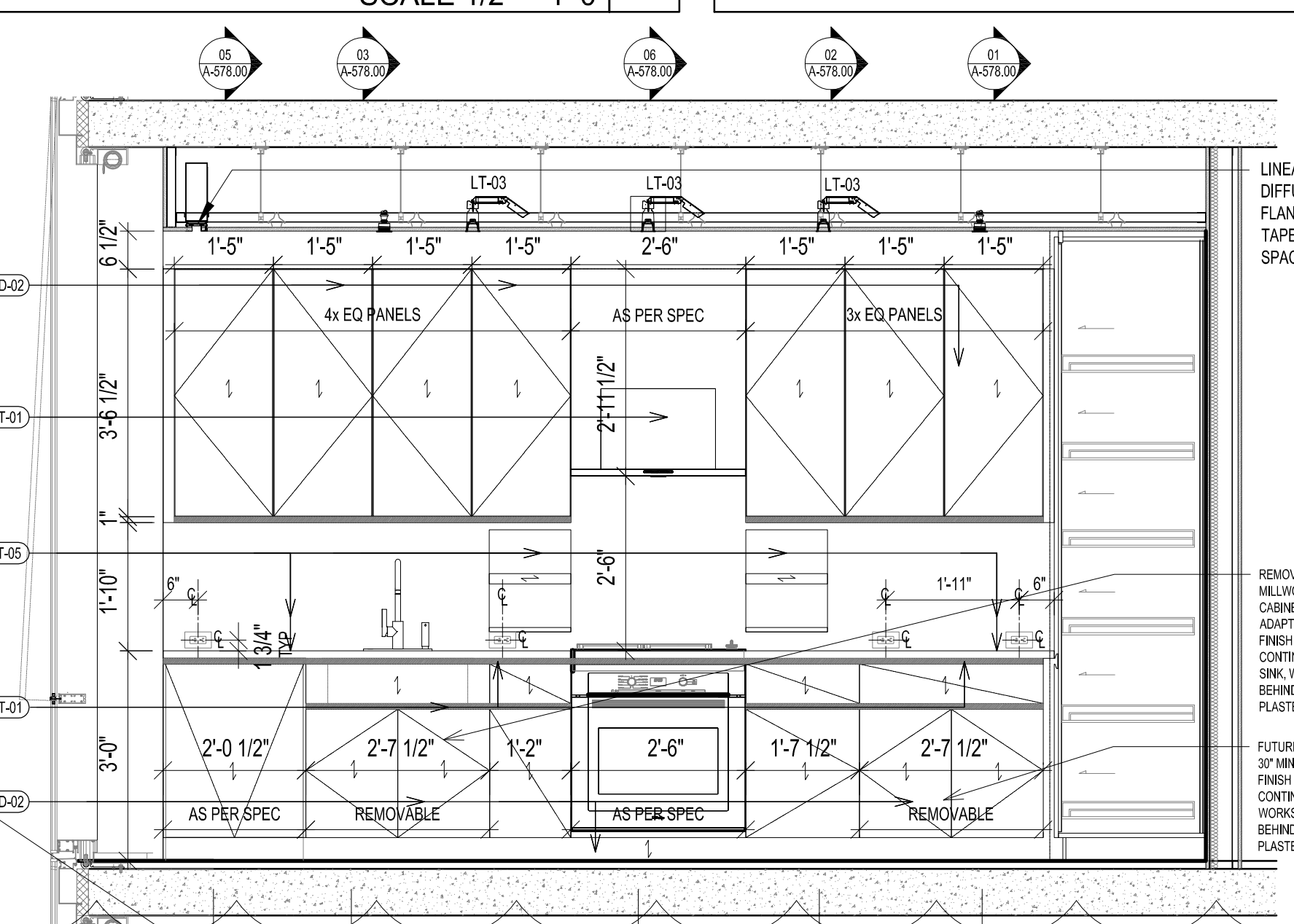
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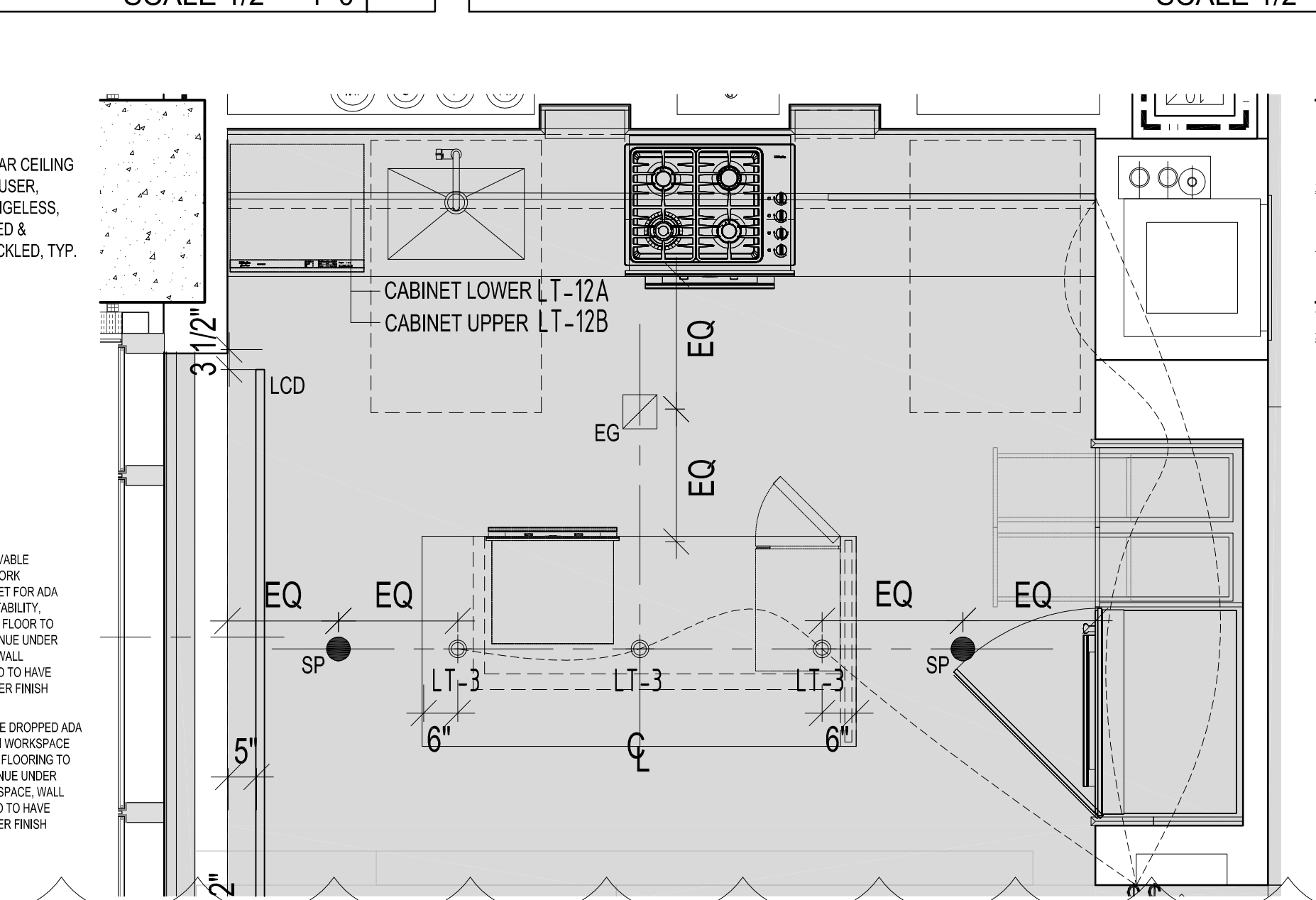
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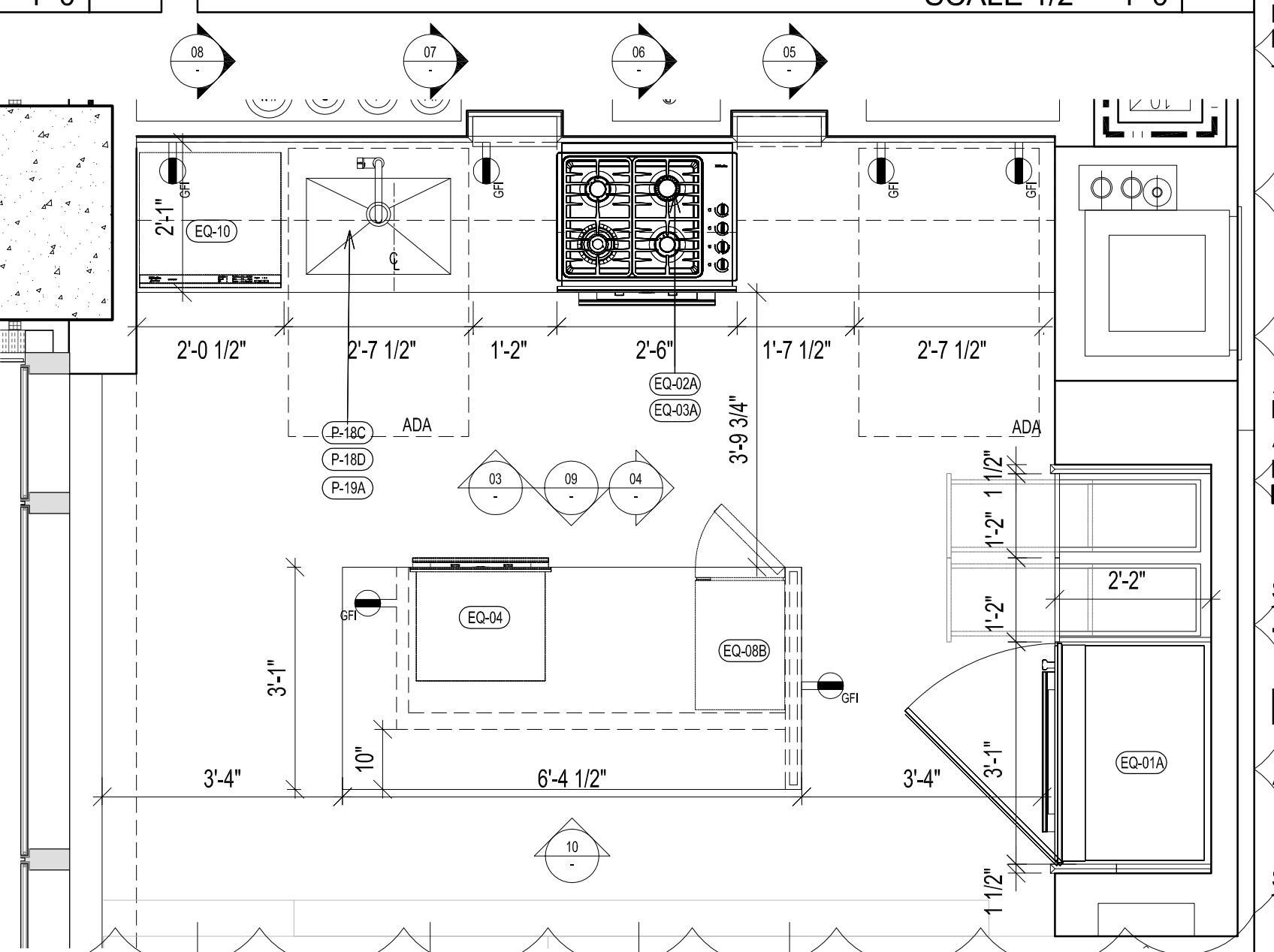
INTERIOR ELEVATION KIT-A3
SCALE 1/2" = 1'-0"



INTERIOR ELEVATION KIT-A3
SCALE 1/2" = 1'-0"



RCP KIT-A3
SCALE 1/2" = 1'-0"



PLAN KIT-A3
SCALE 1/2" = 1'-0"

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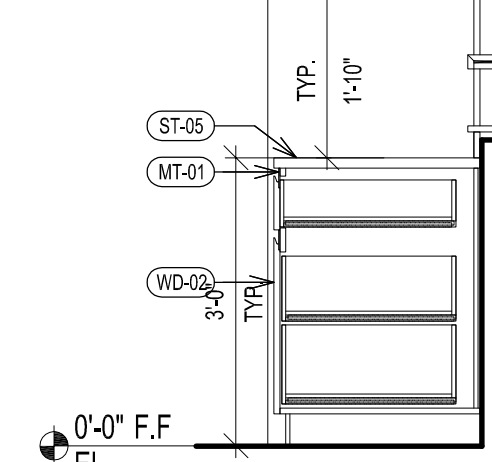
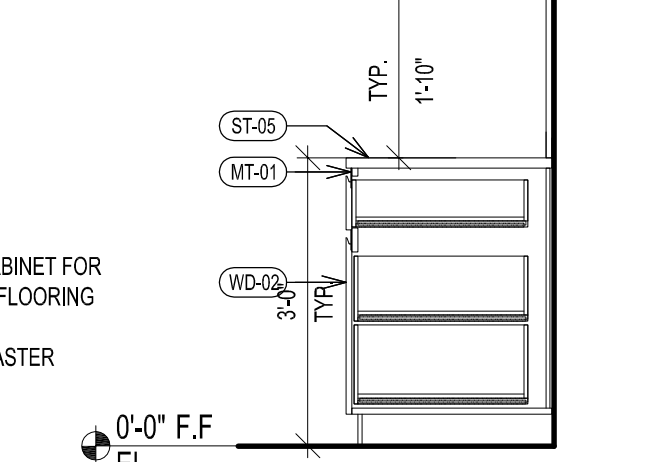
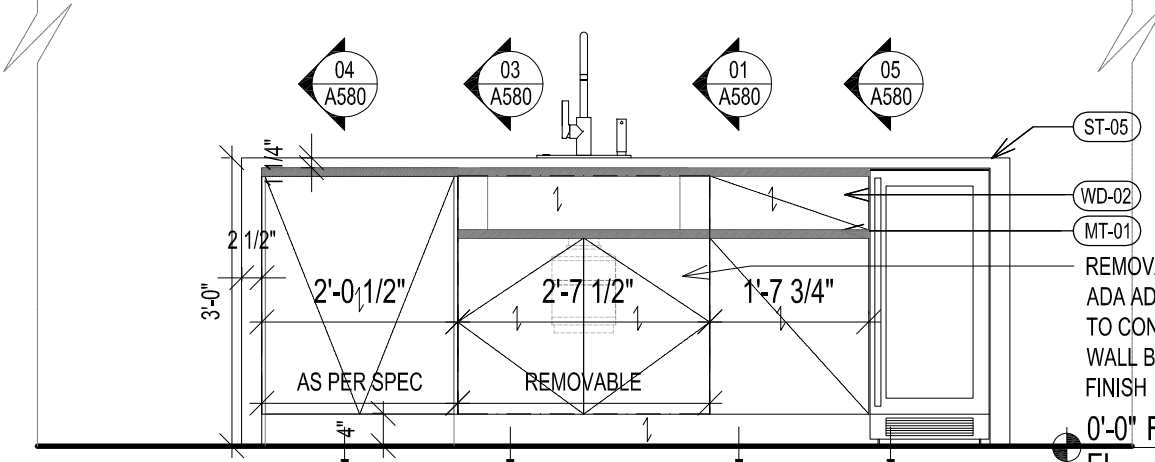
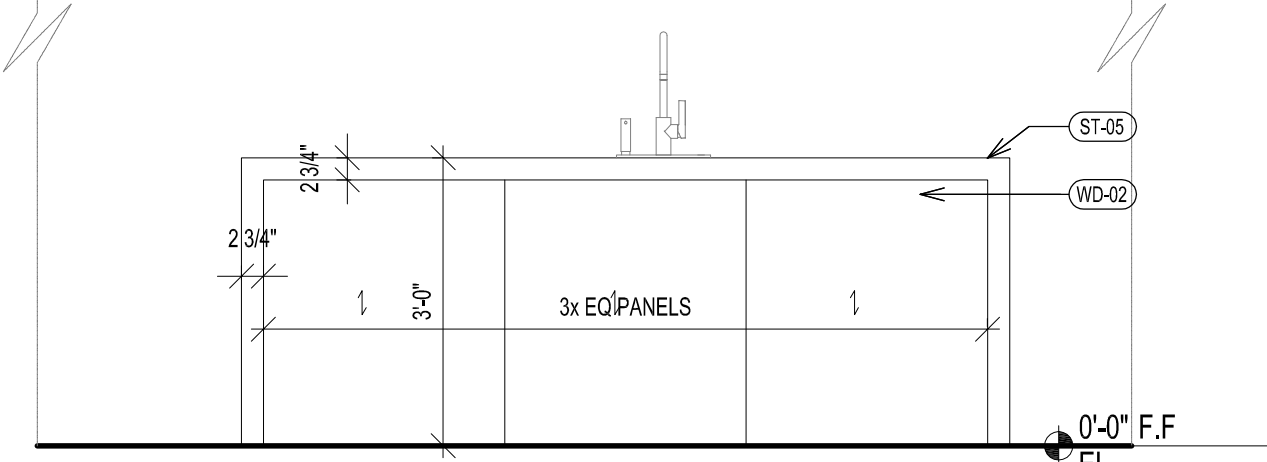
09/08/2017 PAA #2
02/24/2017 PAA #1
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30TH STREET
5TH AVENUE
KEY PLAN AND NORTH SIGN
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TYPICAL RESIDENTIAL
KITCHEN TYPES A3,
A2

SHEET TITLE:
A-561.01
SHEET NUMBER:

KITCHEN TYPE	FLOOR	UNIT	CEILING HT
B2	LV 28-35	UNIT C	9'-2"

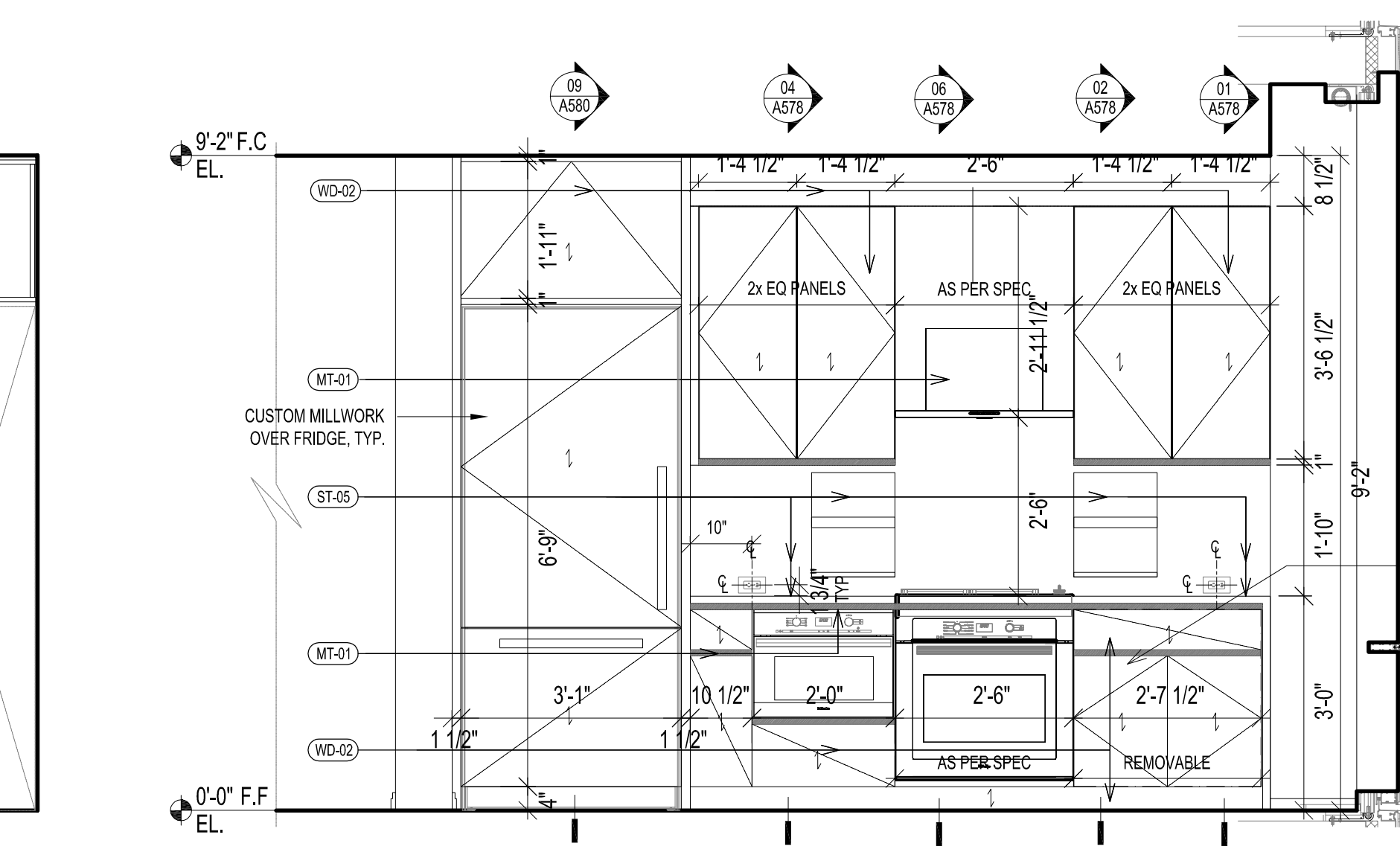


KITCHEN PLAN : KIT-B2
SCALE 1/2" = 1'-0" 18

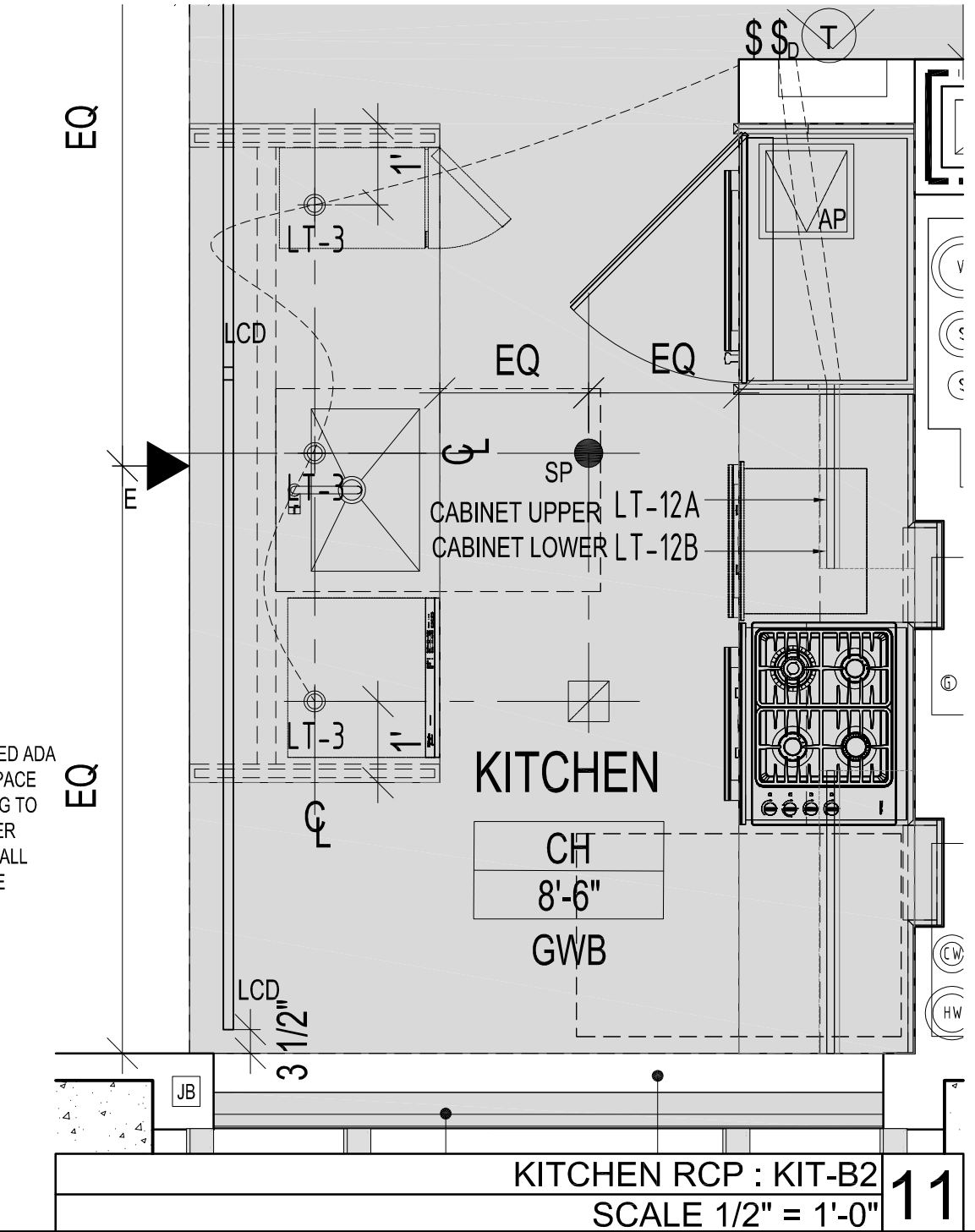
KITCHEN PLAN : KIT-B2
SCALE 1/2" = 1'-0" 17

KITCHEN PLAN : KIT-B2
SCALE 1/2" = 1'-0" 16

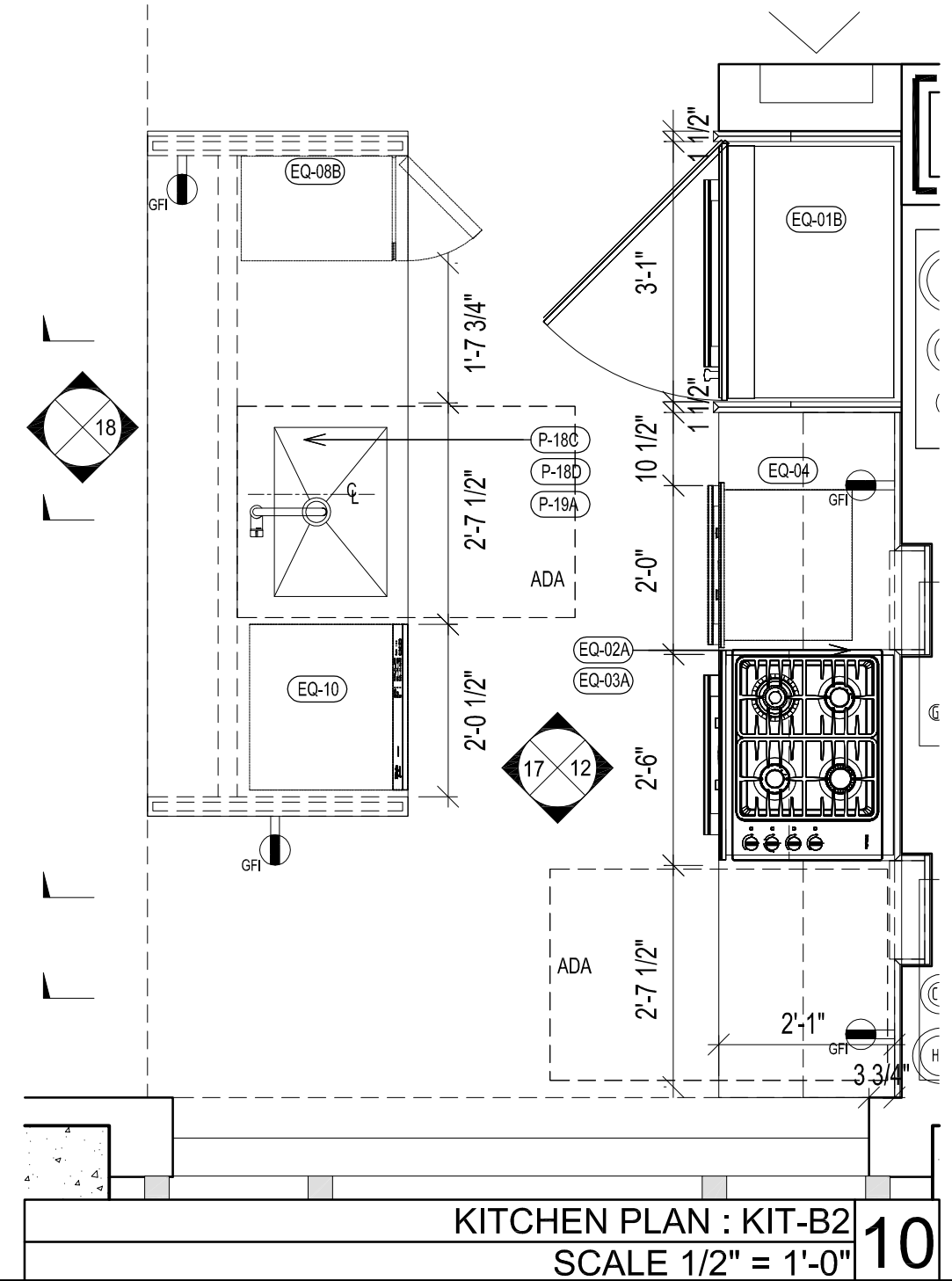
KITCHEN PLAN : KIT-B2
SCALE 1/2" = 1'-0" 15



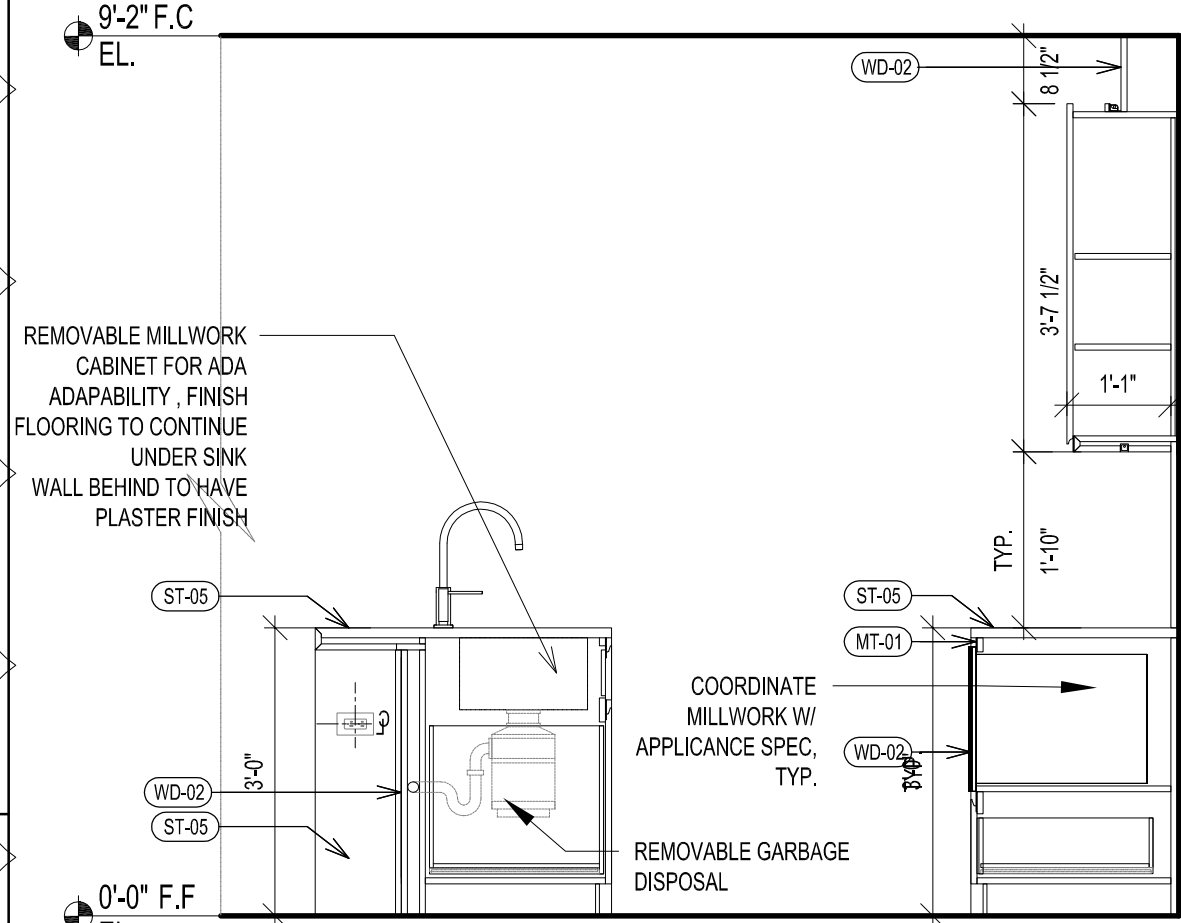
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SCALE 1/2" = 1'-0" 12



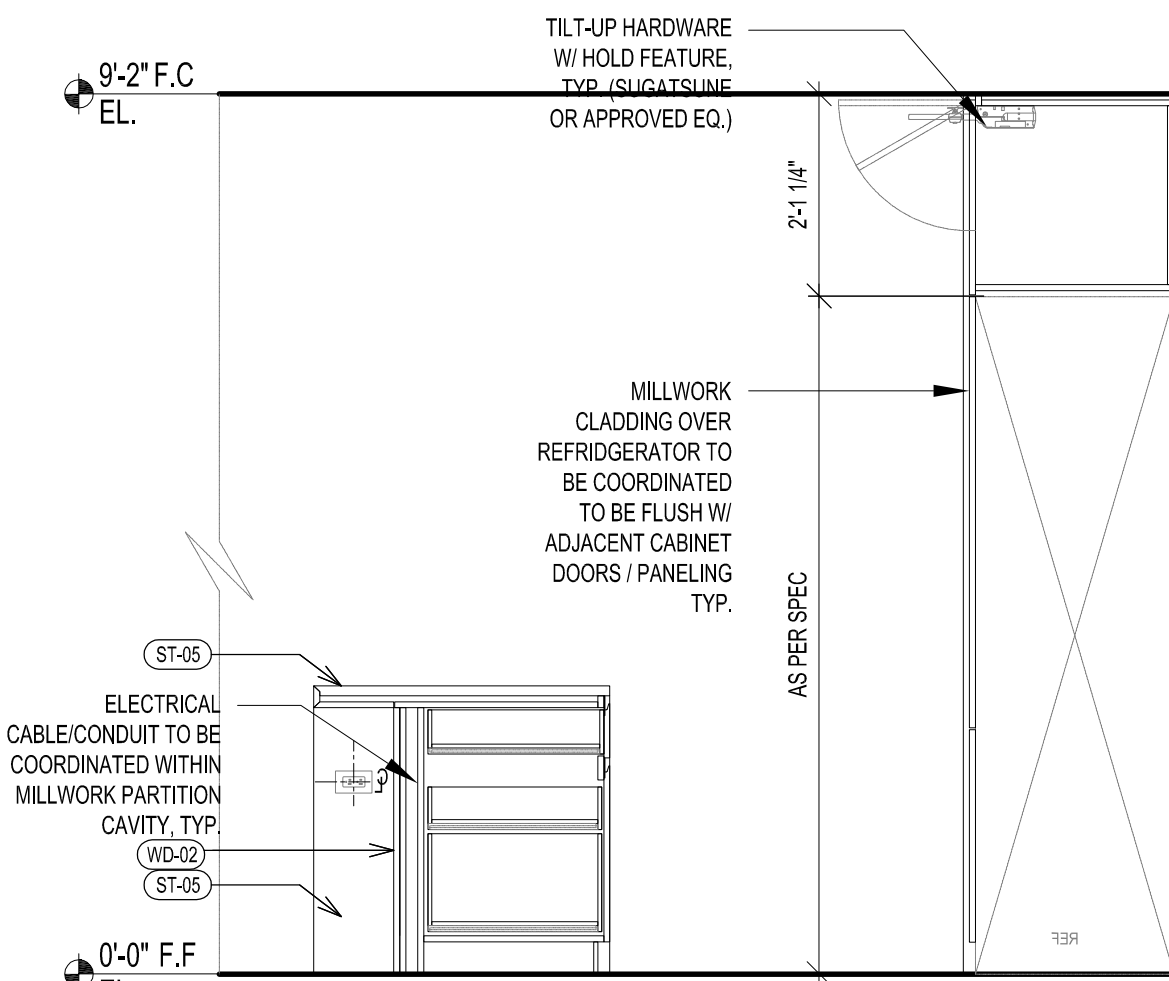
KITCHEN RCP : KIT-B2
SCALE 1/2" = 1'-0" 11



KITCHEN PLAN : KIT-B2
SCALE 1/2" = 1'-0" 10

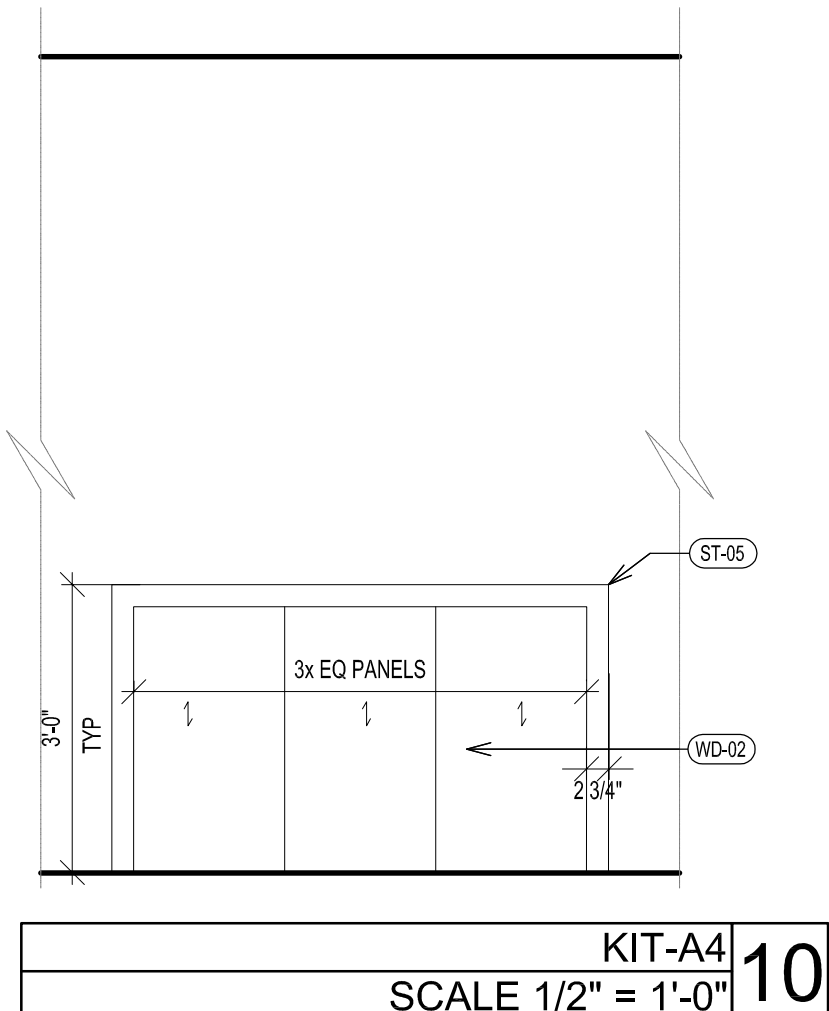


KIT-B1-T1 @ TIER 1 UNITA
SCALE 1/2" = 1'-0" 14

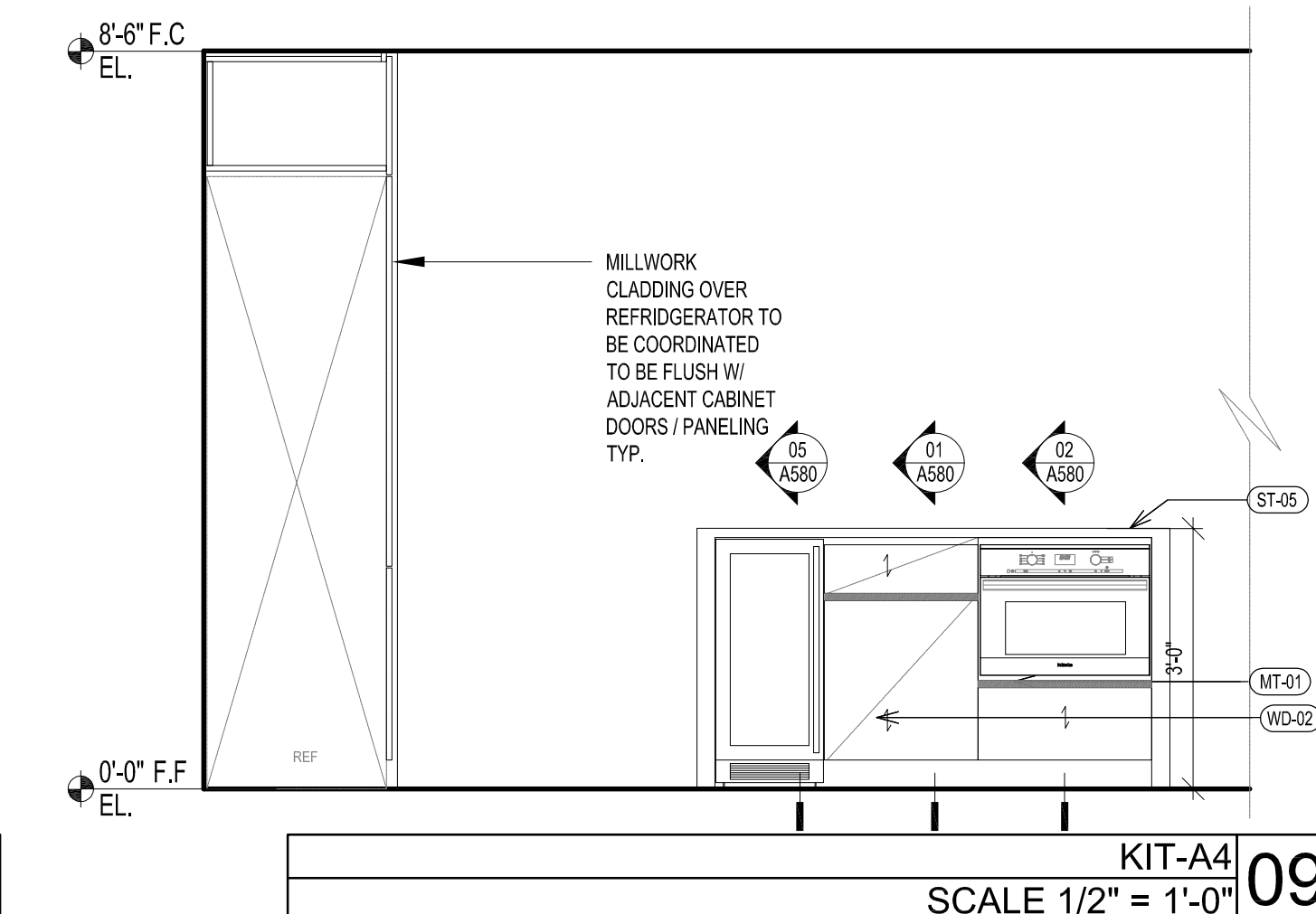


KIT-B1-T1 @ TIER 1 UNITA
SCALE 1/2" = 1'-0" 13

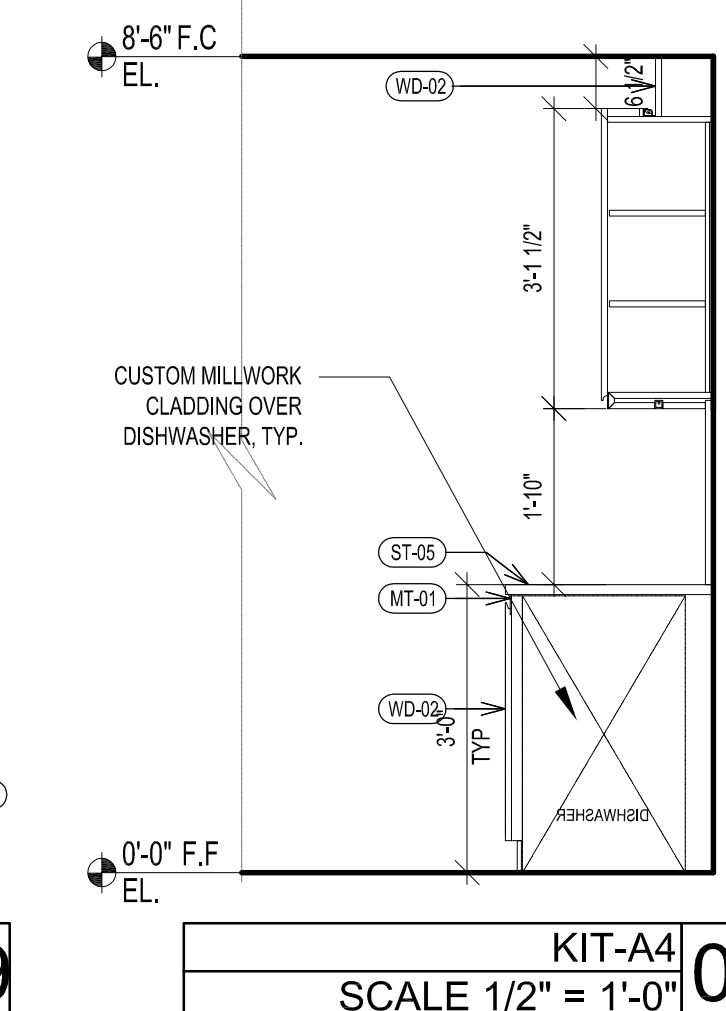
KITCHEN TYPE	FLOOR	UNIT	CEILING HT
A4	LV 28-35	UNIT A	8'-6"



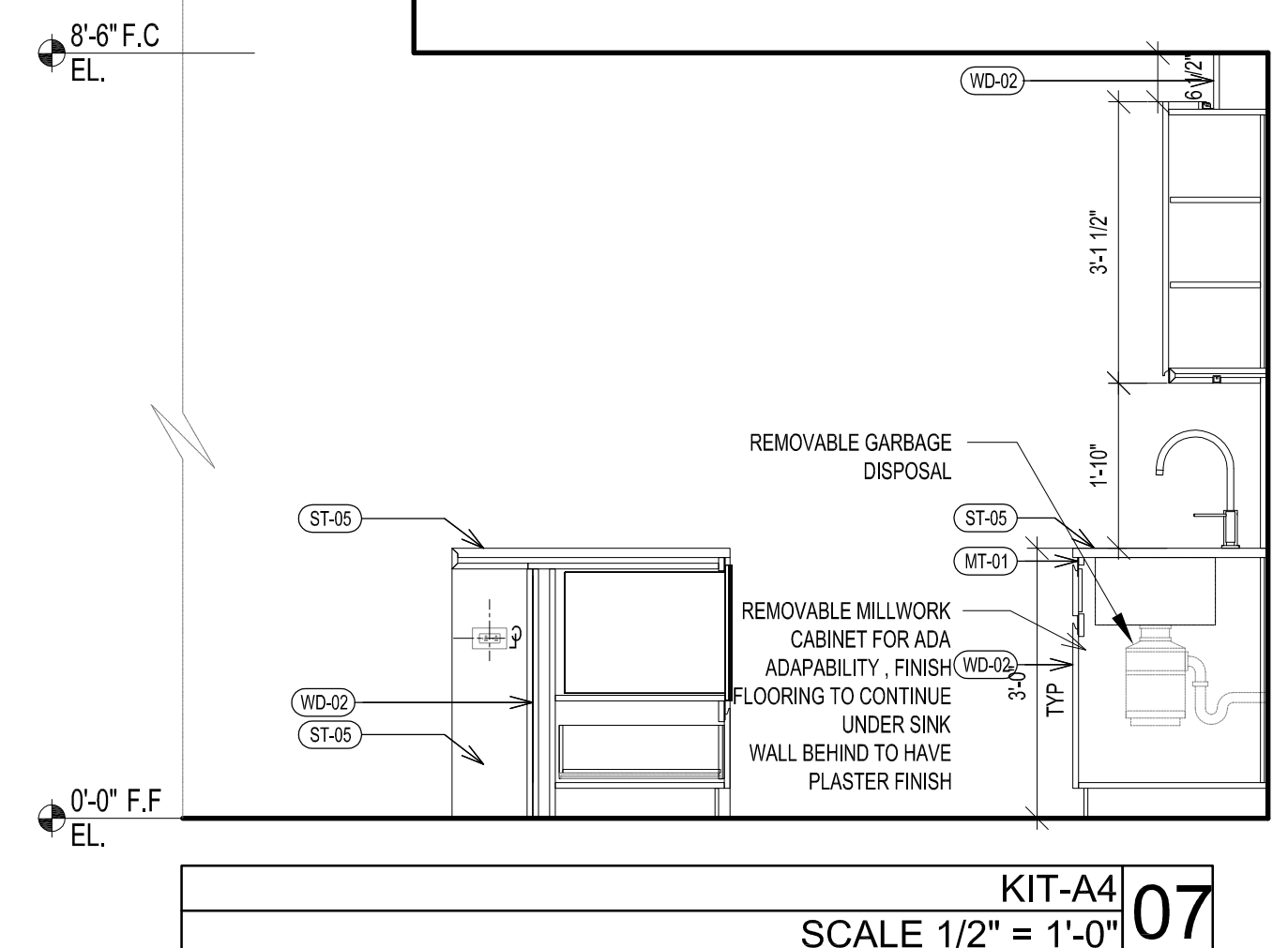
KIT-A4
SCALE 1/2" = 1'-0" 10



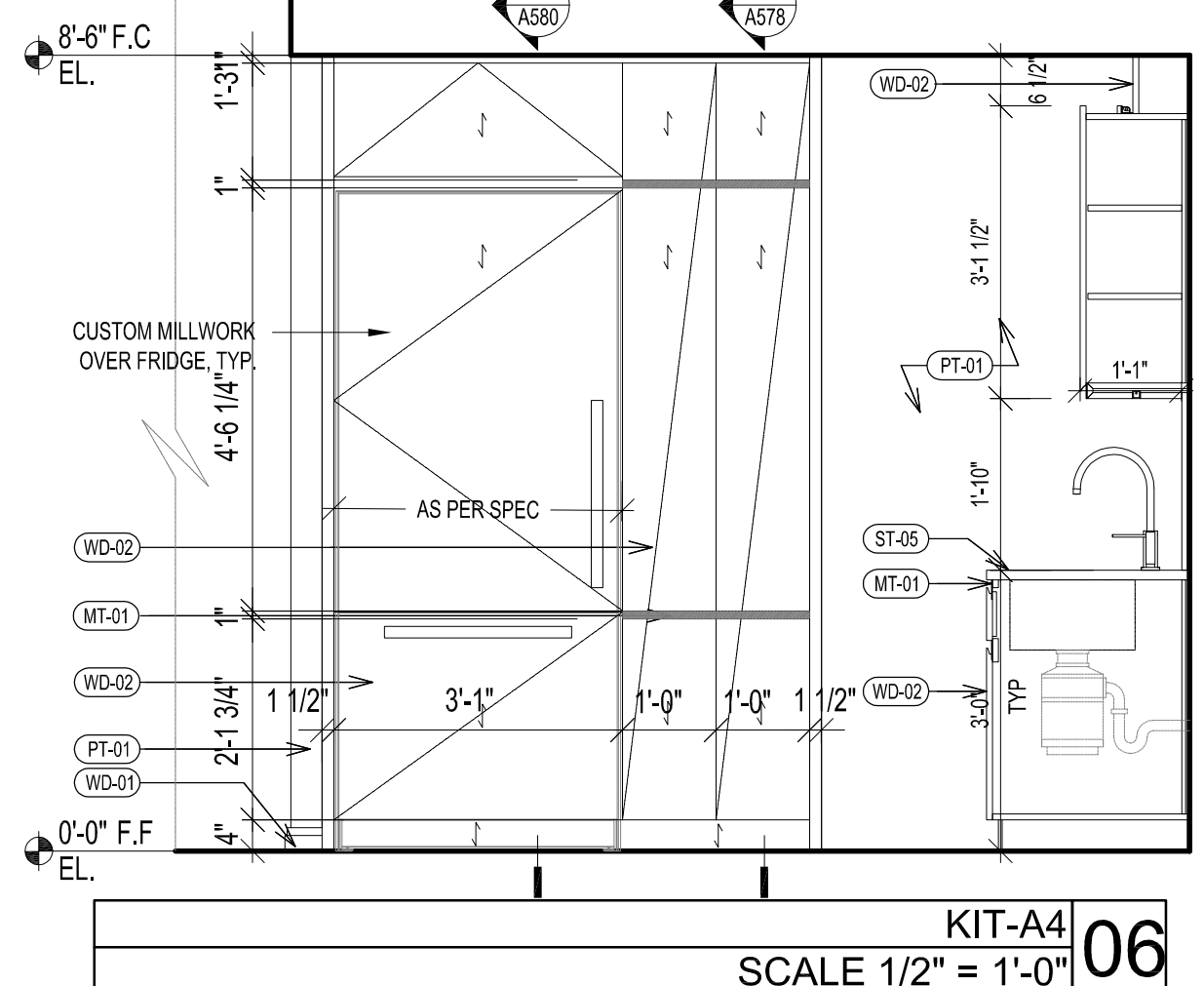
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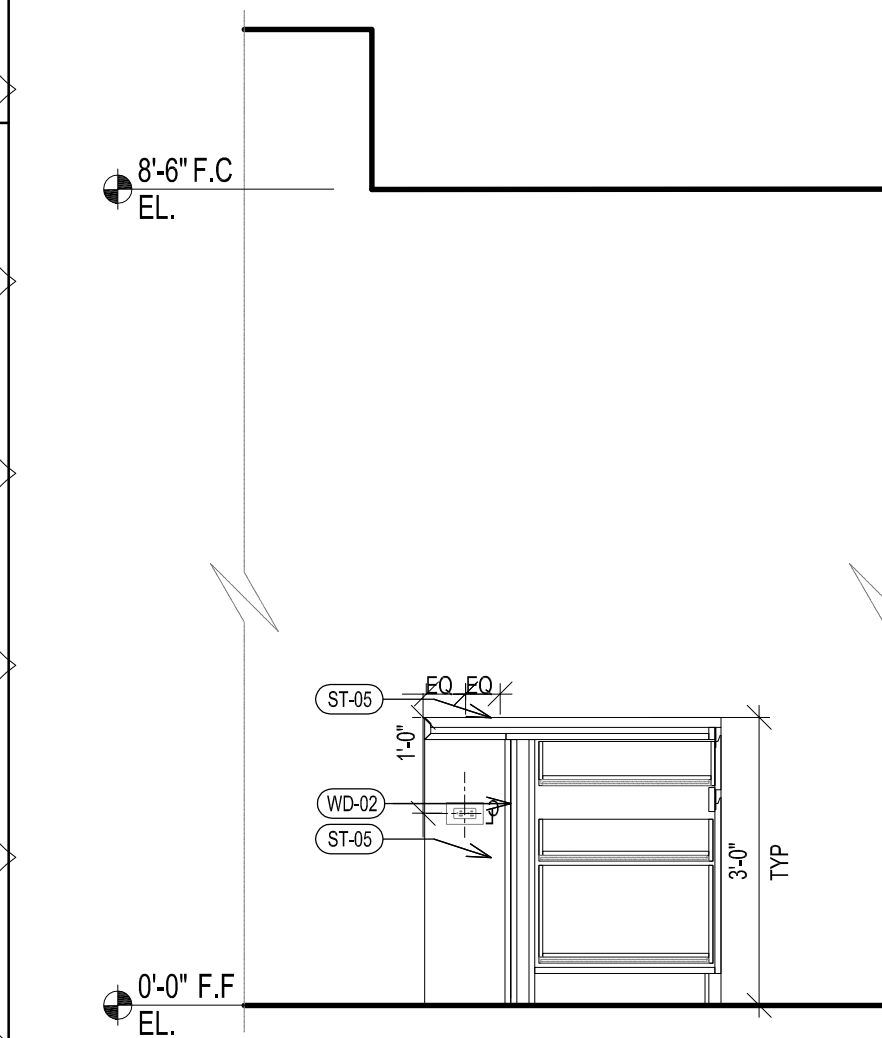
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SCALE 1/2" = 1'-0" 08



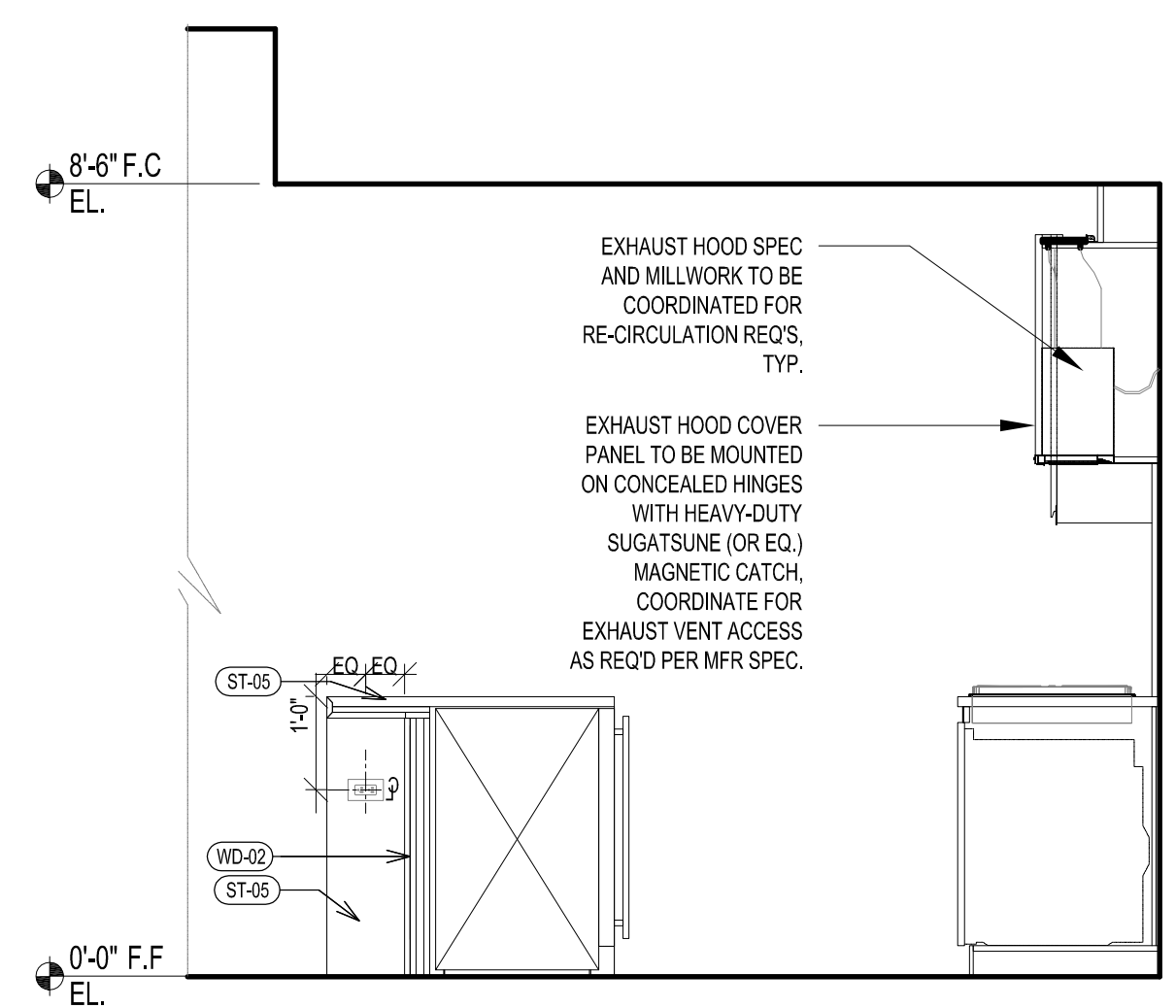
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SCALE 1/2" = 1'-0" 07



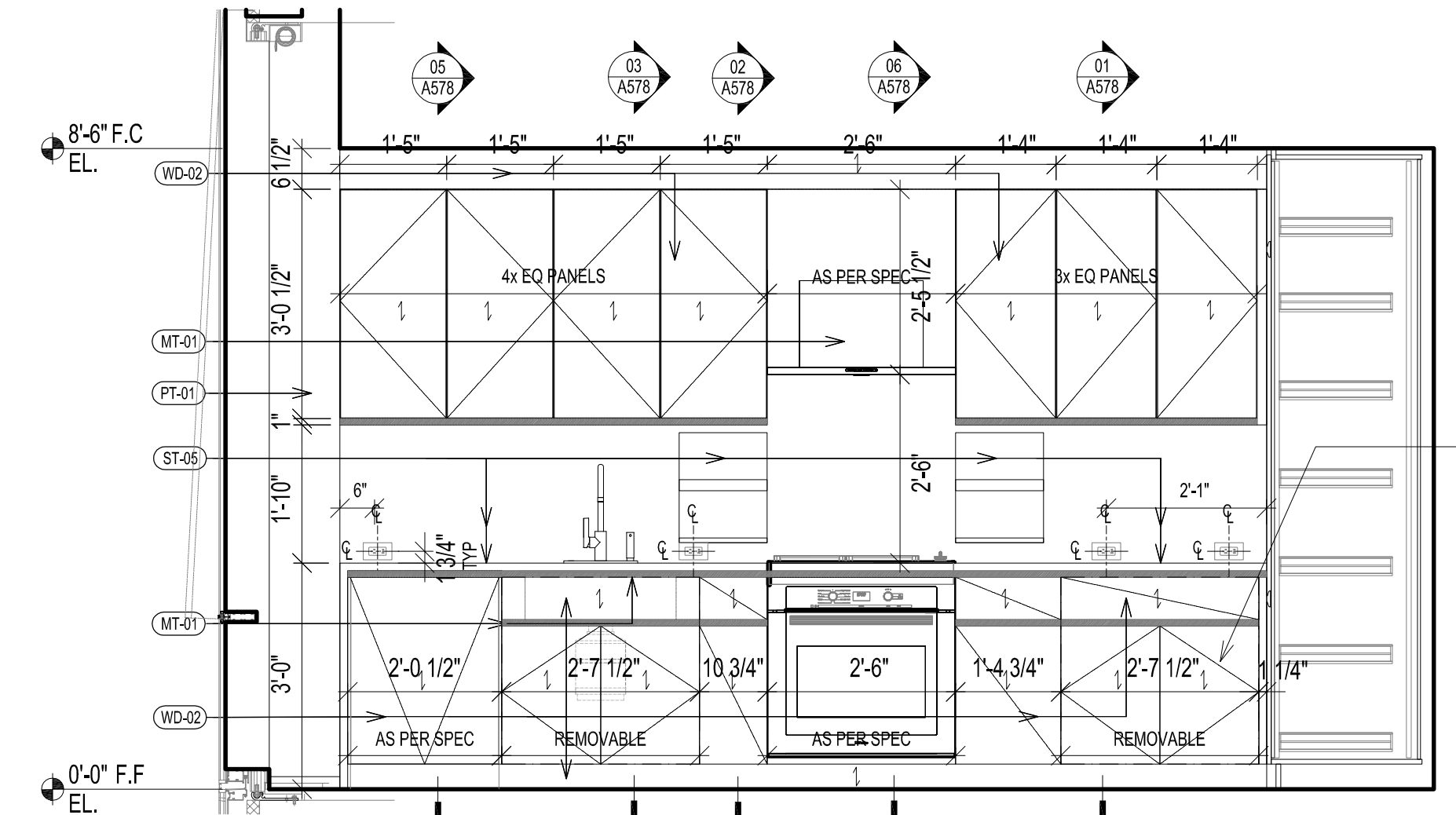
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SCALE 1/2" = 1'-0" 06



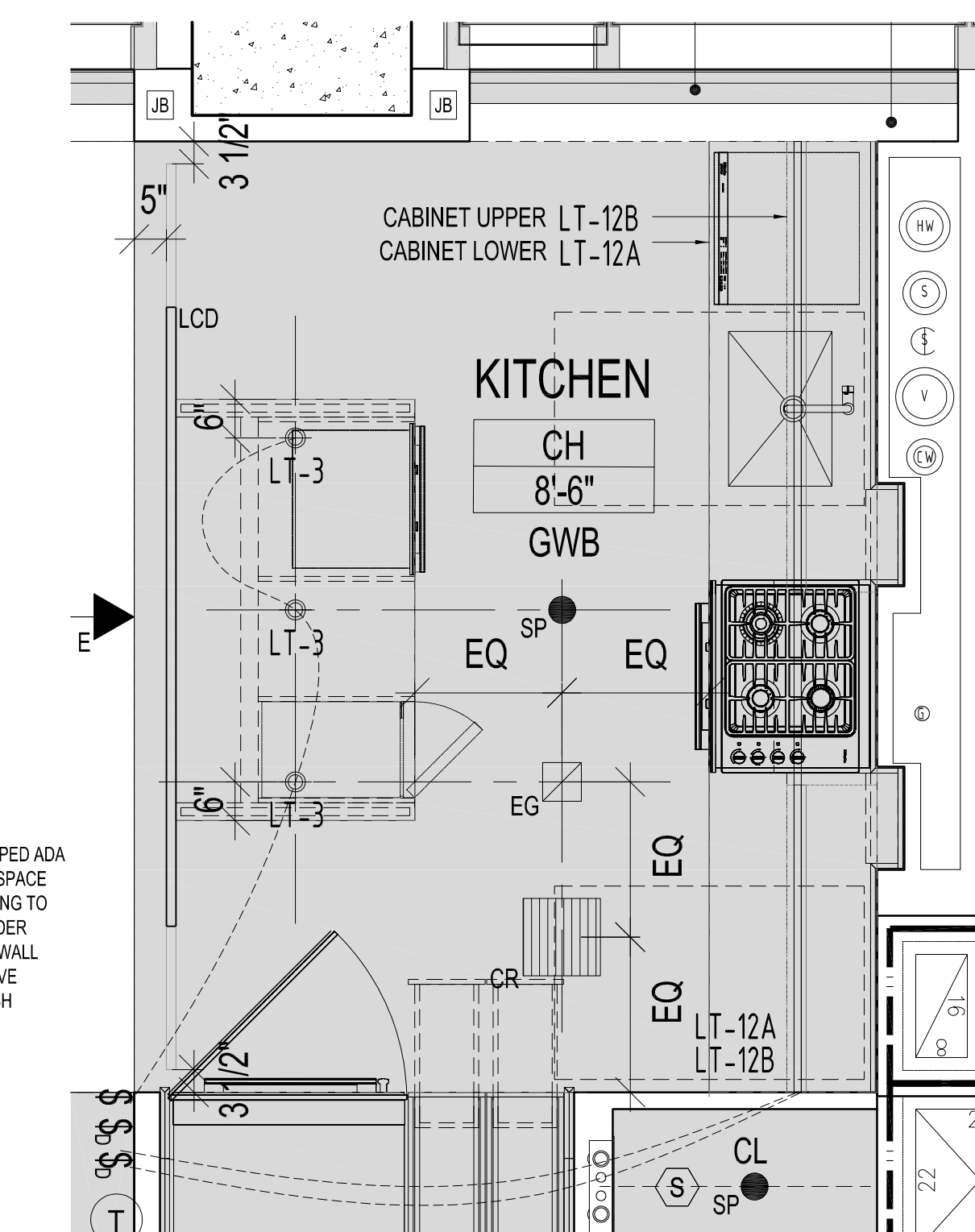
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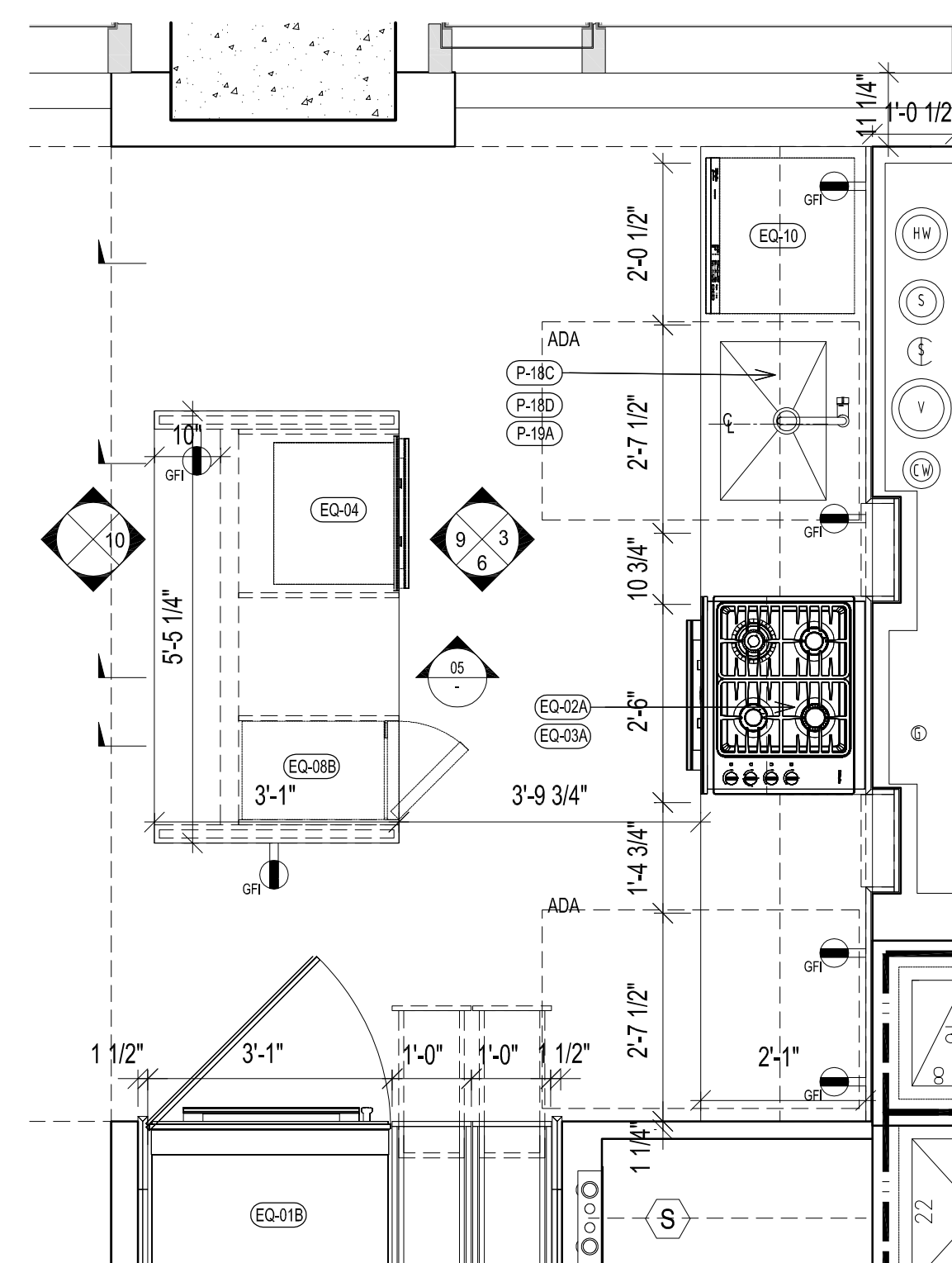
KIT-A4
SCALE 1/2" = 1'-0" 04



KIT-A4
SCALE 1/2" = 1'-0" 03



KITCHEN RCP : KIT-A4
SCALE 1/2" = 1'-0" 02



KITCHEN PLAN : KIT-A4
SCALE 1/2" = 1'-0" 01

277
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OWNER:
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CONSTRUCTION MANAGER:
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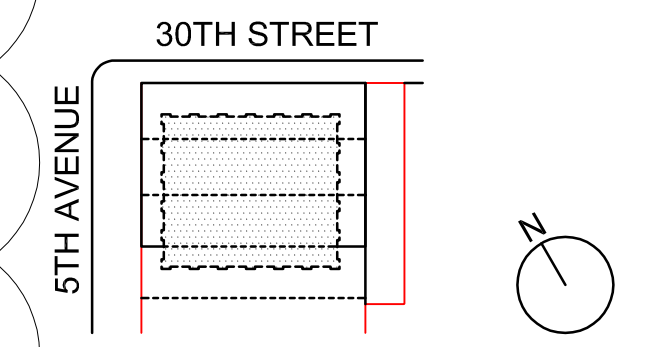
ENERGY MODELING CONSULTANT:
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TEL: 212 352 2020

NYC DEPT. OF BUILDINGS
PAA #2

ARCHITECT'S SEAL
Areg Asatryan, RA
U. [Signature]
APPROVED
Under Directive 2 of 1995
ADMINISTRATIVE REGULATION
Date: 09/19/2018
NYC Development Hub

09/08/2017 PAA #2
02/24/2017 PAA #1
ISSUE DATE
NO. DATE DESCRIPTION



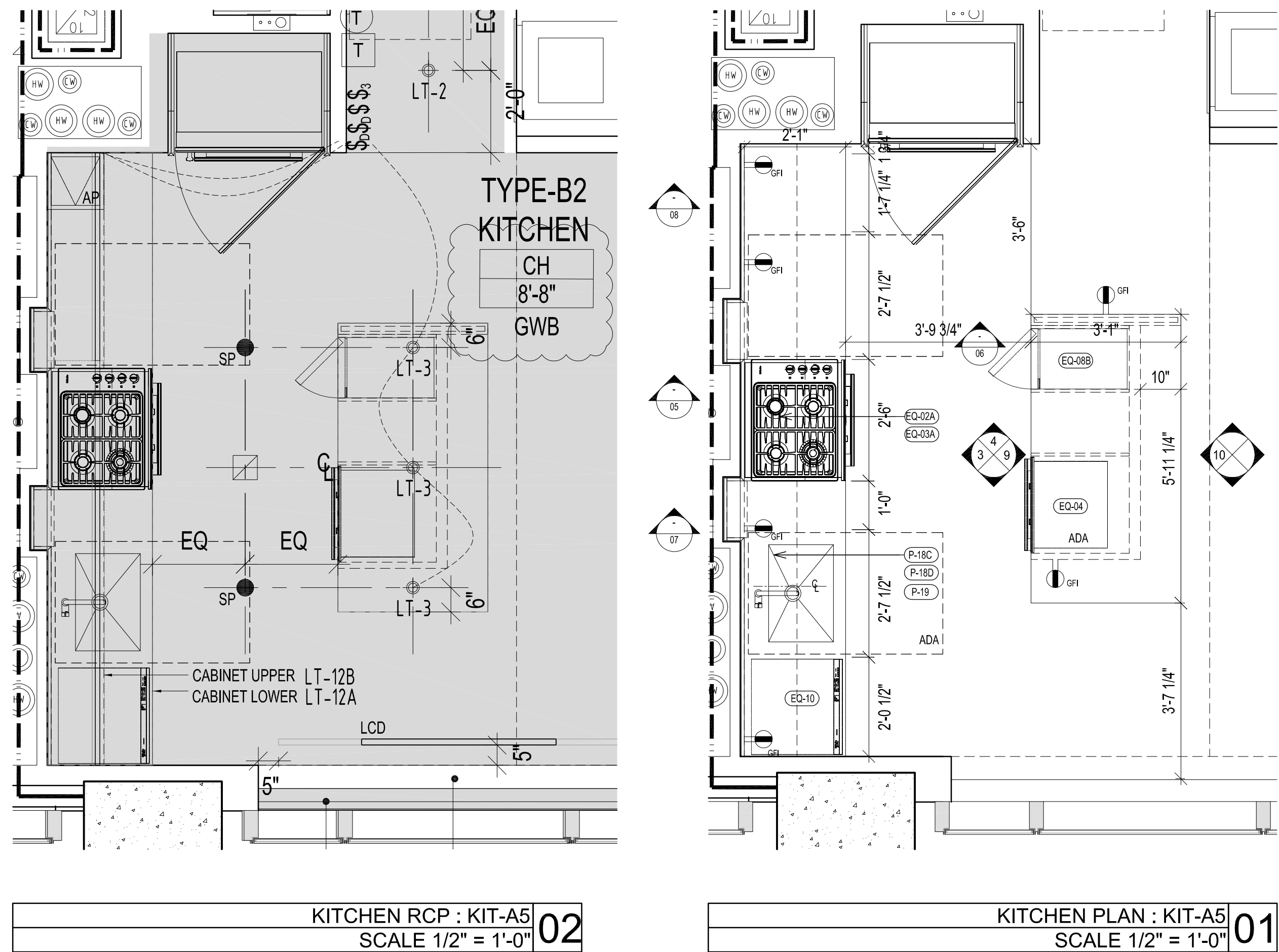
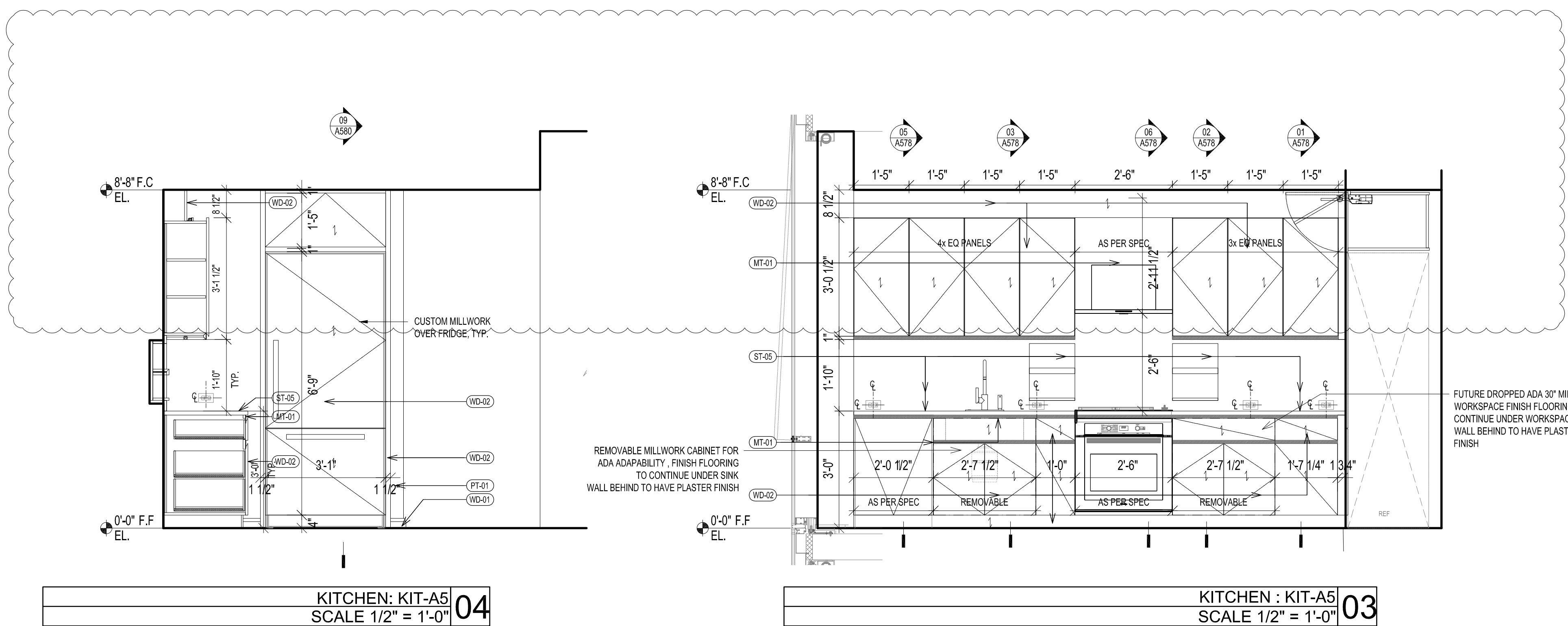
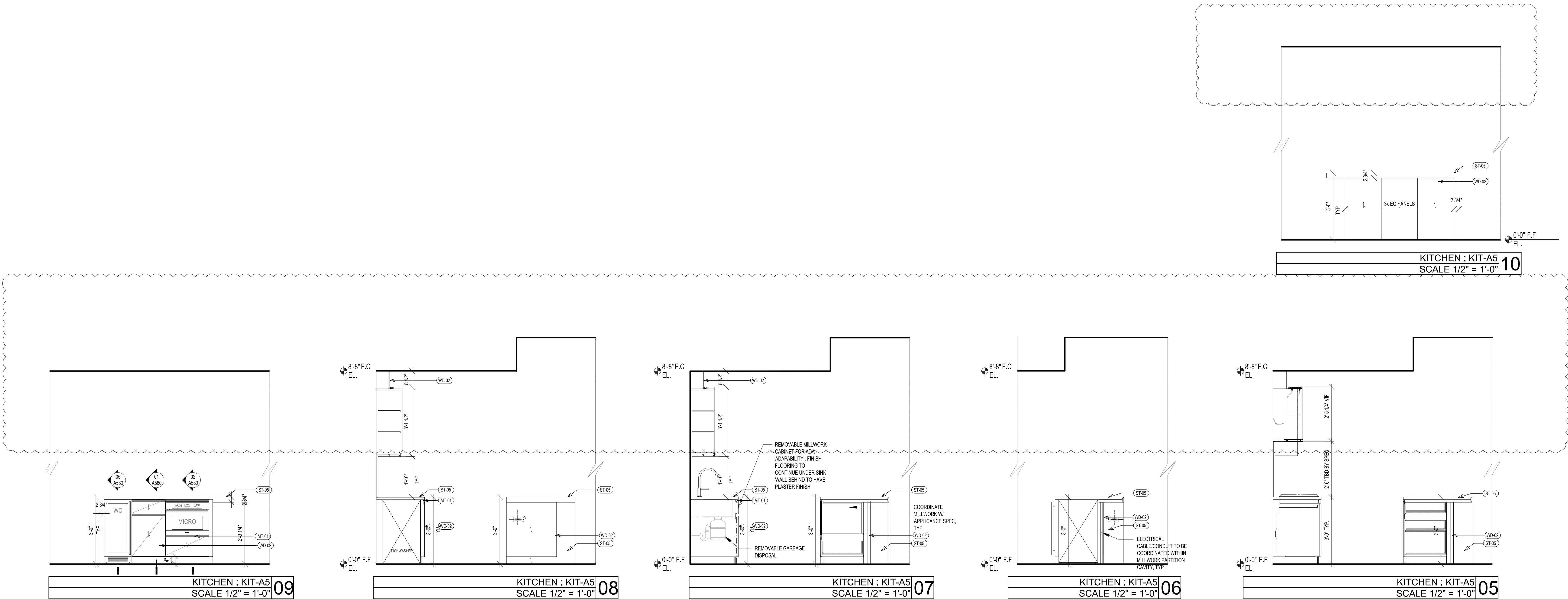
SCALE 1/2" = 1'-0"
TYPICAL RESIDENTIAL
KITCHEN A4
KITCHEN B2

SHEET TITLE :

A-562.01

SHEET NUMBER :

KITCHEN TYPE	FLOOR	UNIT	CEILING HT
A5	LV 28-35	UNIT B	8'-8"



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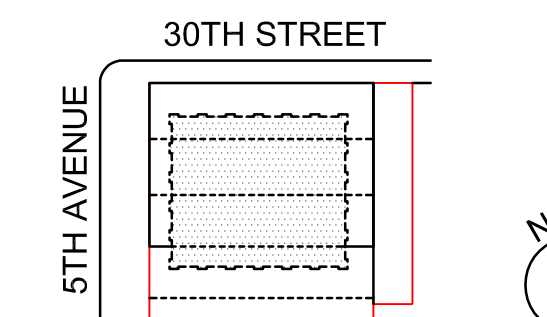
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KEY PLAN AND NORTH SIGN
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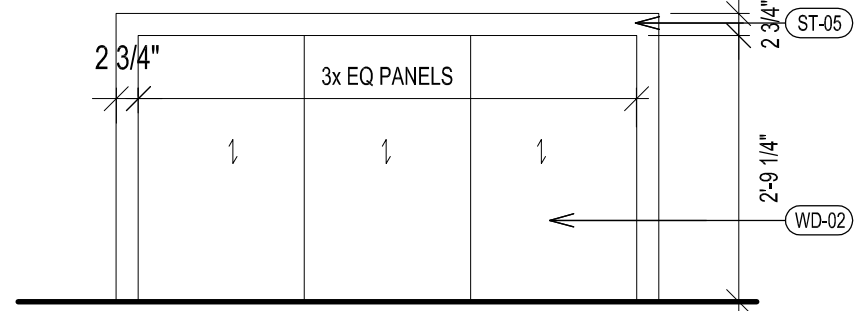
TYPICAL RESIDENTIAL
KITCHEN A5

SHEET TITLE :

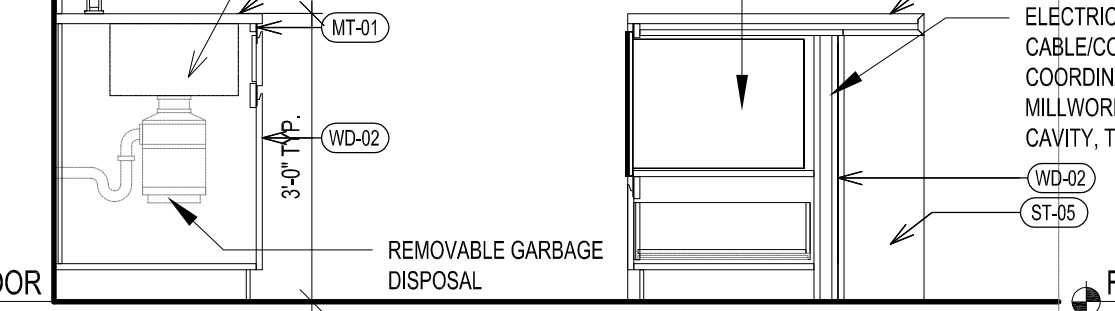
A-563.01

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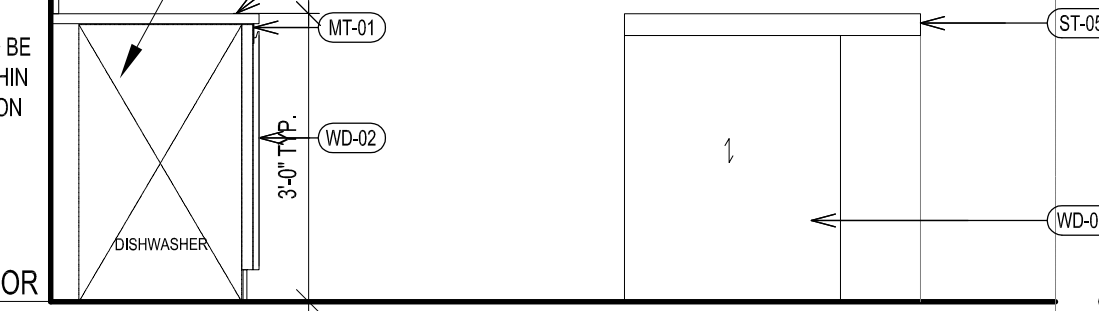
KITCHEN TYPE	FLOOR	UNIT	CEILING HT
A6	LV 36-39	UNIT C	8'-8"



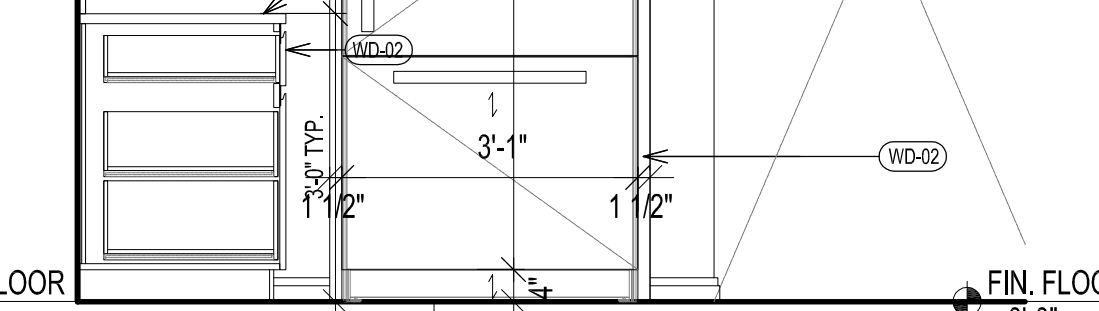
KITCHEN SECTION : KIT-A6
SCALE 1/2" = 1'-0"



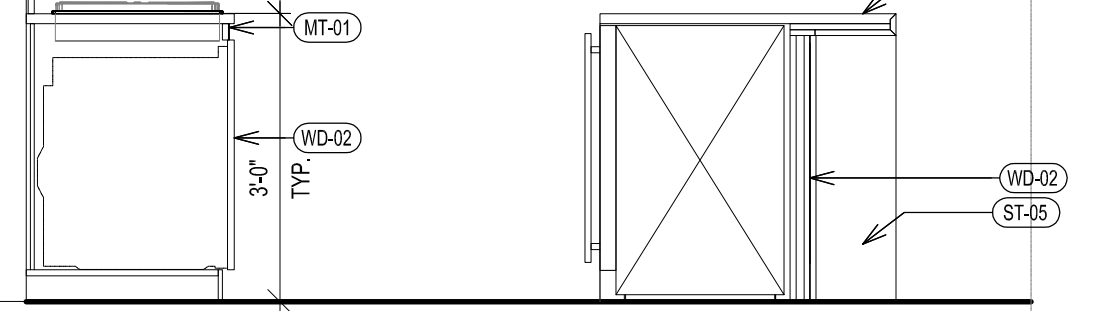
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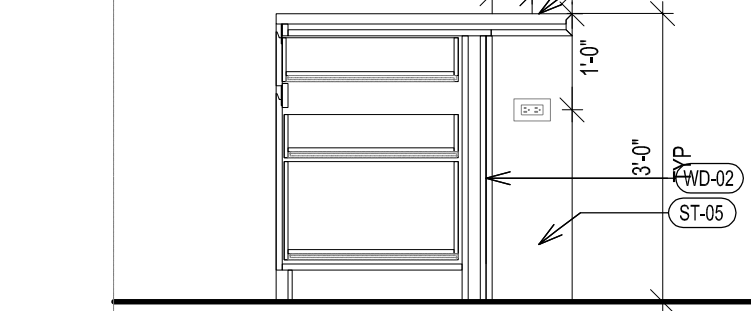
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SCALE 1/2" = 1'-0"



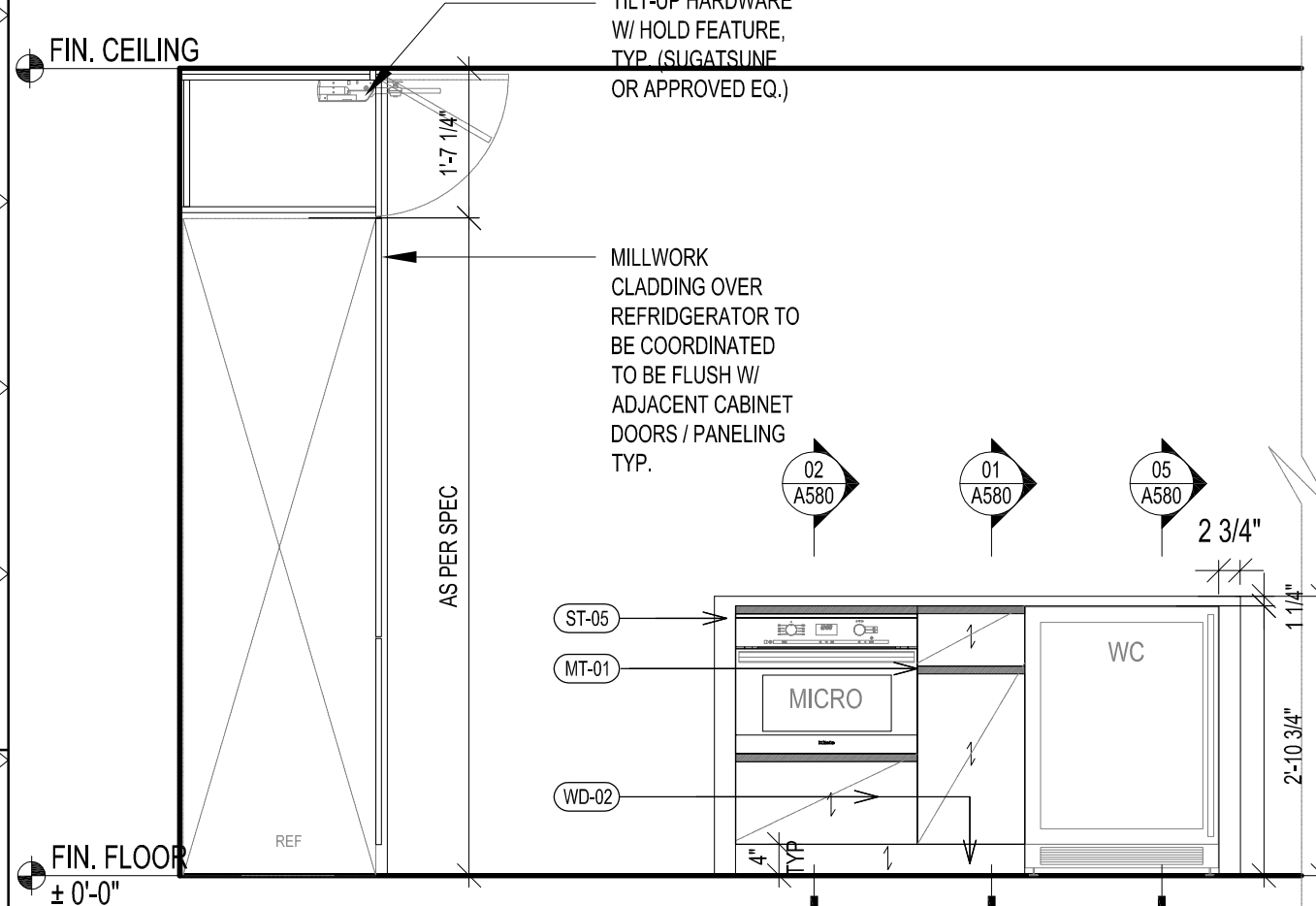
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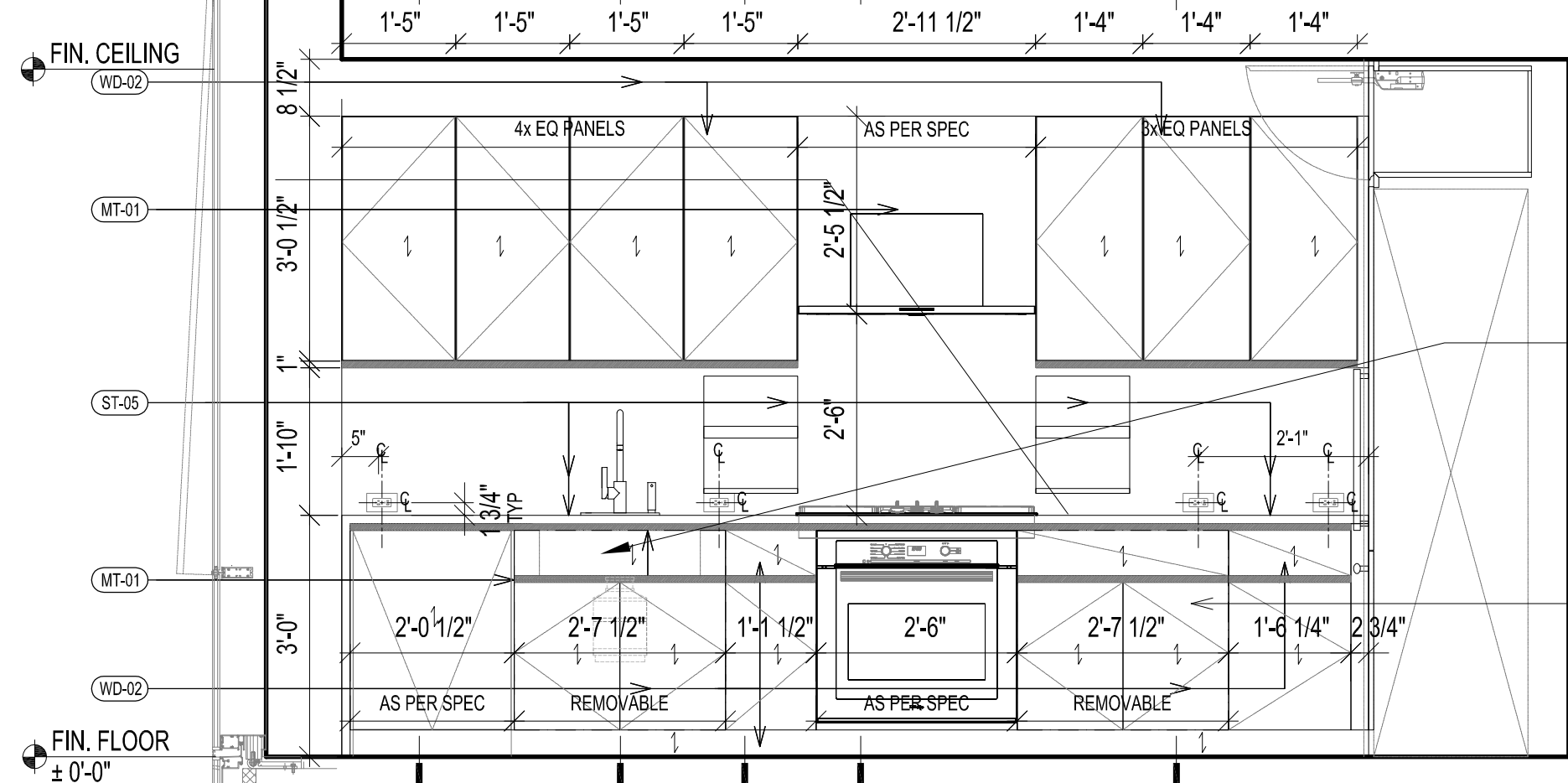
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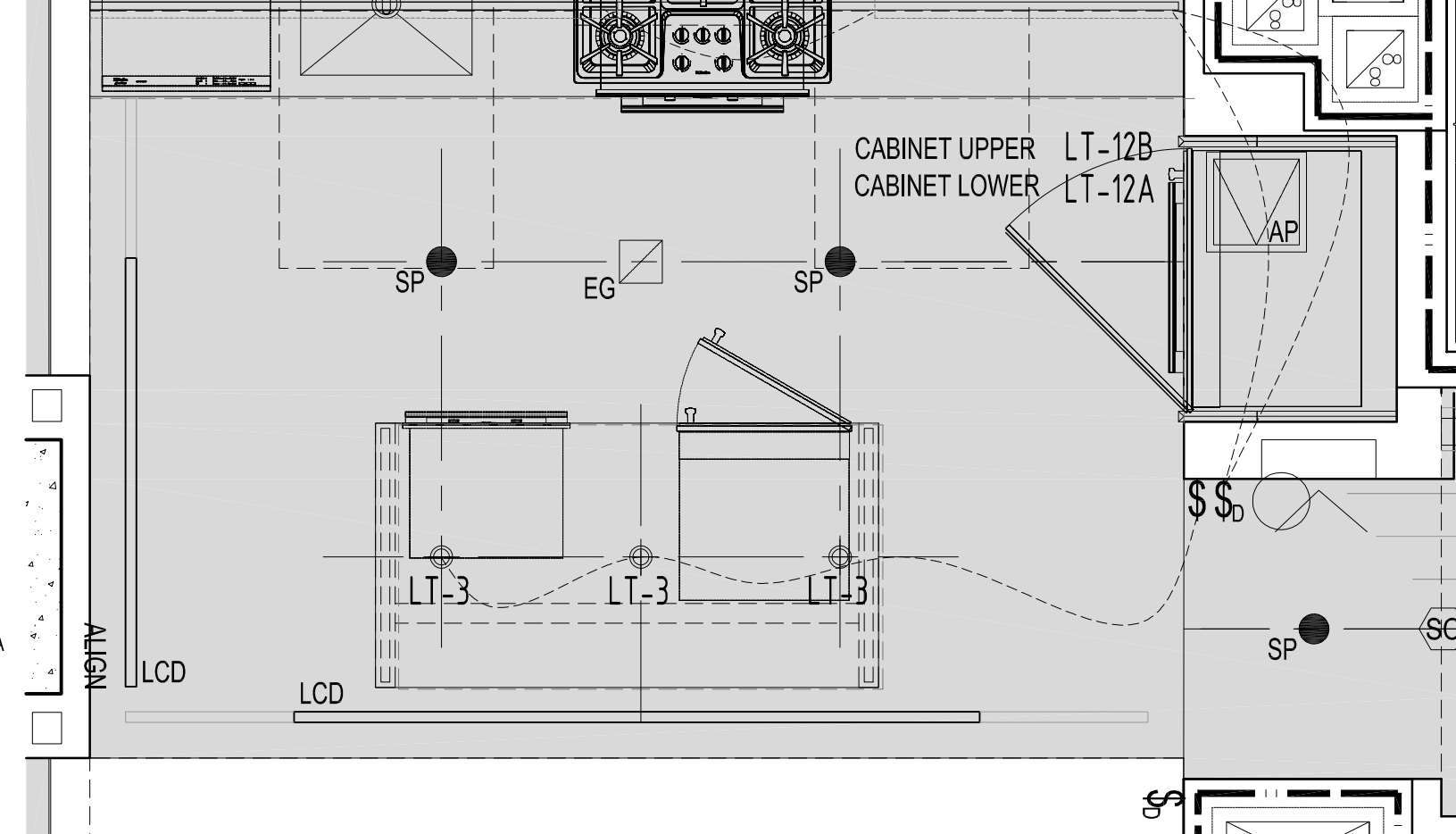
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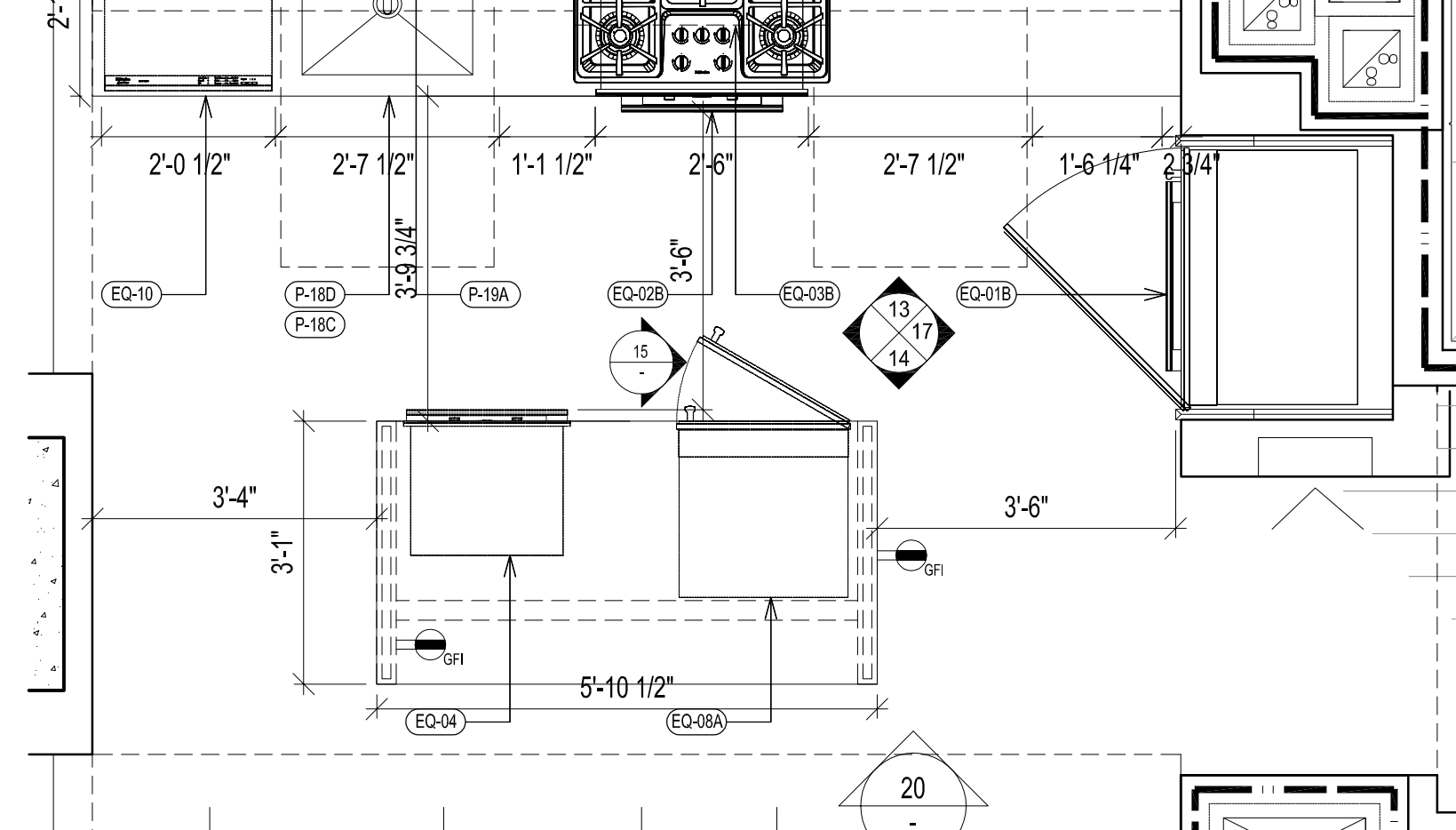
KITCHEN ELEVATION : KIT-A6
SCALE 1/2" = 1'-0"



KITCHEN ELEVATION : KIT-A6
SCALE 1/2" = 1'-0"

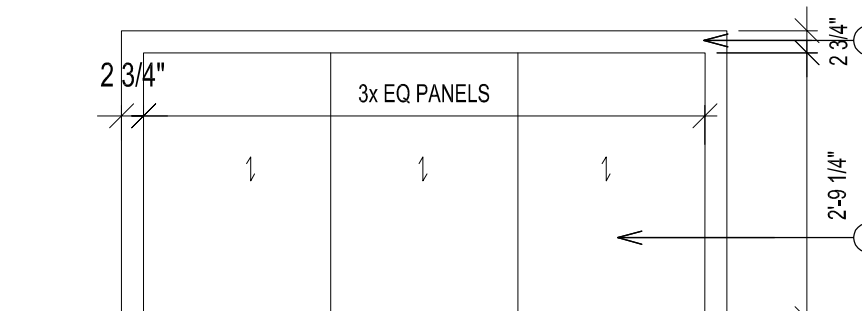


KITCHEN RCP PLAN : KIT-A6
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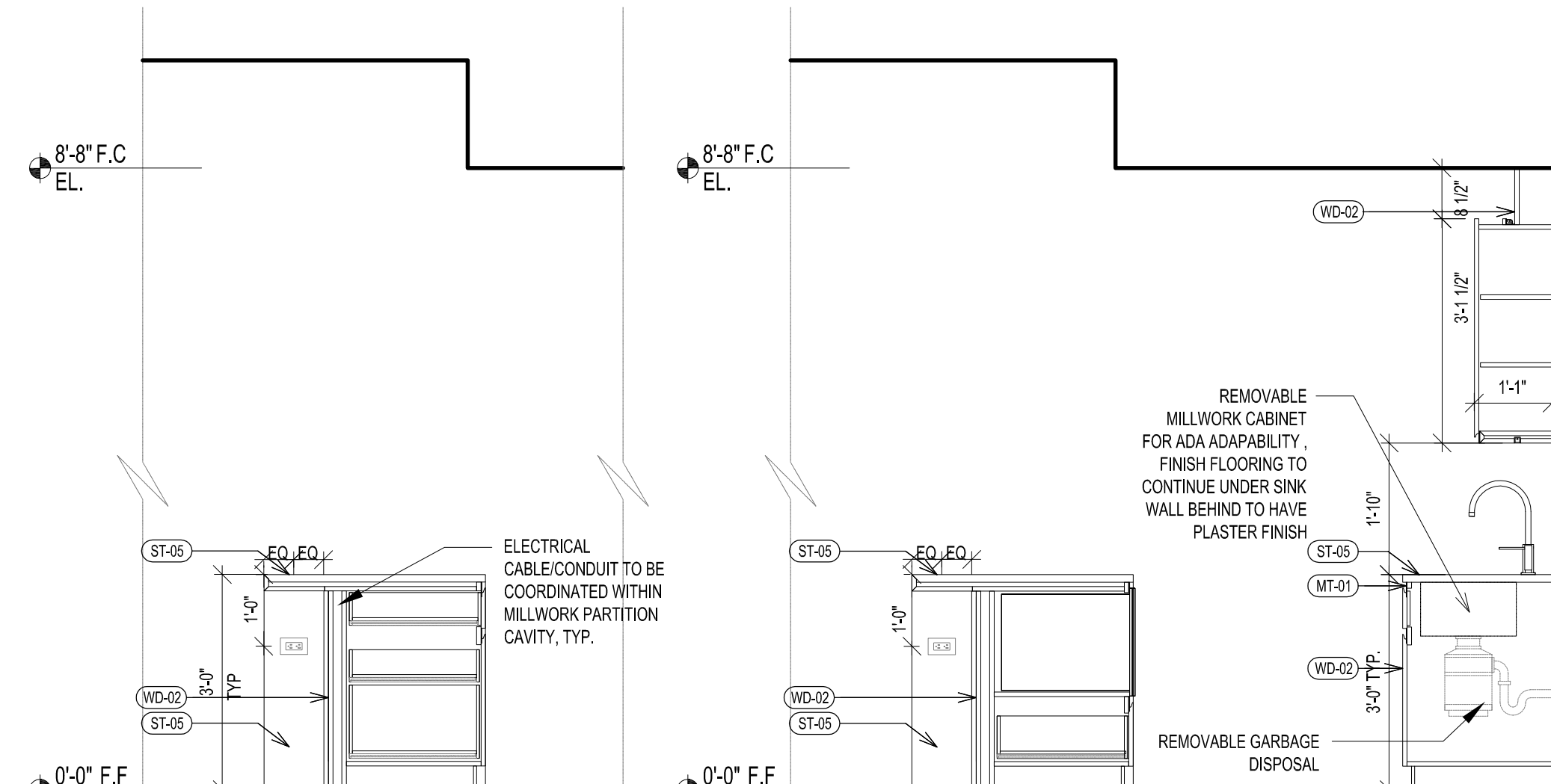


KITCHEN PLAN : KIT-A6
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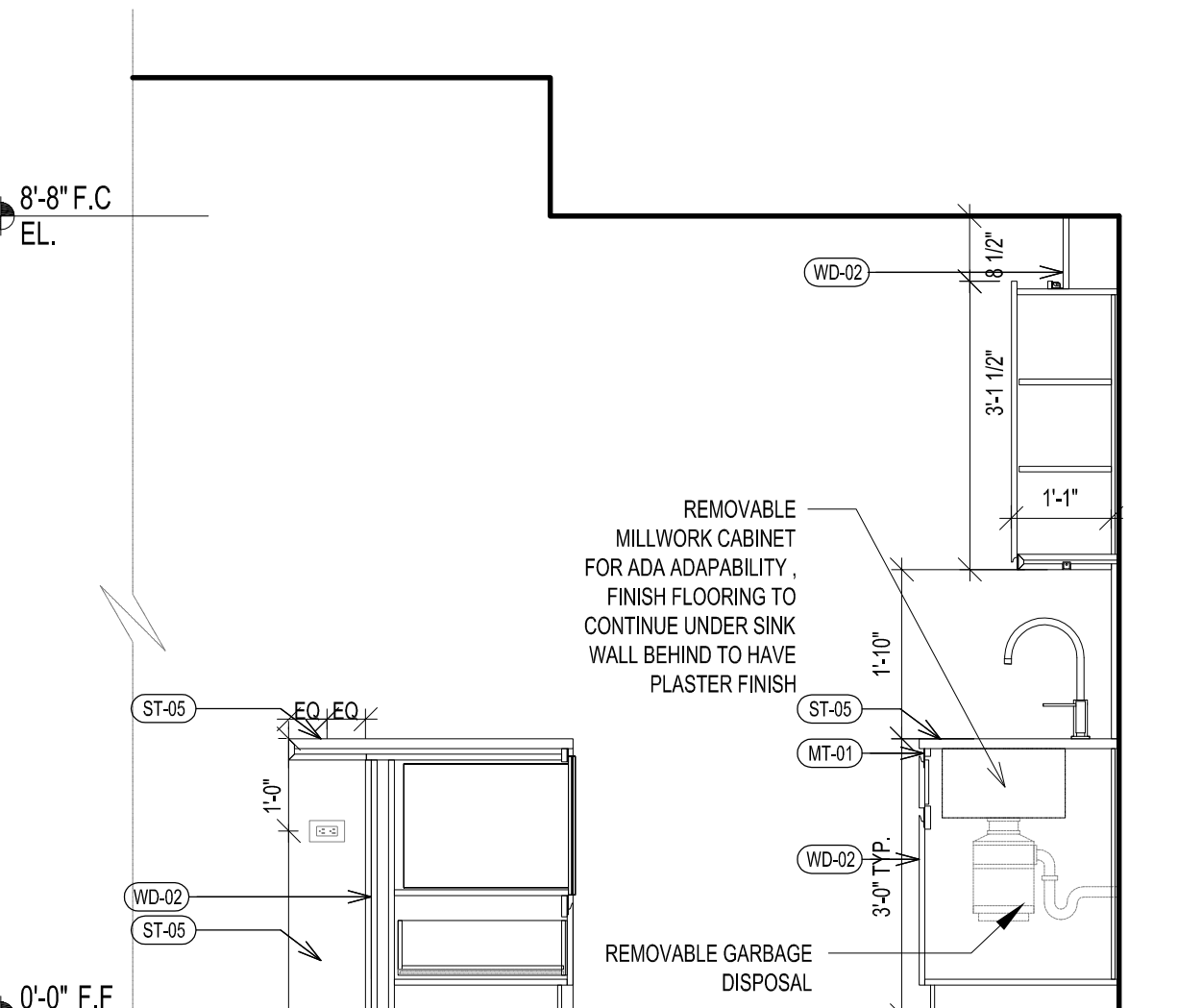
KITCHEN TYPE	FLOOR	UNIT	CEILING HT
A7	LV 36-39	UNIT B	8'-8"



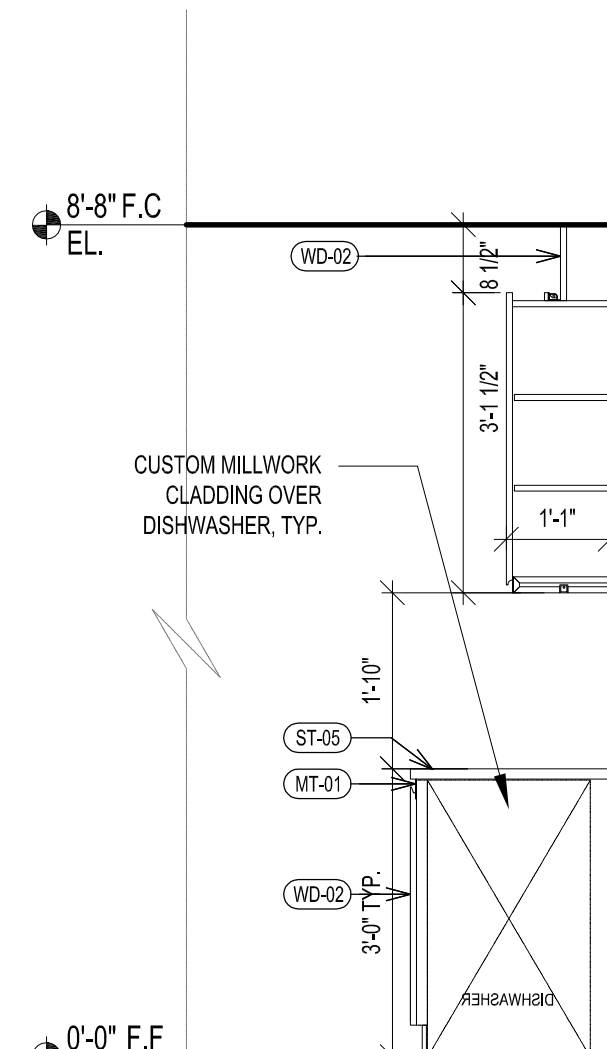
KITCHEN PLAN : KIT-A7
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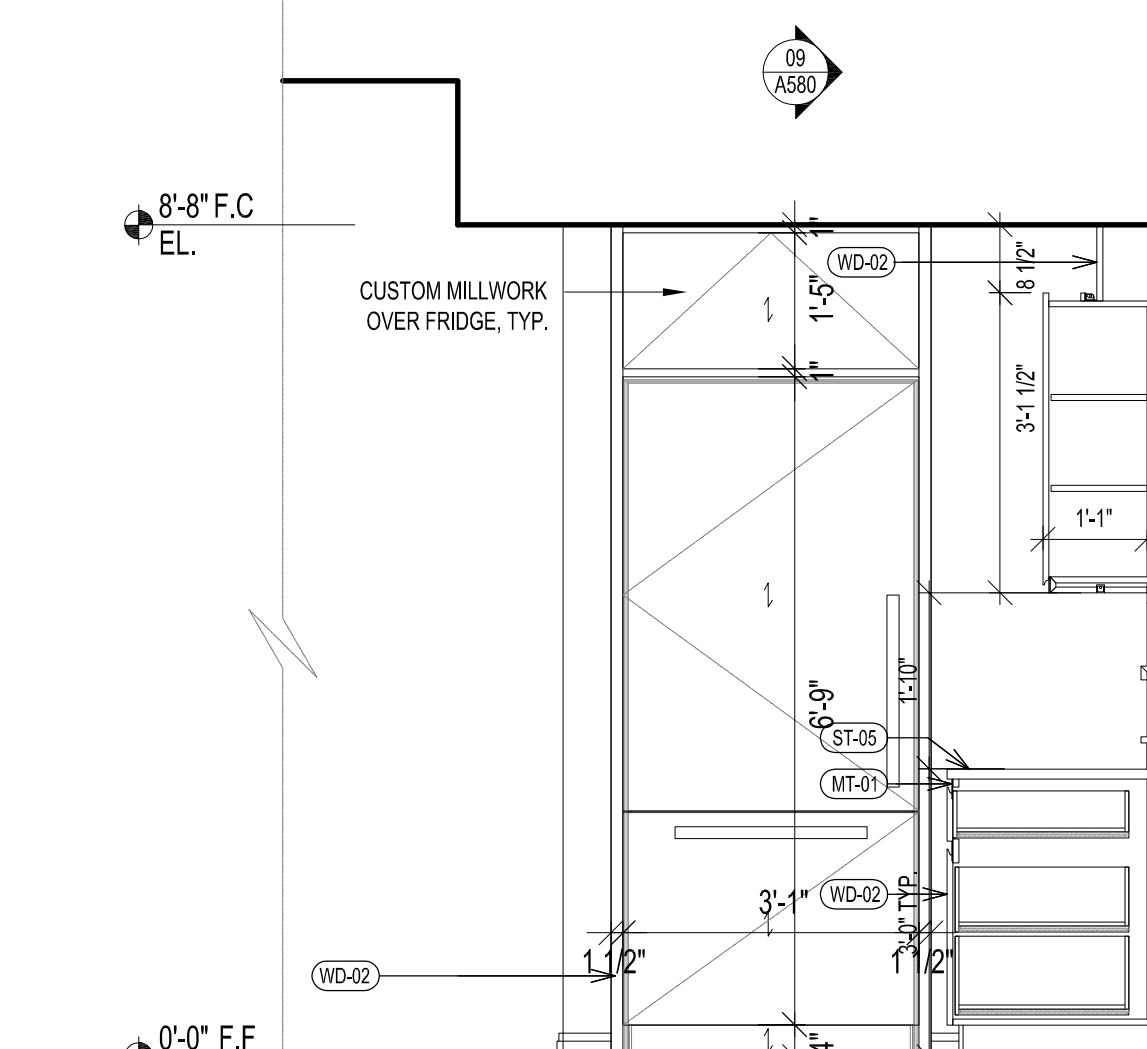
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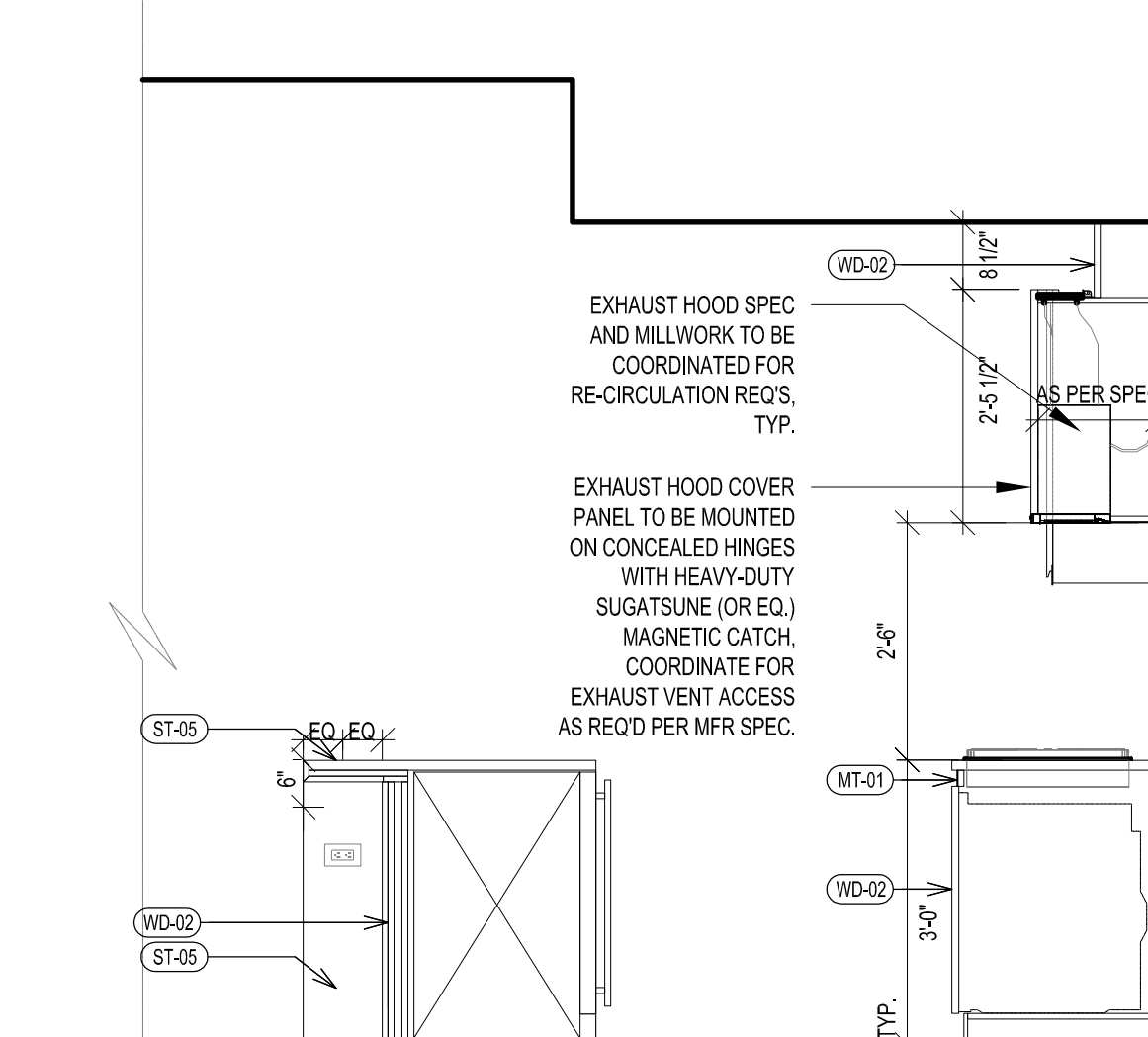
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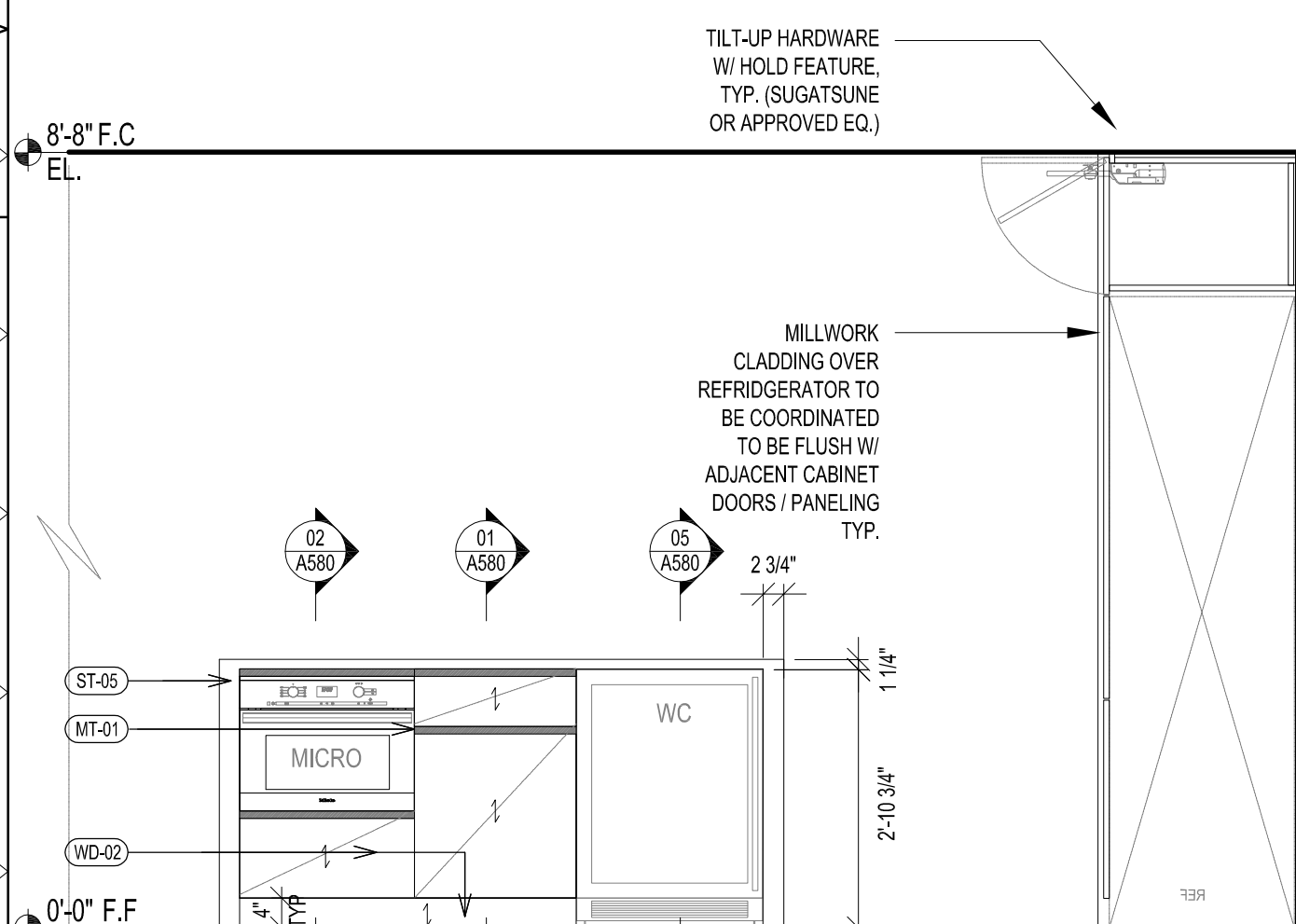
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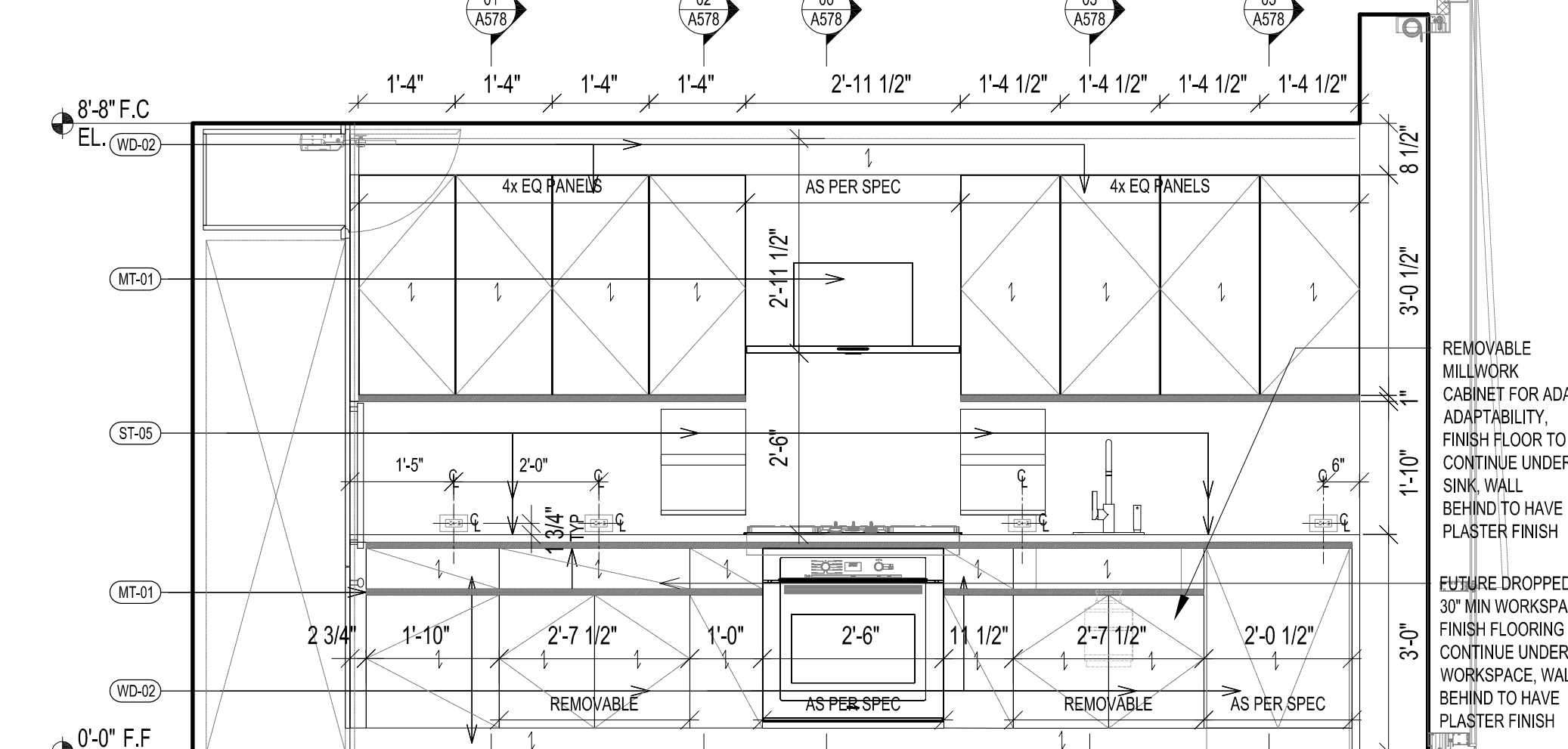
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SCALE 1/2" = 1'-0"



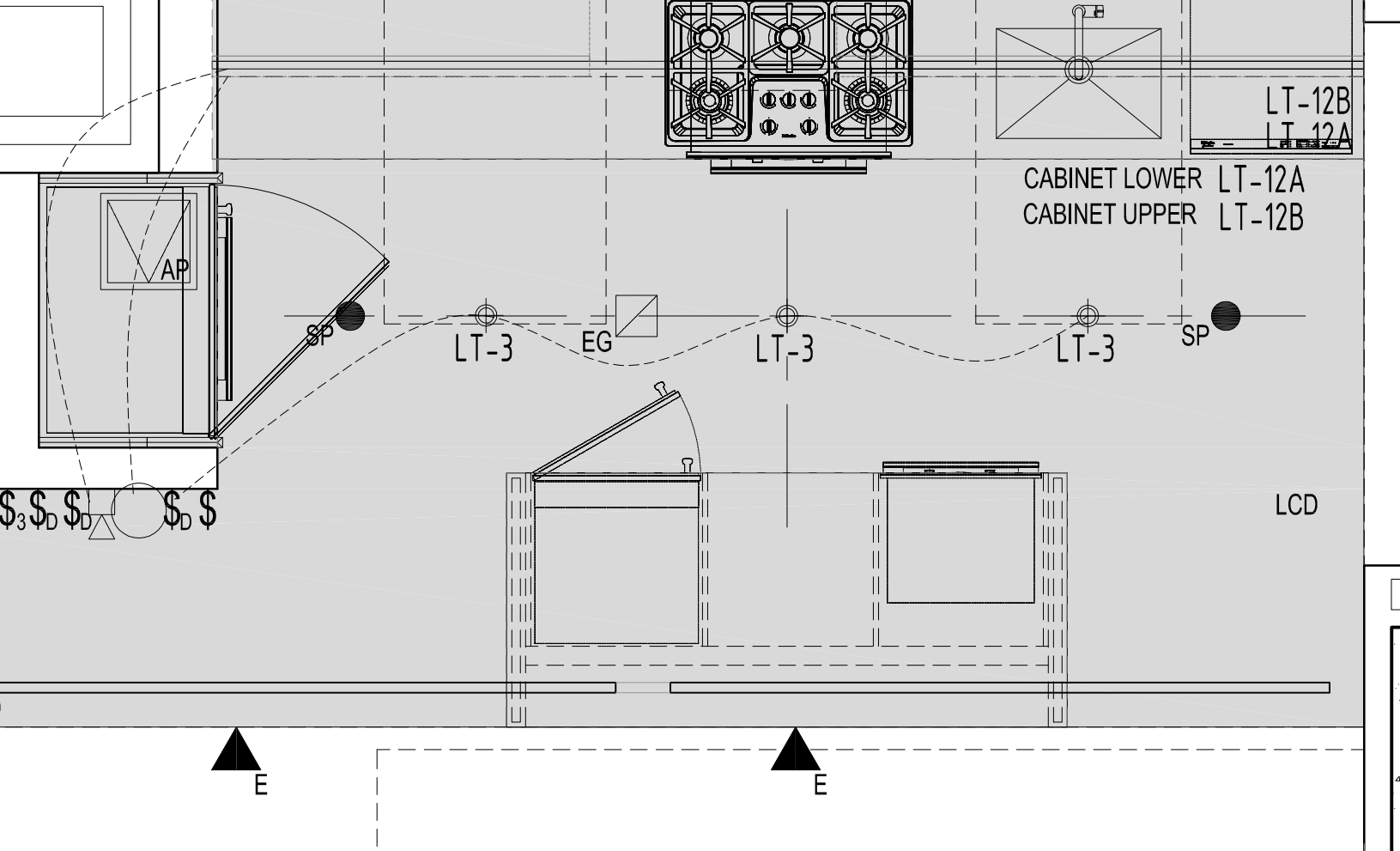
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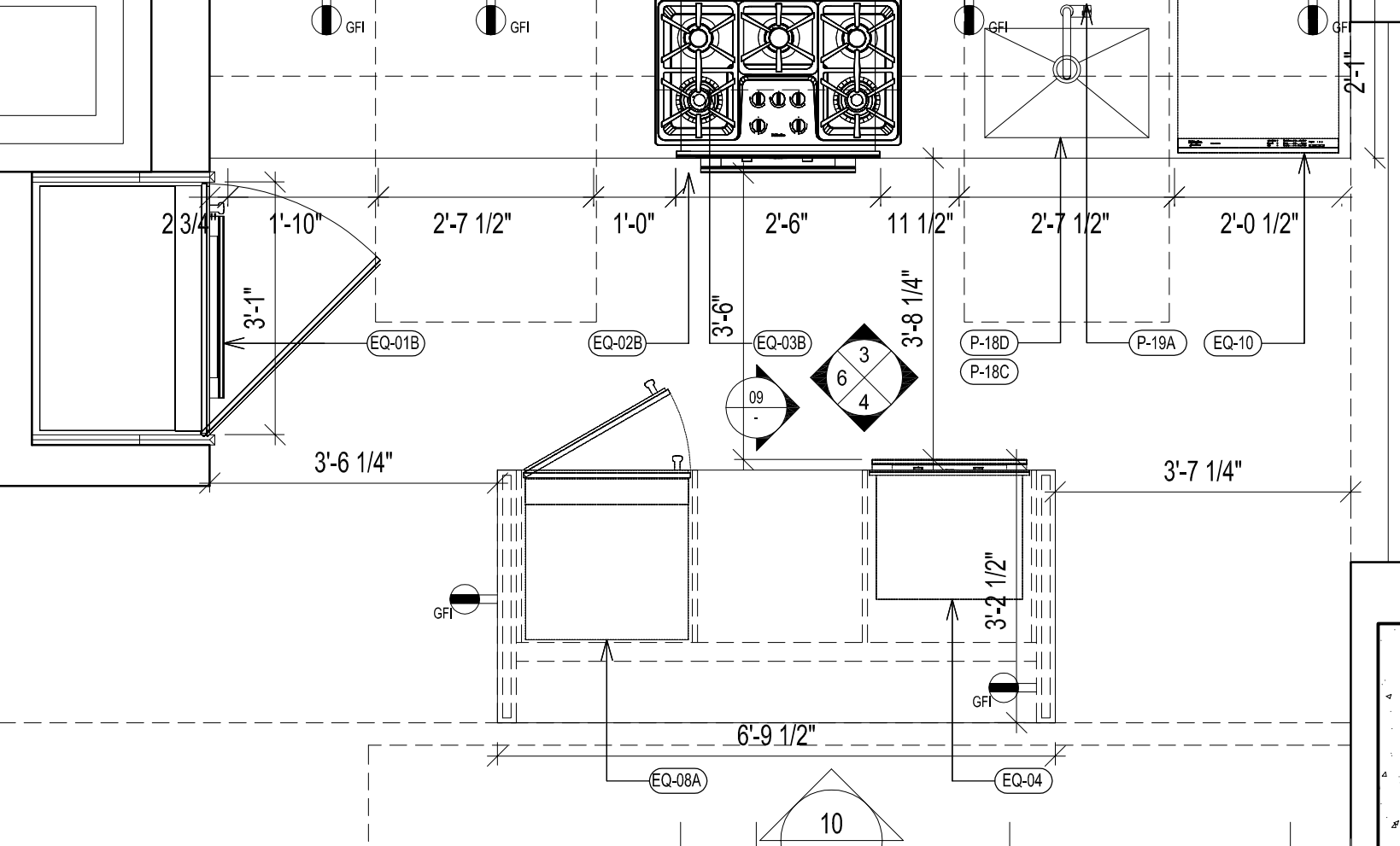
KITCHEN RCP PLAN : KIT-A7
SCALE 1/2" = 1'-0"



KITCHEN RCP PLAN : KIT-A7
SCALE 1/2" = 1'-0"



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KITCHEN PLAN : KIT-A7
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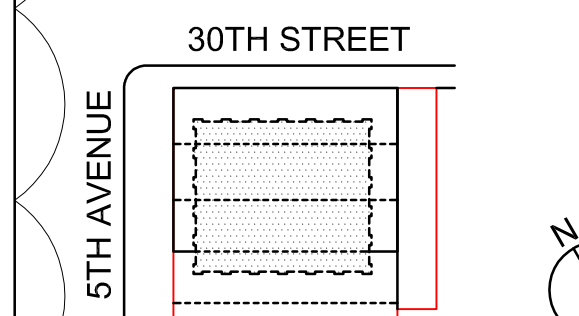
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TYPICAL RESIDENTIAL
KITCHEN A6 AND A7

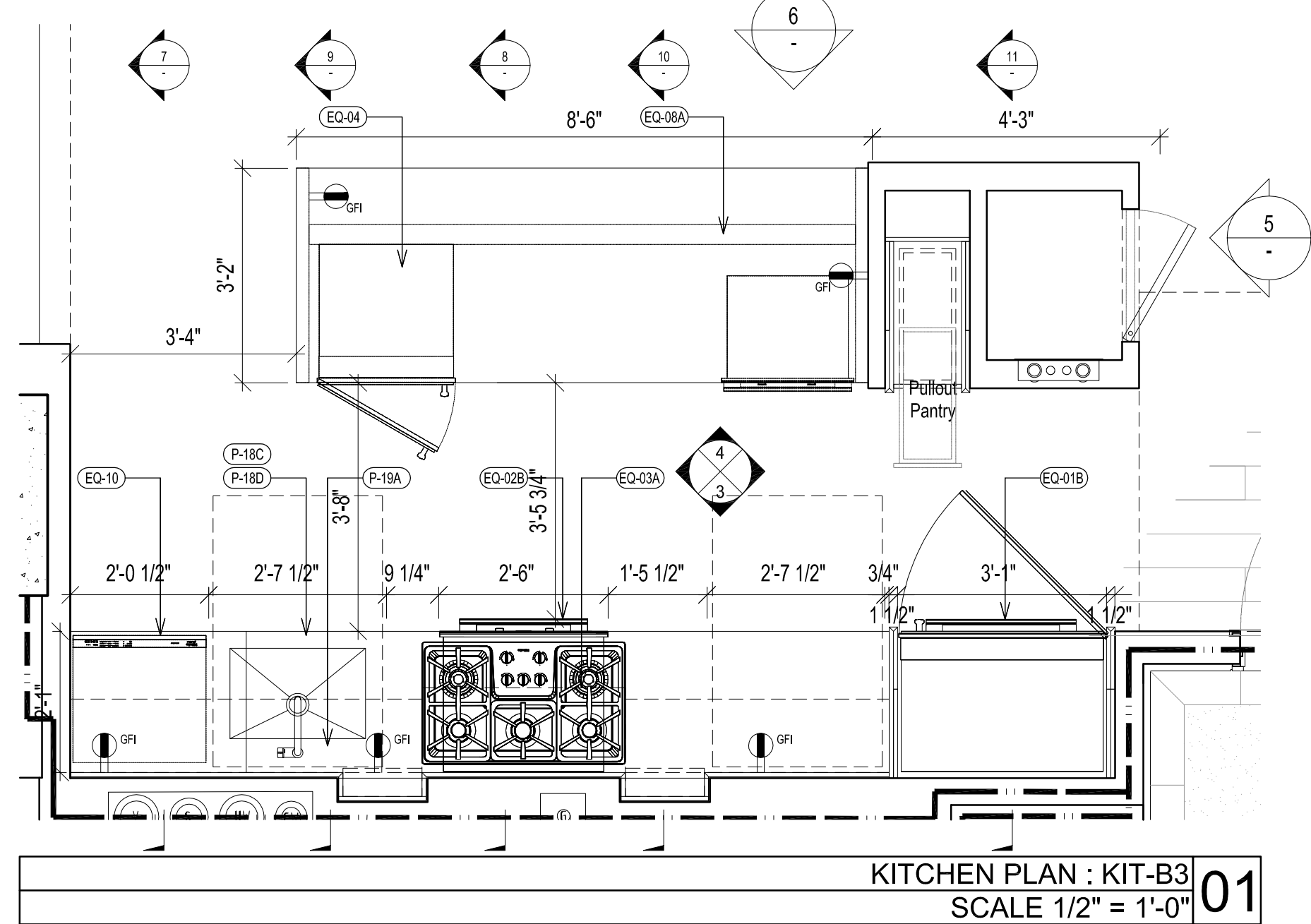
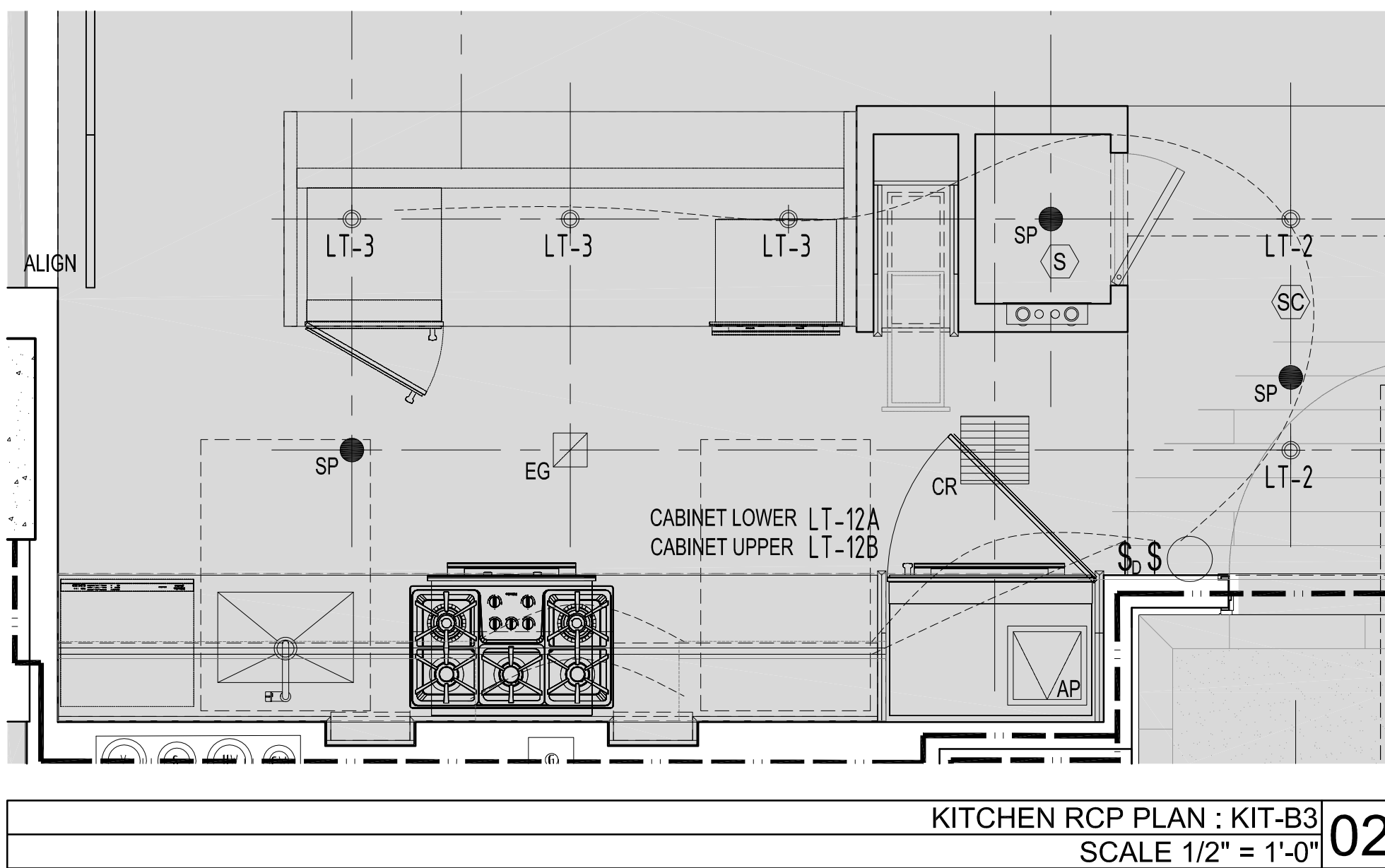
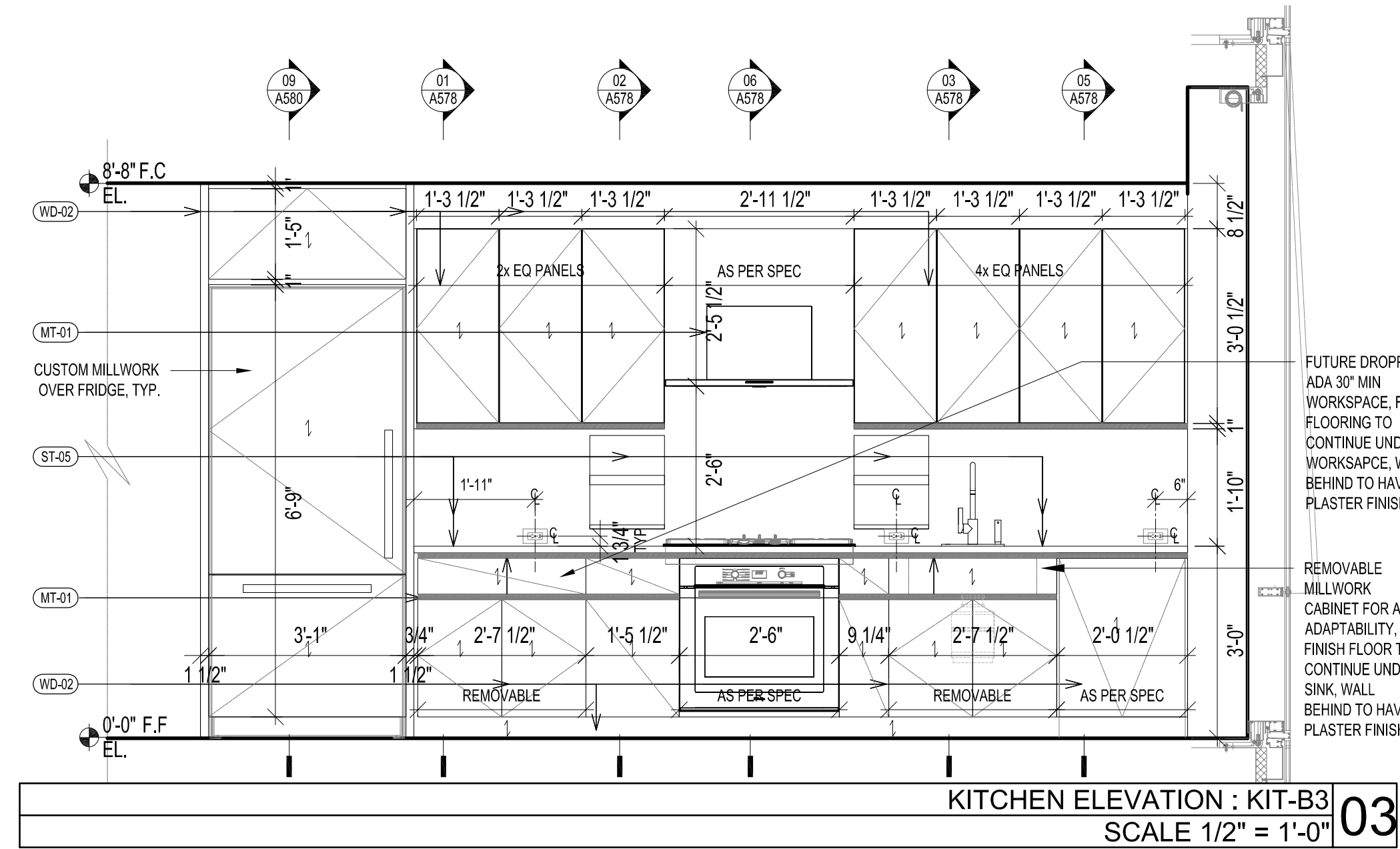
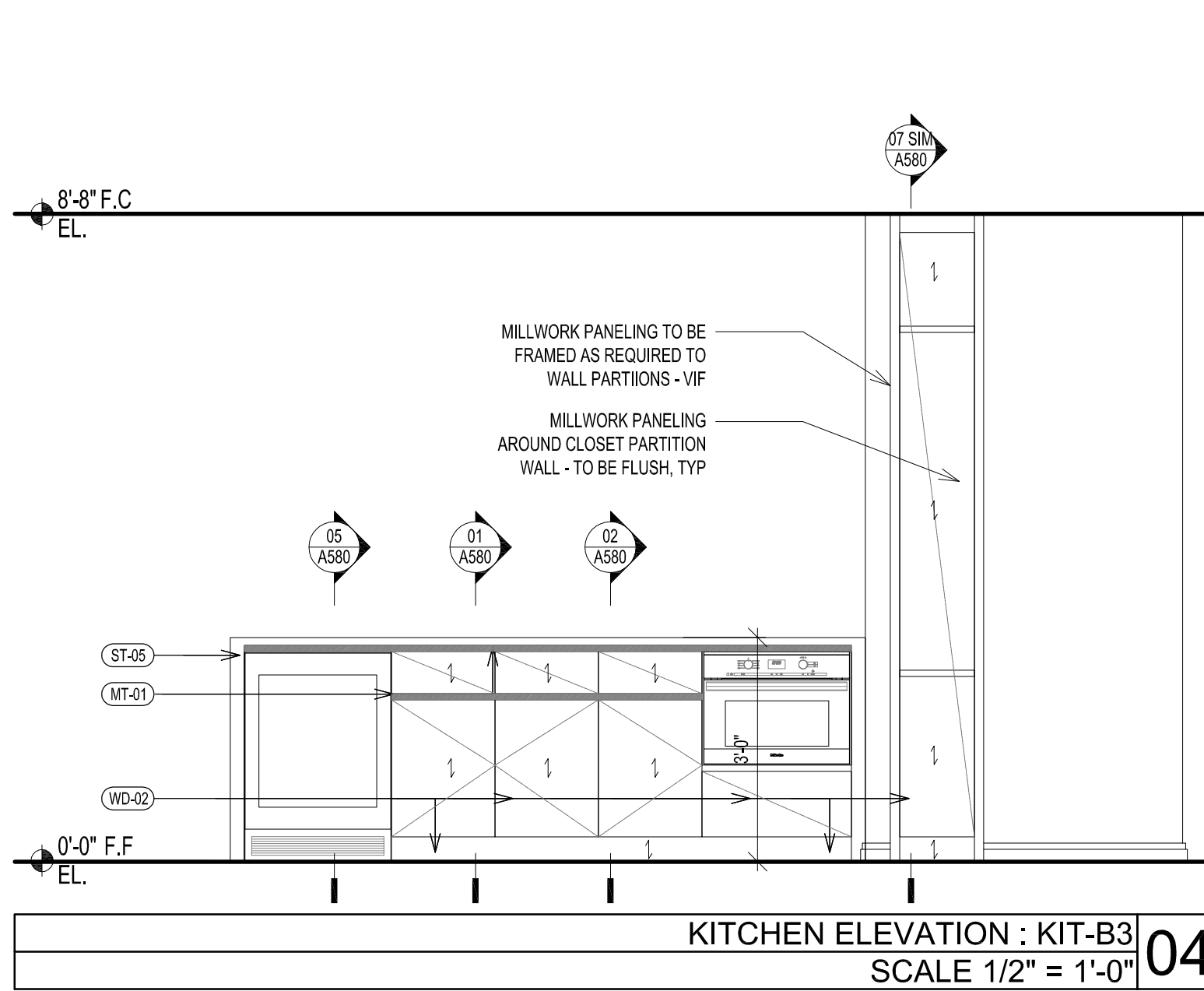
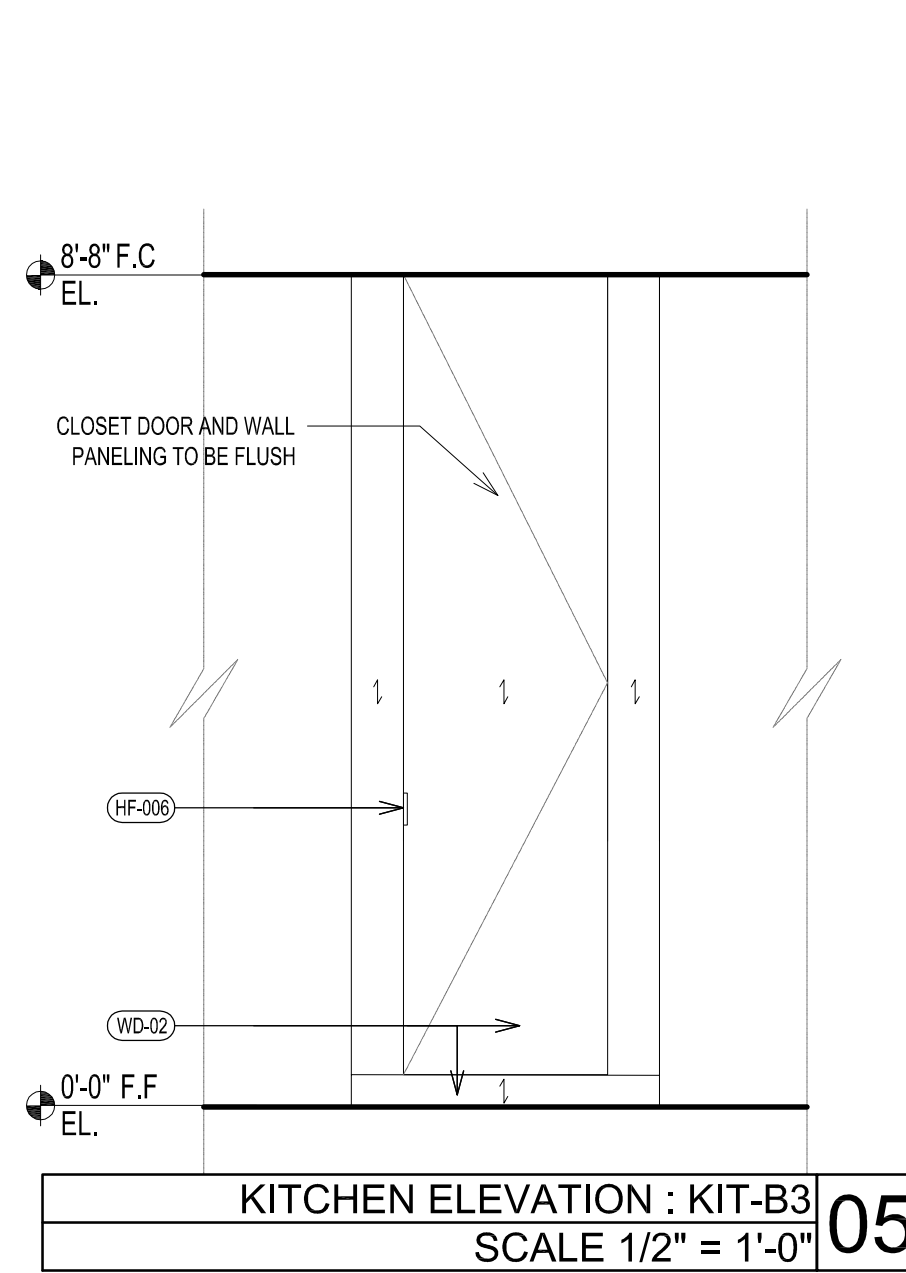
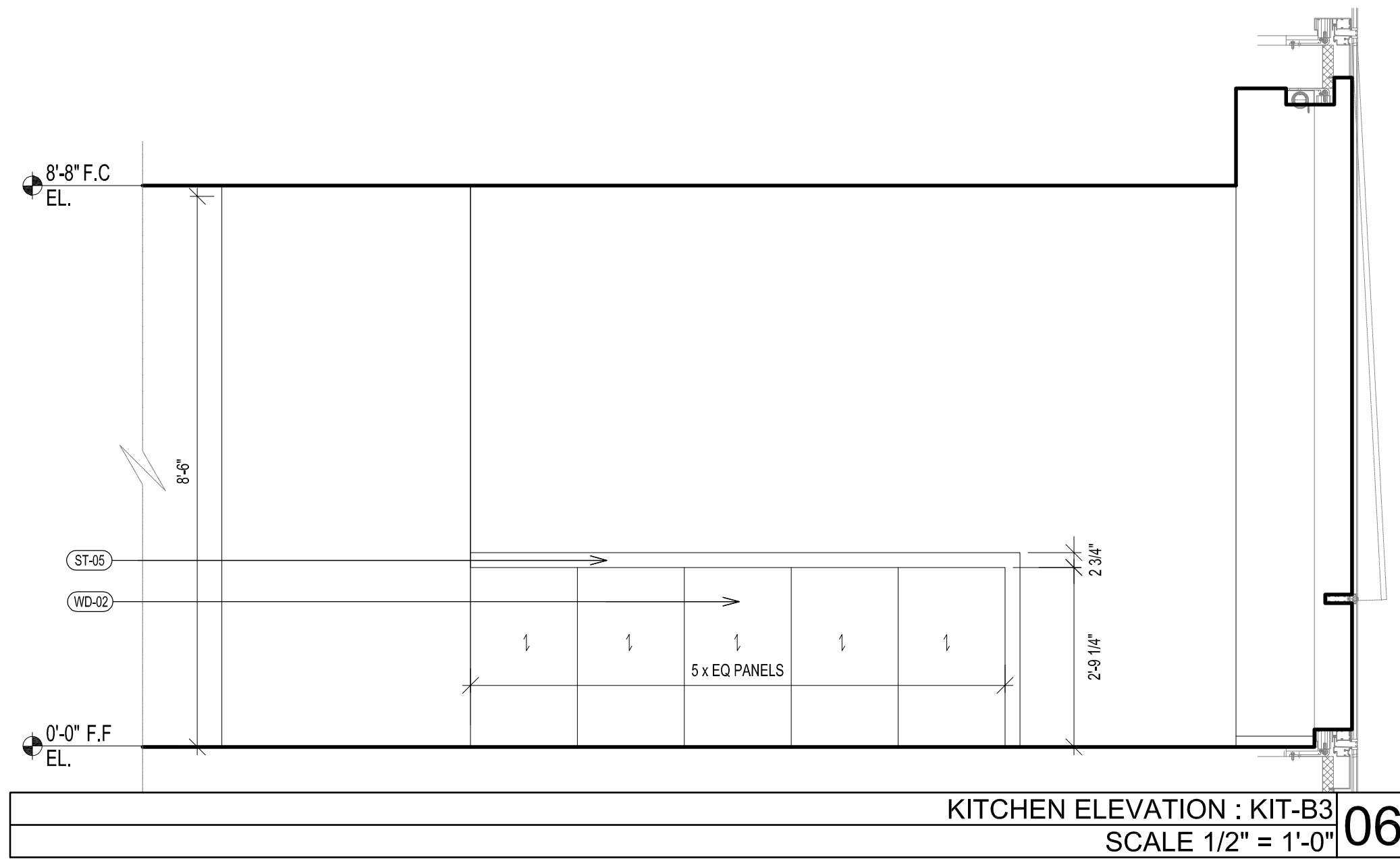
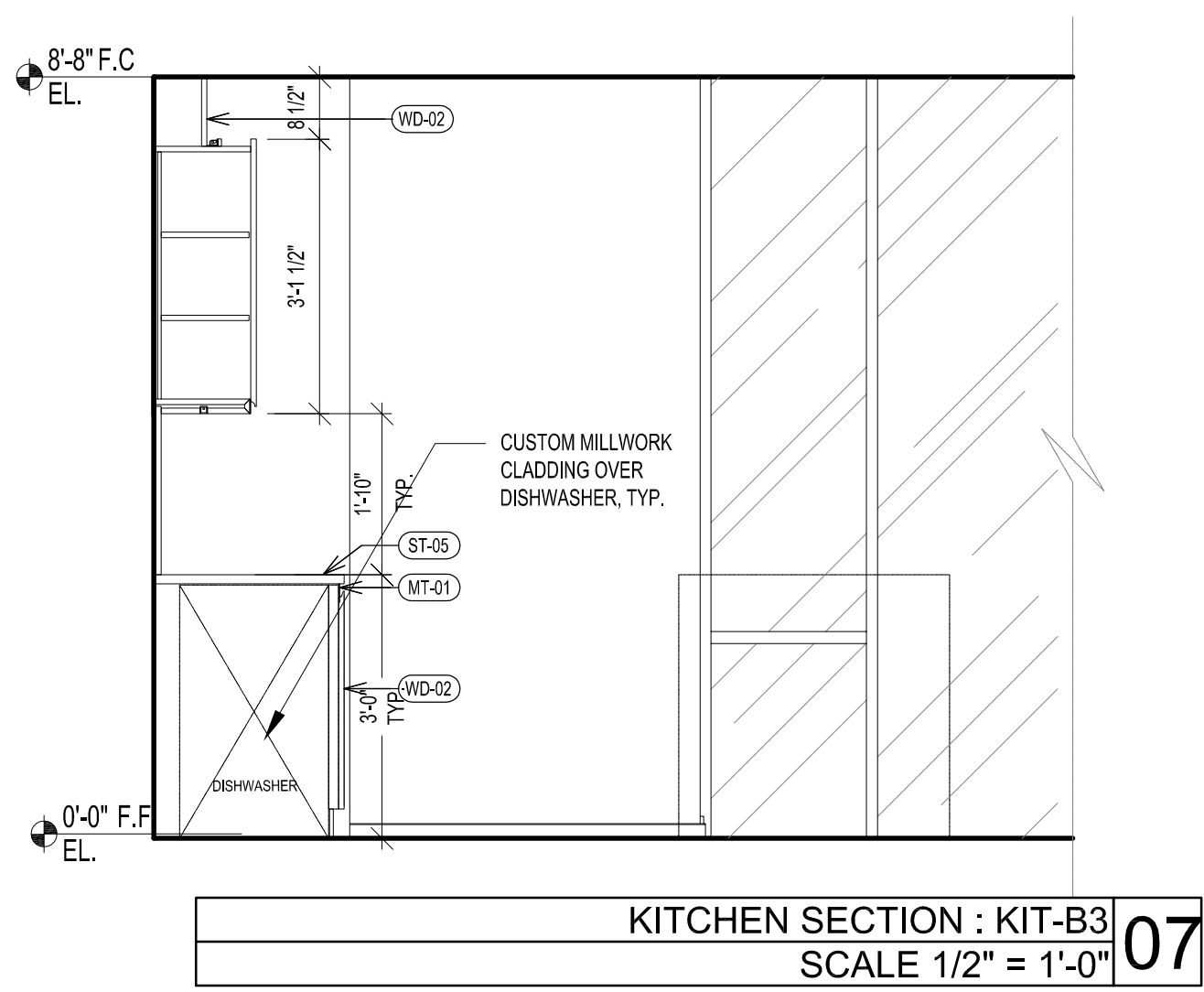
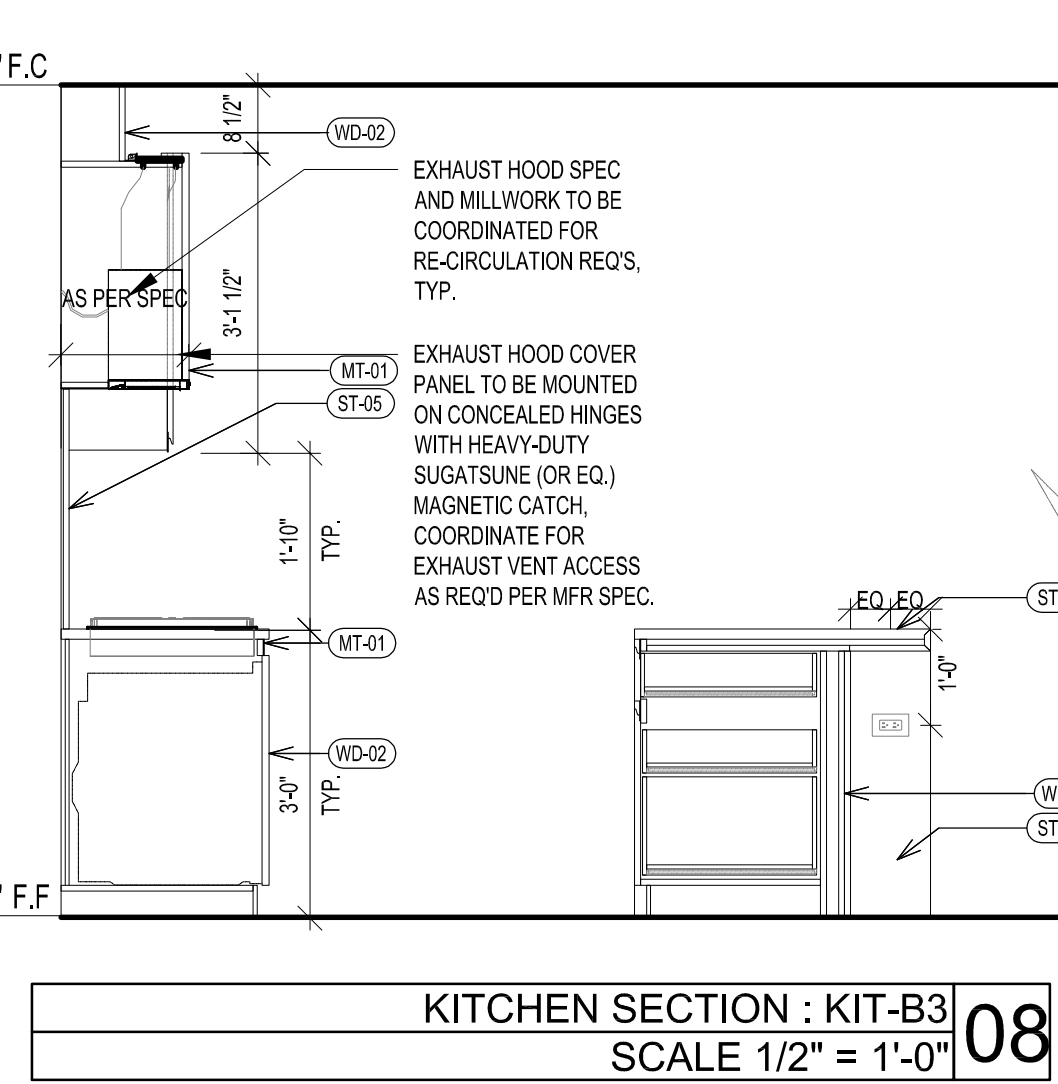
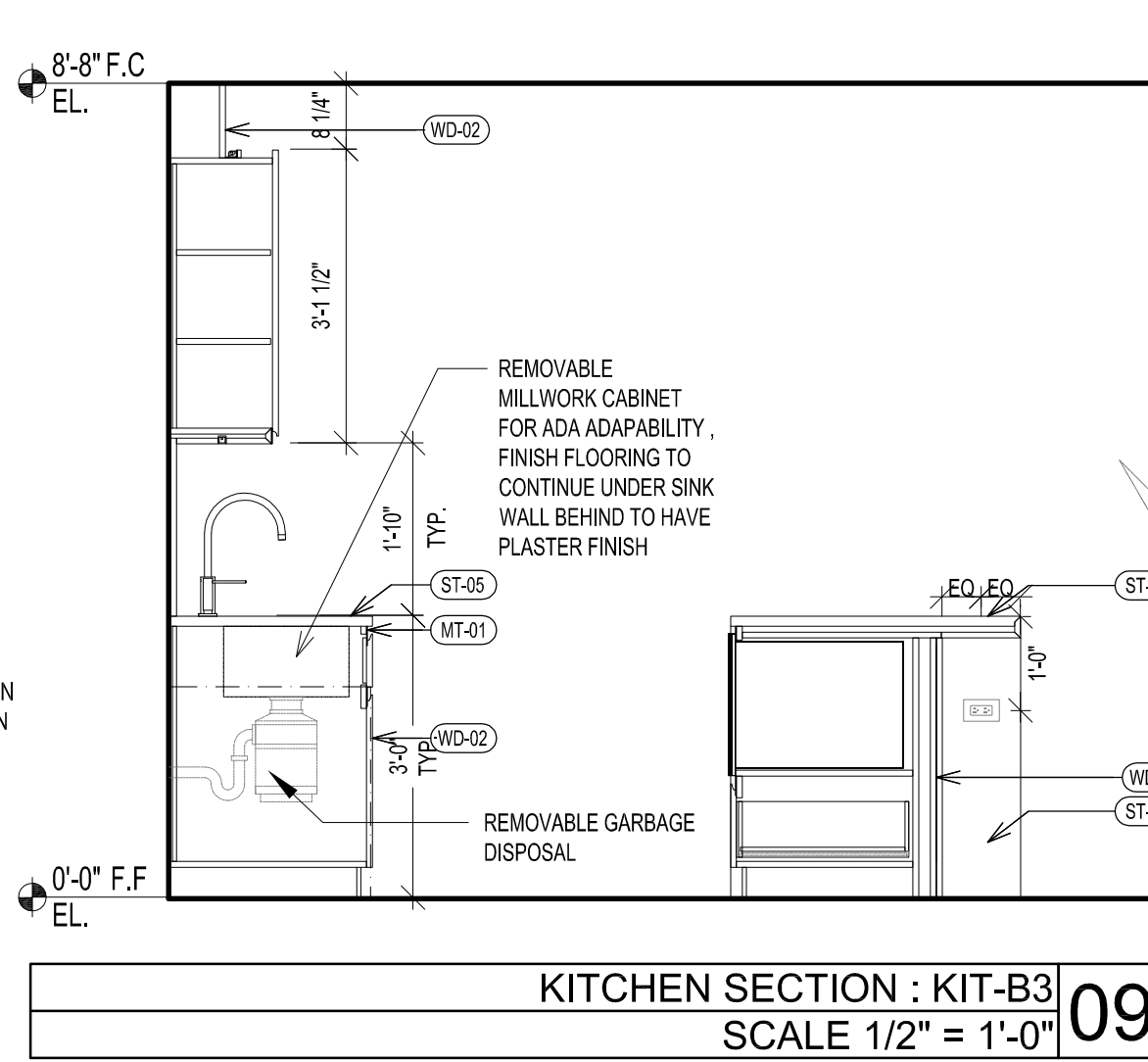
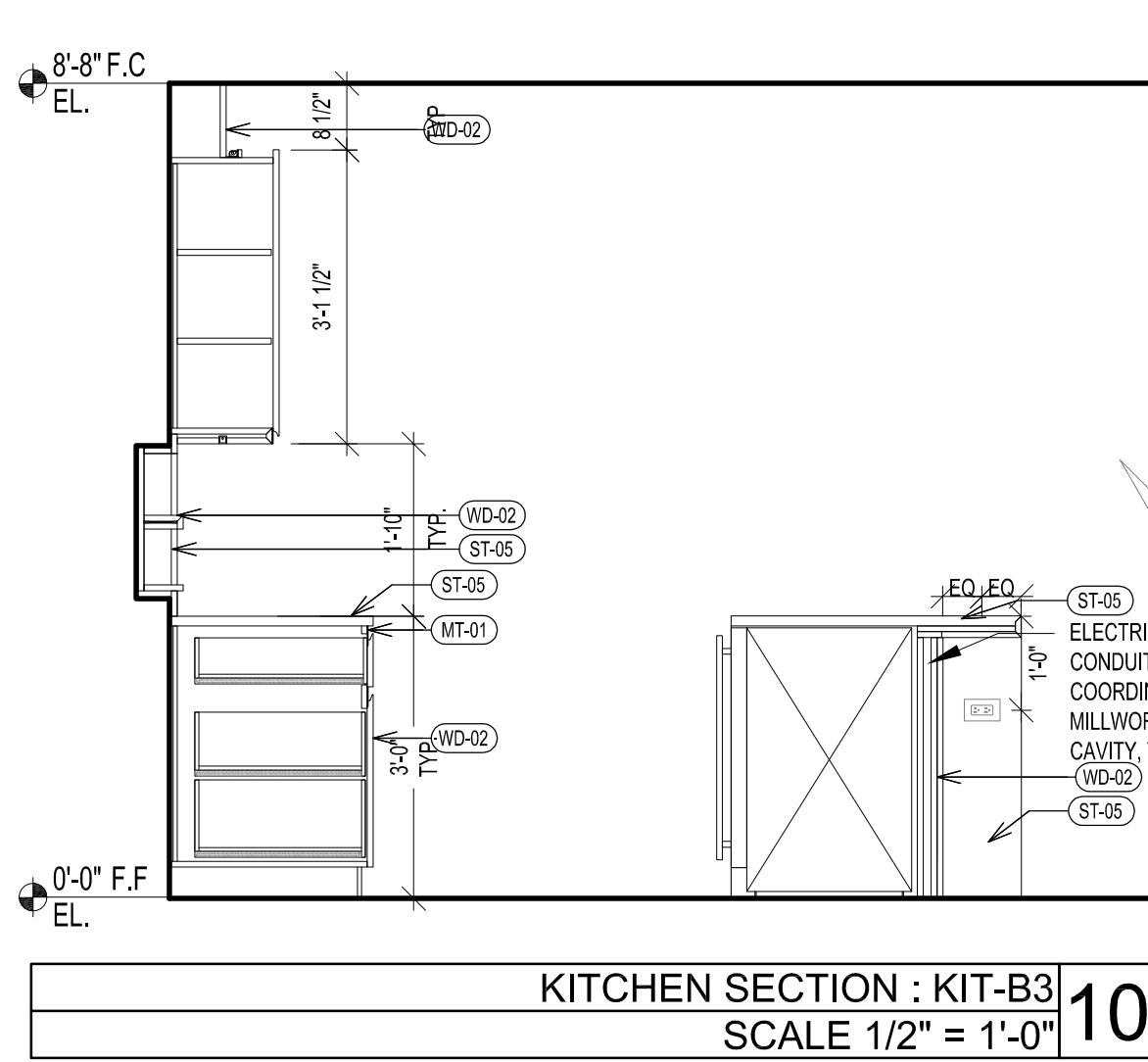
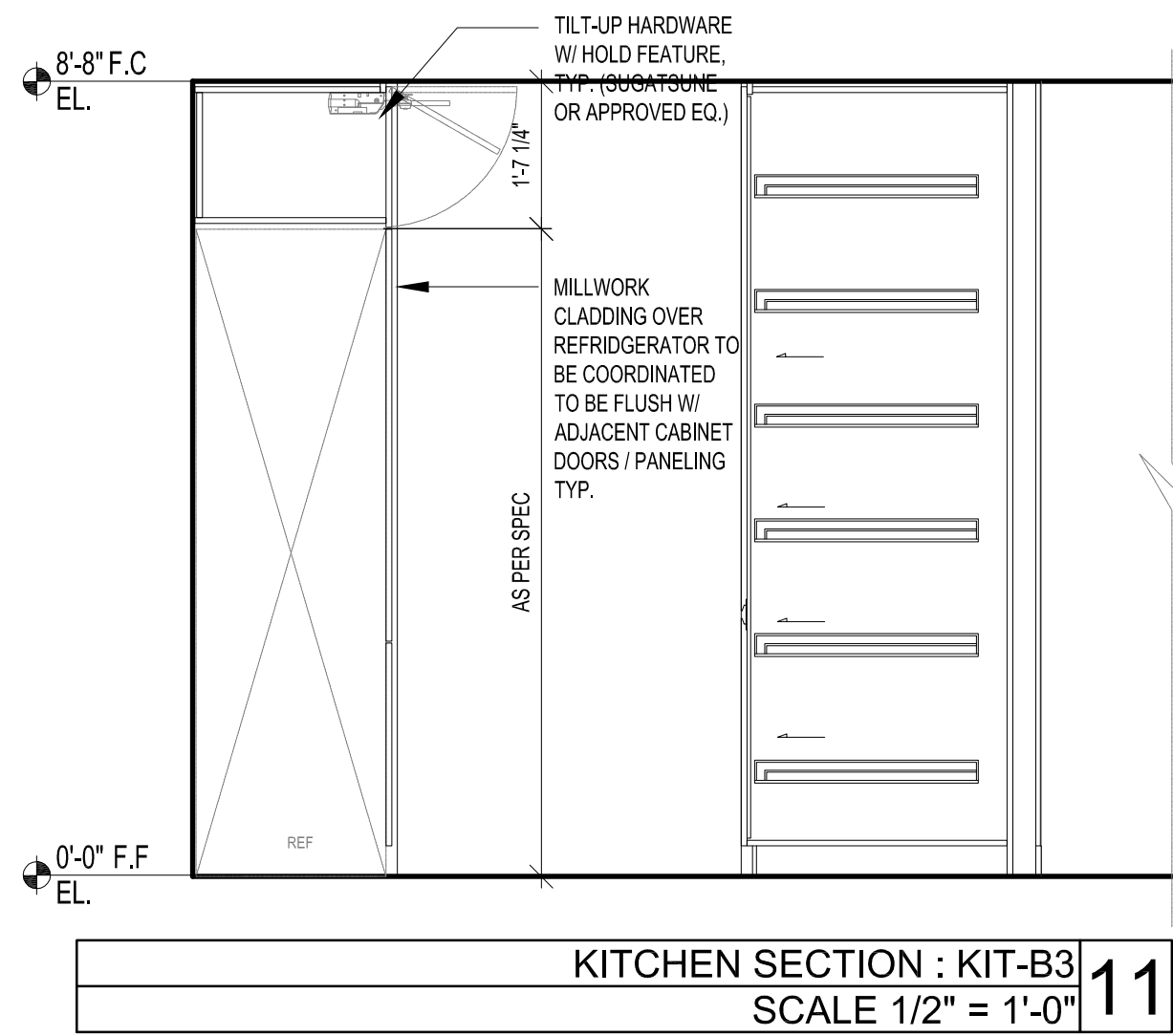
SHEET TITLE :

A-564.01

SHEET NUMBER :

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KITCHEN TYPE	FLOOR	UNIT	CEILING HT
B3	LV 36-39	UNIT A	8'-8"



277

Fifth Avenue

NEW YORK, NY

OWNER:
VICTOR NOMAD LLC

CONSTRUCTION MANAGER:
LEND LEASE
200 PARK AVENUE, 9TH FLOOR
NEW YORK, NY 10166
TEL: 212 592 6700

ARCHITECT :
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50 VANDAM STREET
NEW YORK, NY 10013
TEL: 212 924 5060 FAX: 212 924 5858

STRUCTURAL ENGINEER:
WSP PARSONS BRINCKERHOFF
ONE PENN PLAZA, 4TH FLOOR
NEW YORK, NY 10119
TEL: 212 687 9888

MEP/FP/IT ENGINEER:
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TEL: 212 643 9055

GEOTECH CIVIL ENGINEER:
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300 KIMBALL DRIVE, 4TH FLOOR
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VERTICAL TRANSPORT, CONSULTANT:
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TEL: 973 994 9220

ENCLOSURE CONSULTANT:
VIDARIS, INC.
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NEW YORK, NY 10010
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FACADE MAINTENANCE CONSULTANT:
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166 AMES STREET
HACKENSACK, NJ 07601
TEL: 201 820 2801

ACOUSTICAL CONSULTANT:
CERAMI & ASSOCIATES
404 FIFTH AVENUE
NEW YORK, NY 10018
TEL: 212 616 4179

LIGHTING CONSULTANT:
ONE LUX STUDIO
158 WEST 29TH STREET, 10TH FLOOR
NEW YORK, NY 10001
TEL: 212 201 5790

SPECIFICATIONS CONSULTANT:
ROBERT SCHWARTZ & ASSOCIATES
589 EIGHTH AVENUE, 17TH FLOOR
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TEL: 212 691 3248

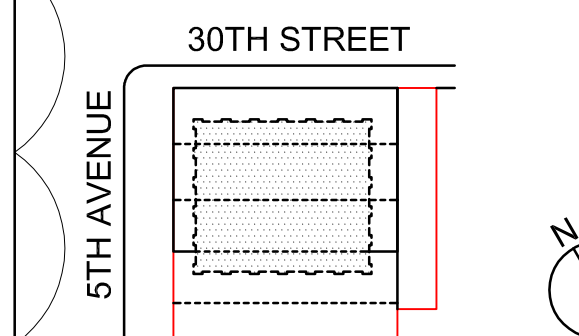
ENERGY MODELING CONSULTANT:
STEVEN WINTER ASSOCIATES, INC
307 SEVENTH AVENUE, SUITE 1701
NEW YORK, NY 10001
TEL: 212 564 5800

INTERIOR DESIGN CONSULTANT:
BEERS INTERIORS
156 5TH AVENUE, PENTHOUSE 2
NEW YORK, NY 10010
TEL: 212 352 2020

NYC DEPT. OF BUILDINGS
PAA #2

ARCHITECT'S SEAL
Areg Asatryan, RA
U. [Signature]
Under Directive 2 of 1995
DATE: 04/19/2018
NYC Development Hub

09/08/2017 PAA #2
02/24/2017 PAA #1
ISSUE DATE
NO. DESCRIPTION



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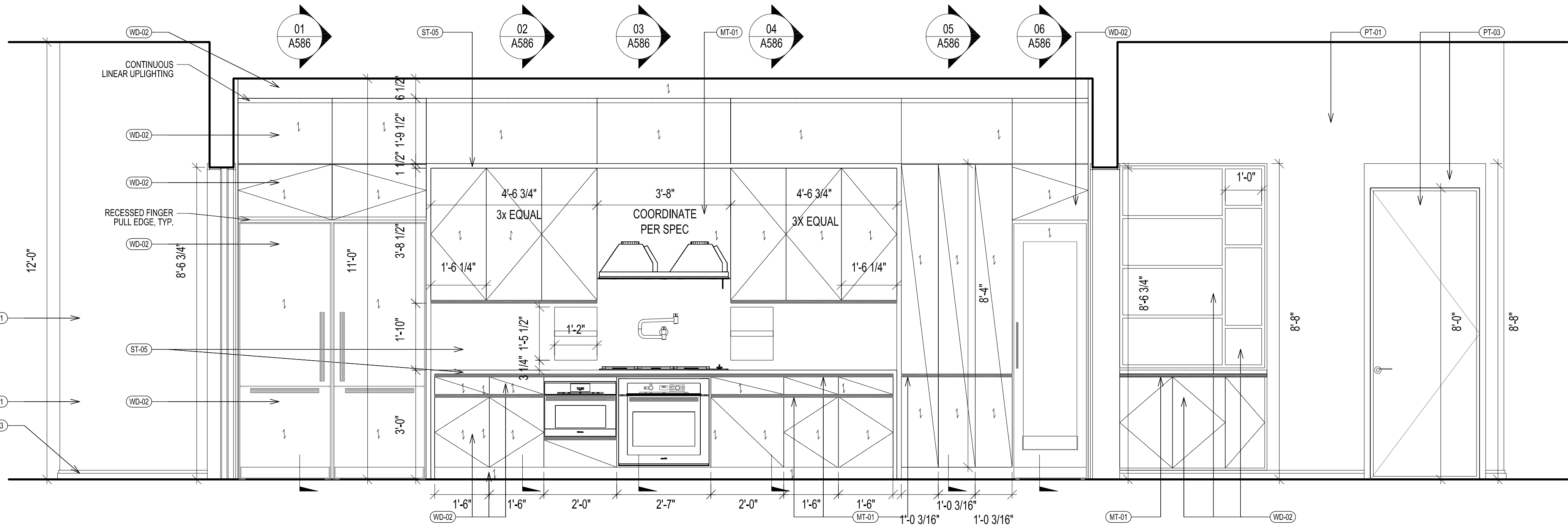
TYPICAL RESIDENTIAL
KITCHEN B3

SHEET TITLE :

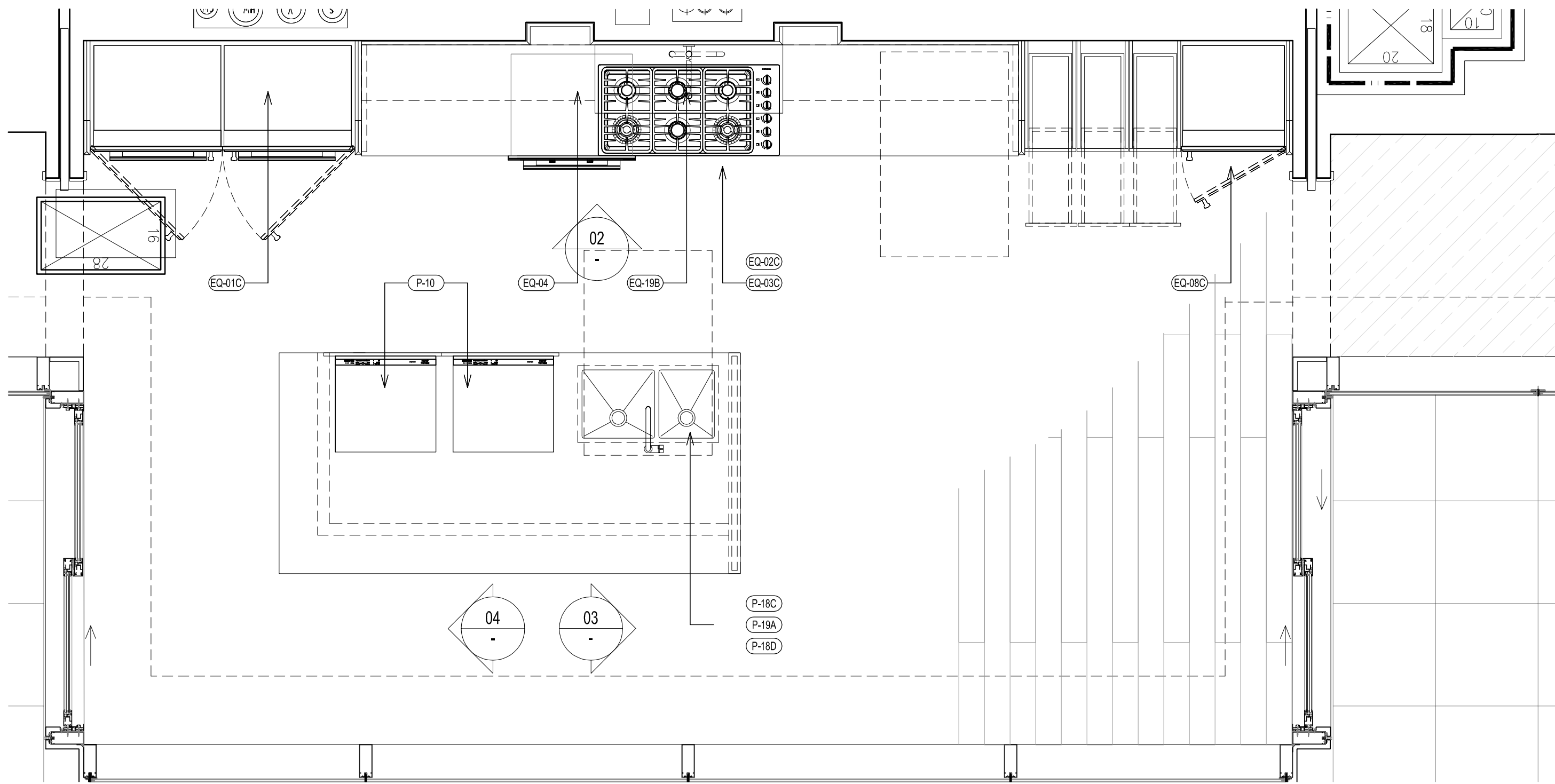
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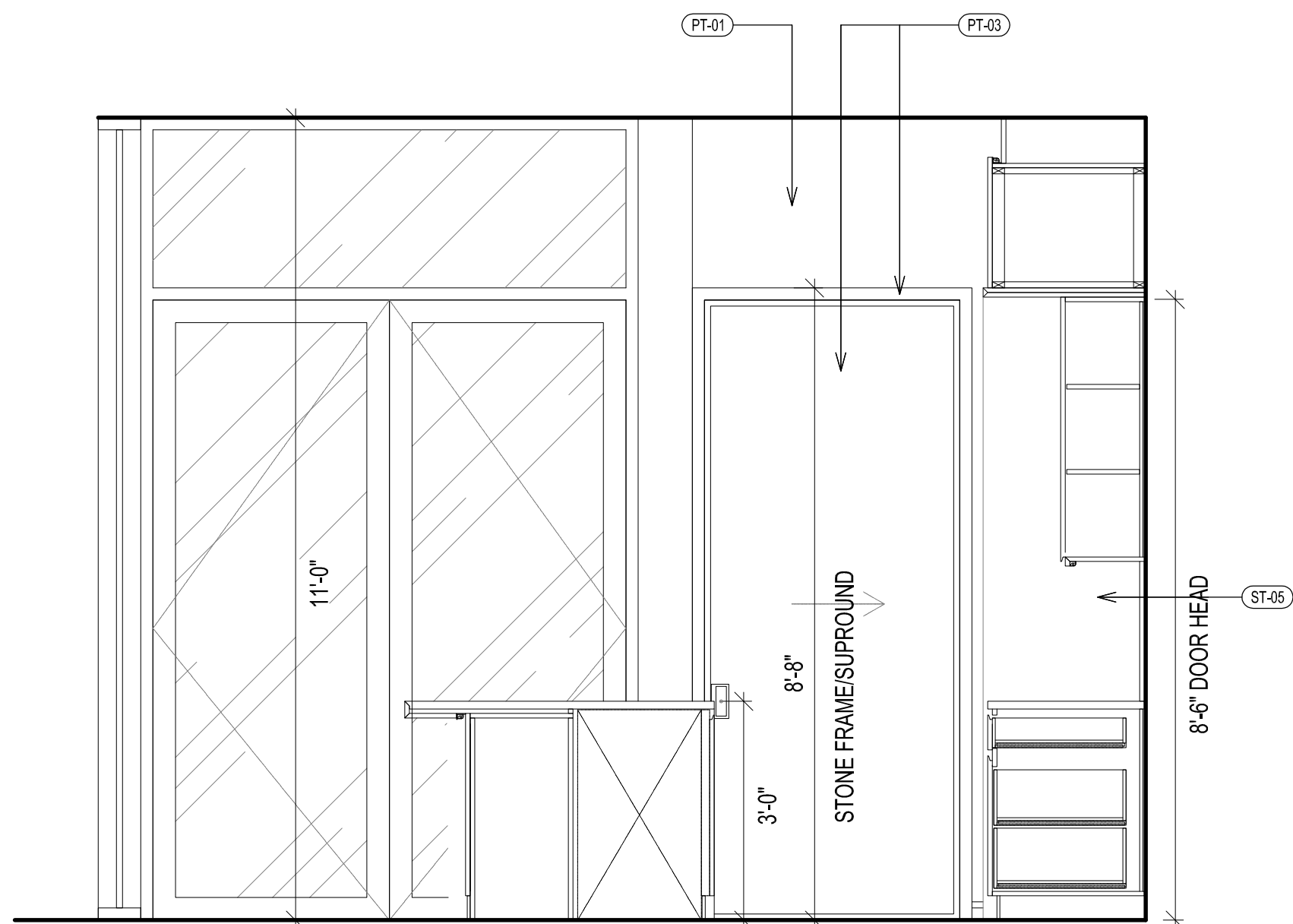
KITCHEN TYPE	FLOOR	UNIT
D1	LV 48	PH
D1-M	LV 49	PH



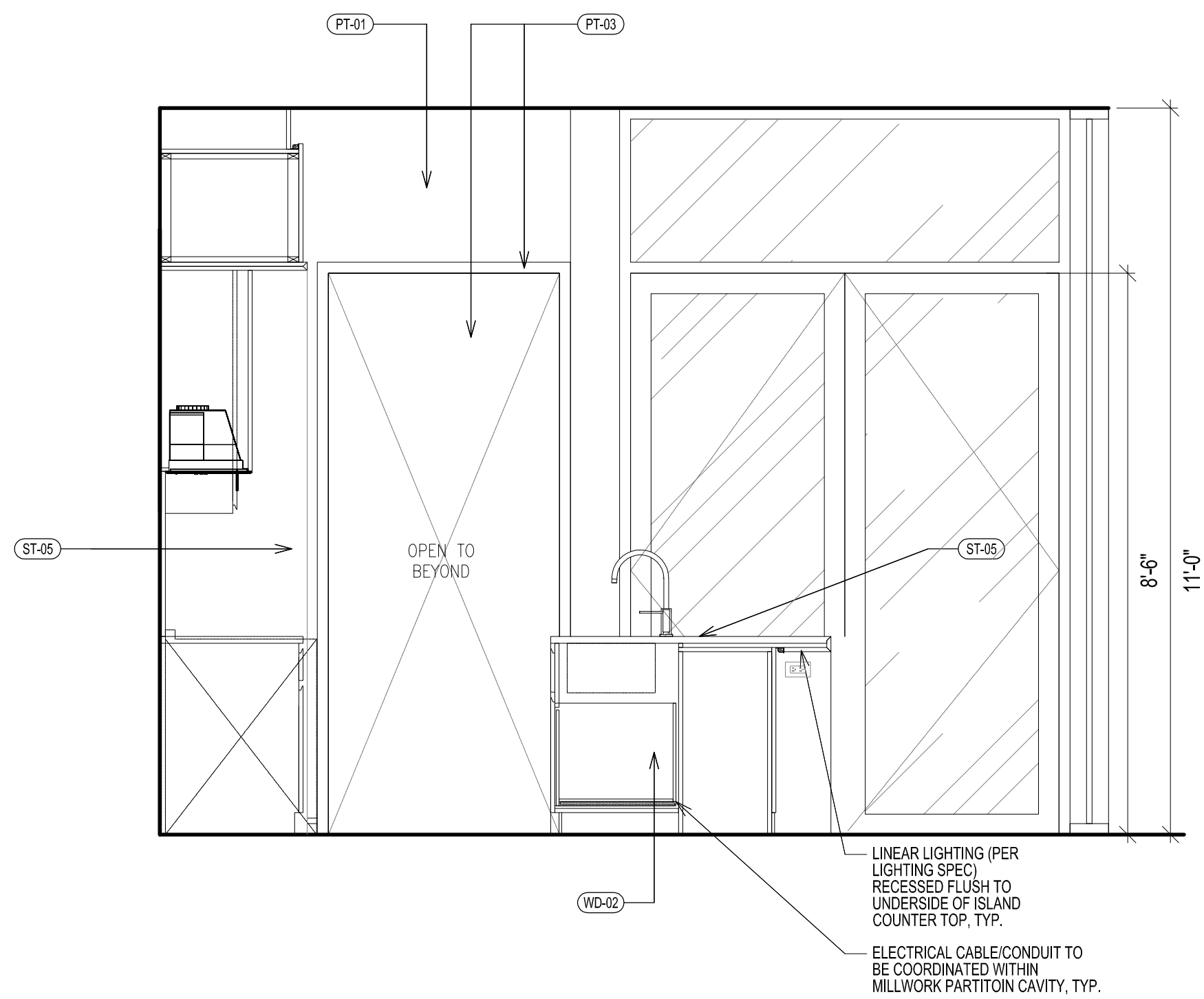
PENTHOUSE KITCHEN ELEVATION : TYPE-D1
SCALE 1/2" = 1'-0" 02



PENTHOUSE KITCHEN PLAN : TYPE-D1
SCALE 1/2" = 1'-0" 01



PENTHOUSE KITCHEN ELEVATION : TYPE-D1
SCALE 1/2" = 1'-0" 04



PENTHOUSE KITCHEN ELEVATION : TYPE-D1
SCALE 1/2" = 1'-0" 03

277
Fifth Avenue

NEW YORK, NY

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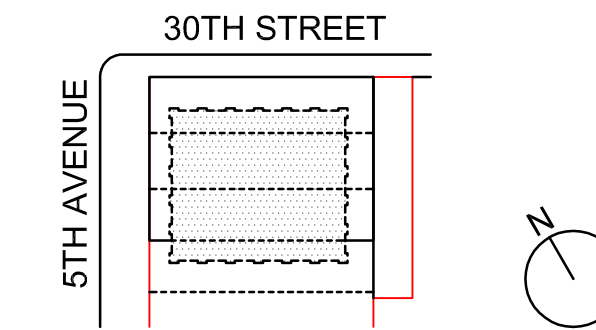
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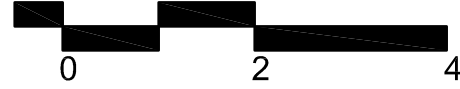
ARCHITECT'S SEAL

Areg Asatryan, RA
U. Asatryan
APPROVED
Under Directive 2 of 1975
DATE: 04/19/2018
NYC Development Hub

09/08/2017 PAA #2
02/24/2017 PAA #1
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TYPICAL RESIDENTIAL
KITCHEN D1

SHEET TITLE :

A-573.01

SHEET NUMBER :

OWNER:
VICTOR NOMAD LLC

CONSTRUCTION MANAGER:
LEND LEASE
200 PARK AVENUE, 9TH FLOOR
NEW YORK, NY 10166
TEL: 212 592 6700

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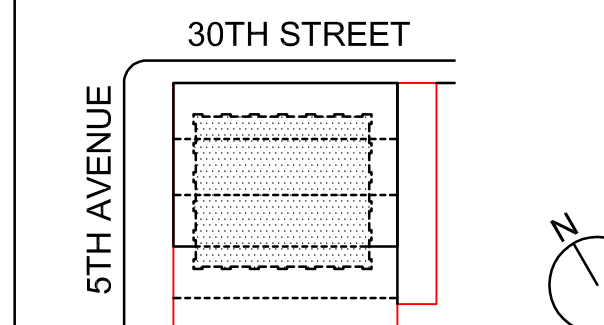
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NYC DEPT. OF BUILDINGS
PAA #2

ARCHITECT'S SEAL
Areg Asatryan, RA
U. [Signature]
APPROVED
Under Directive 2 of 2015
DESIGNER REGISTRATION
Date: 04/19/2018
NYC Development Hub

09/08/2017 PAA #2
ISSUE DATE DESCRIPTION
NO. DATE



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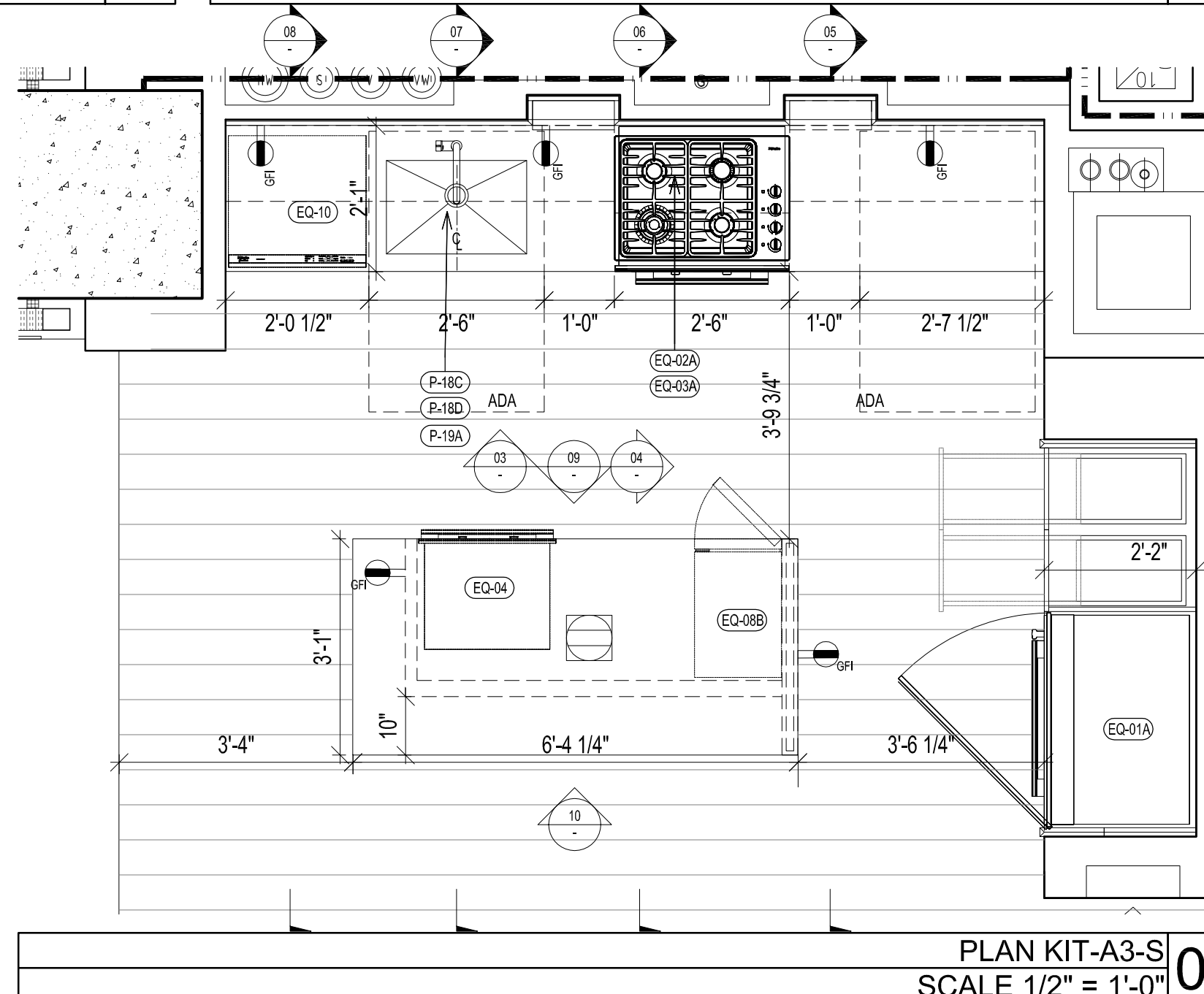
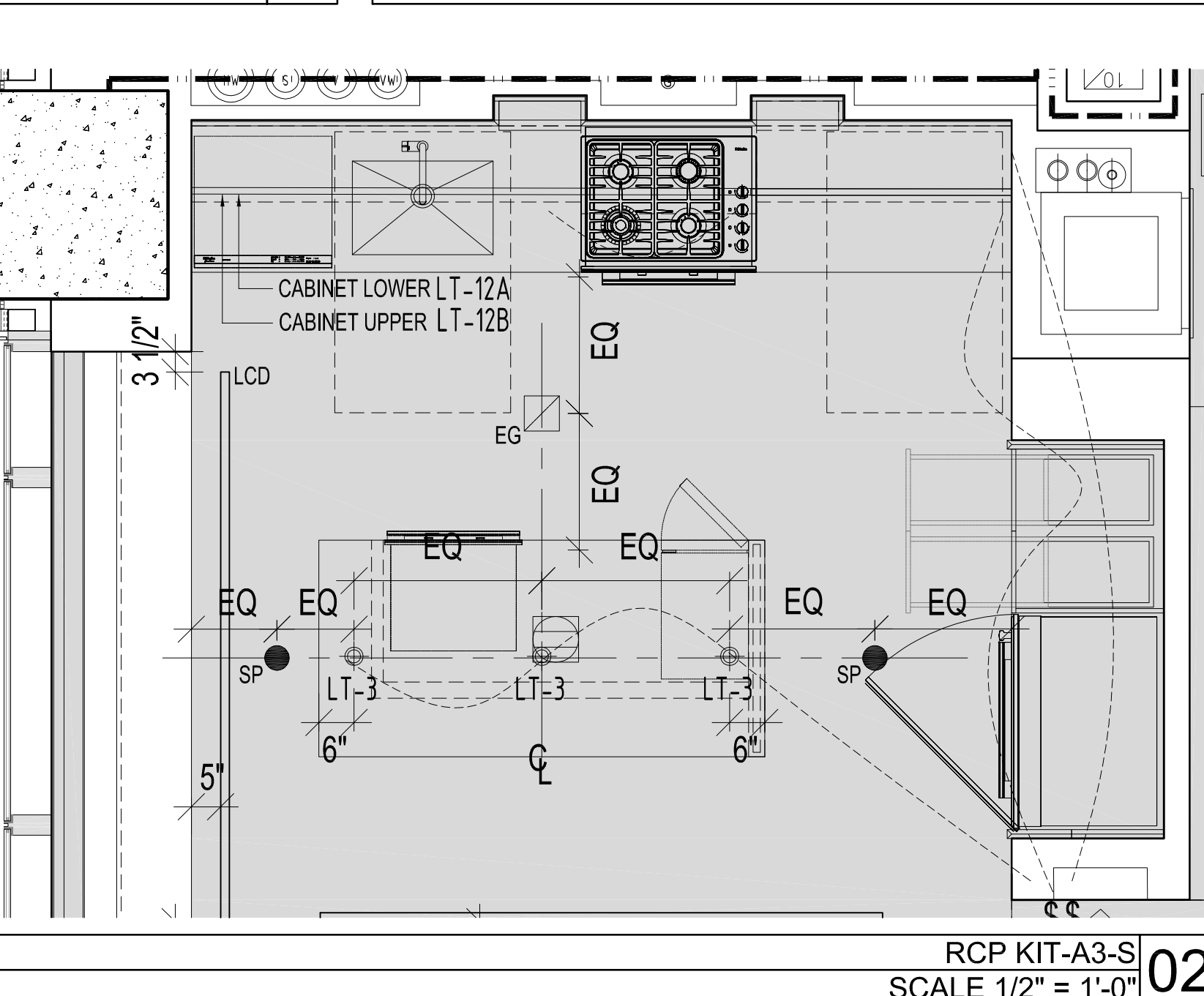
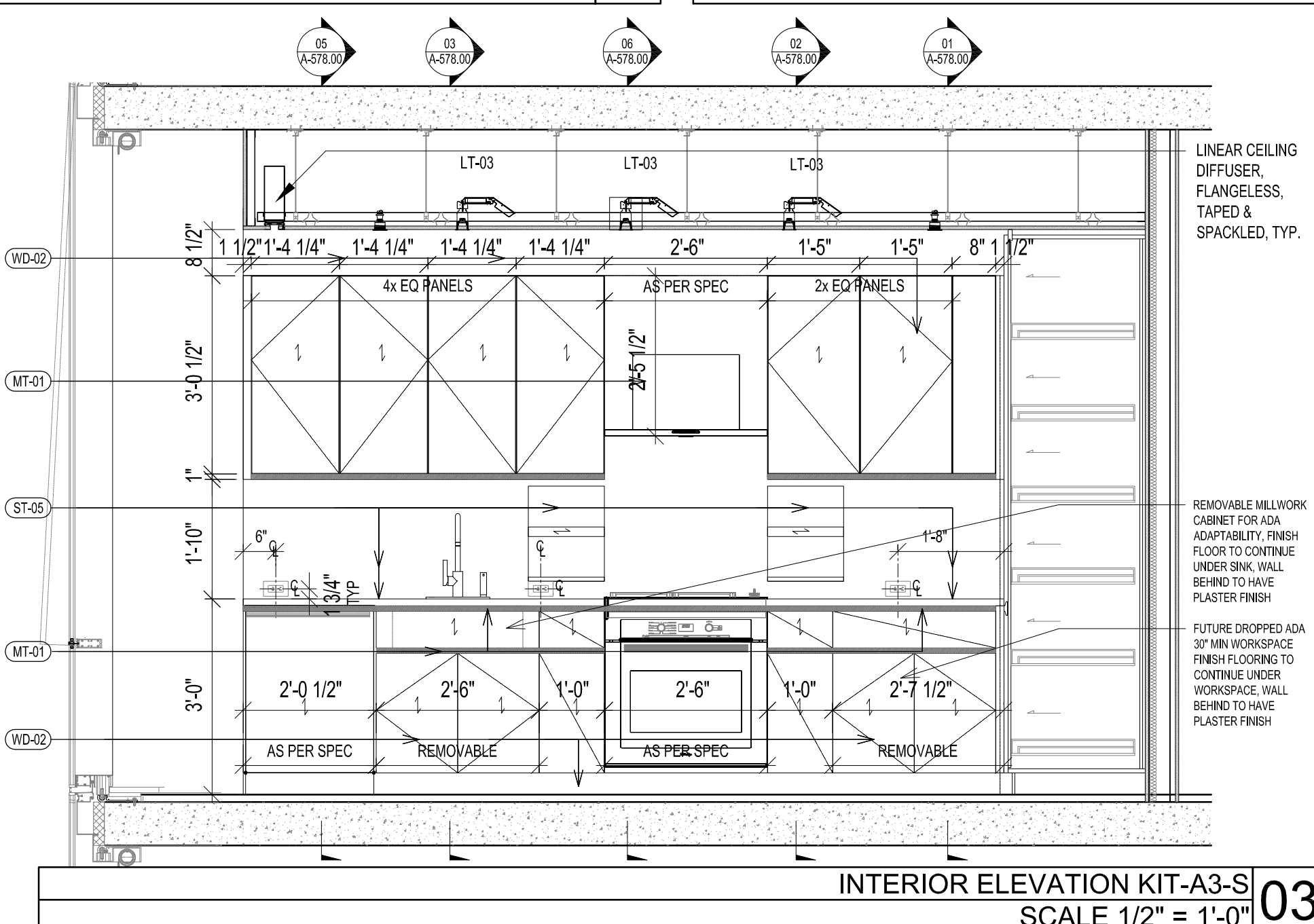
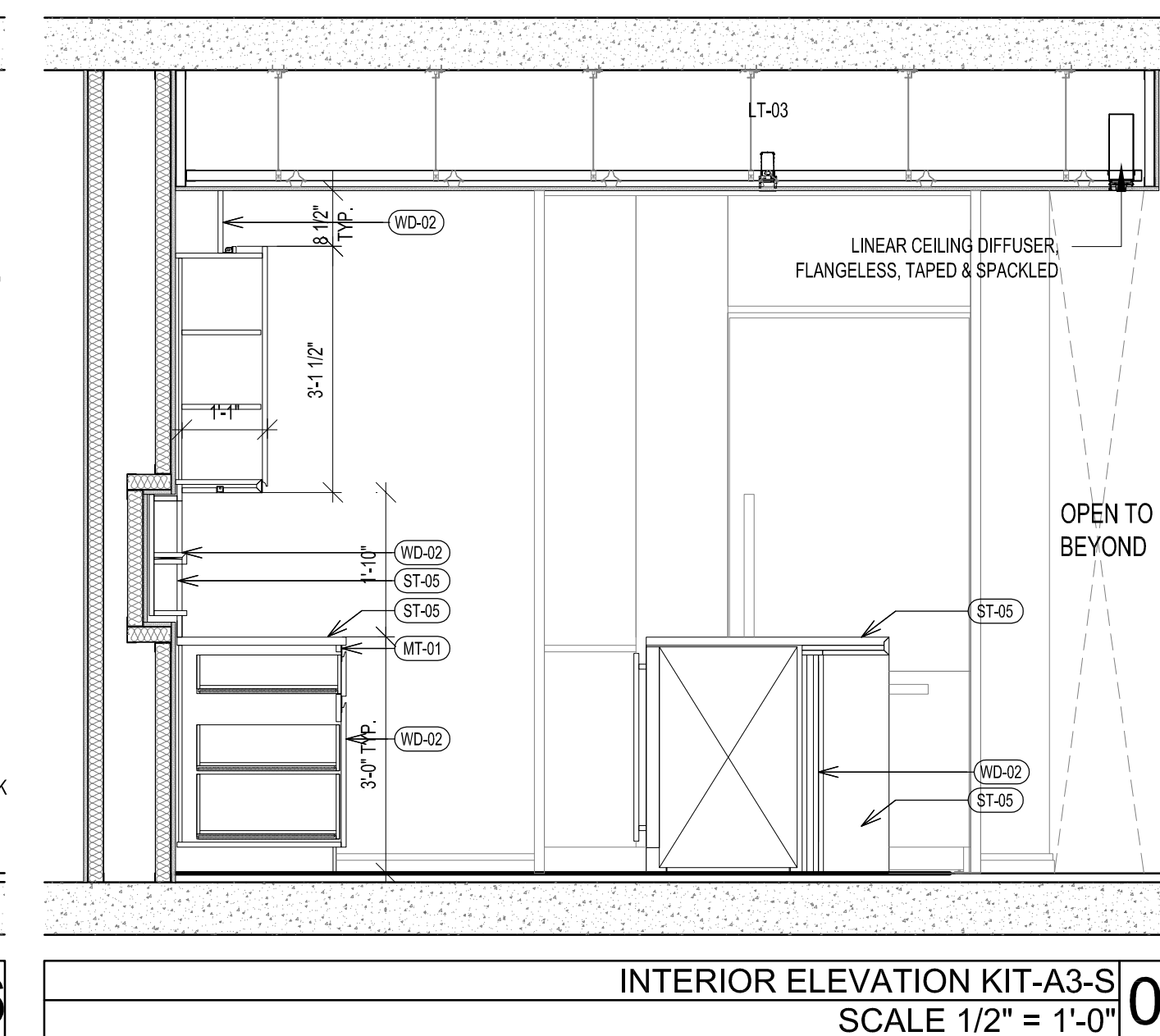
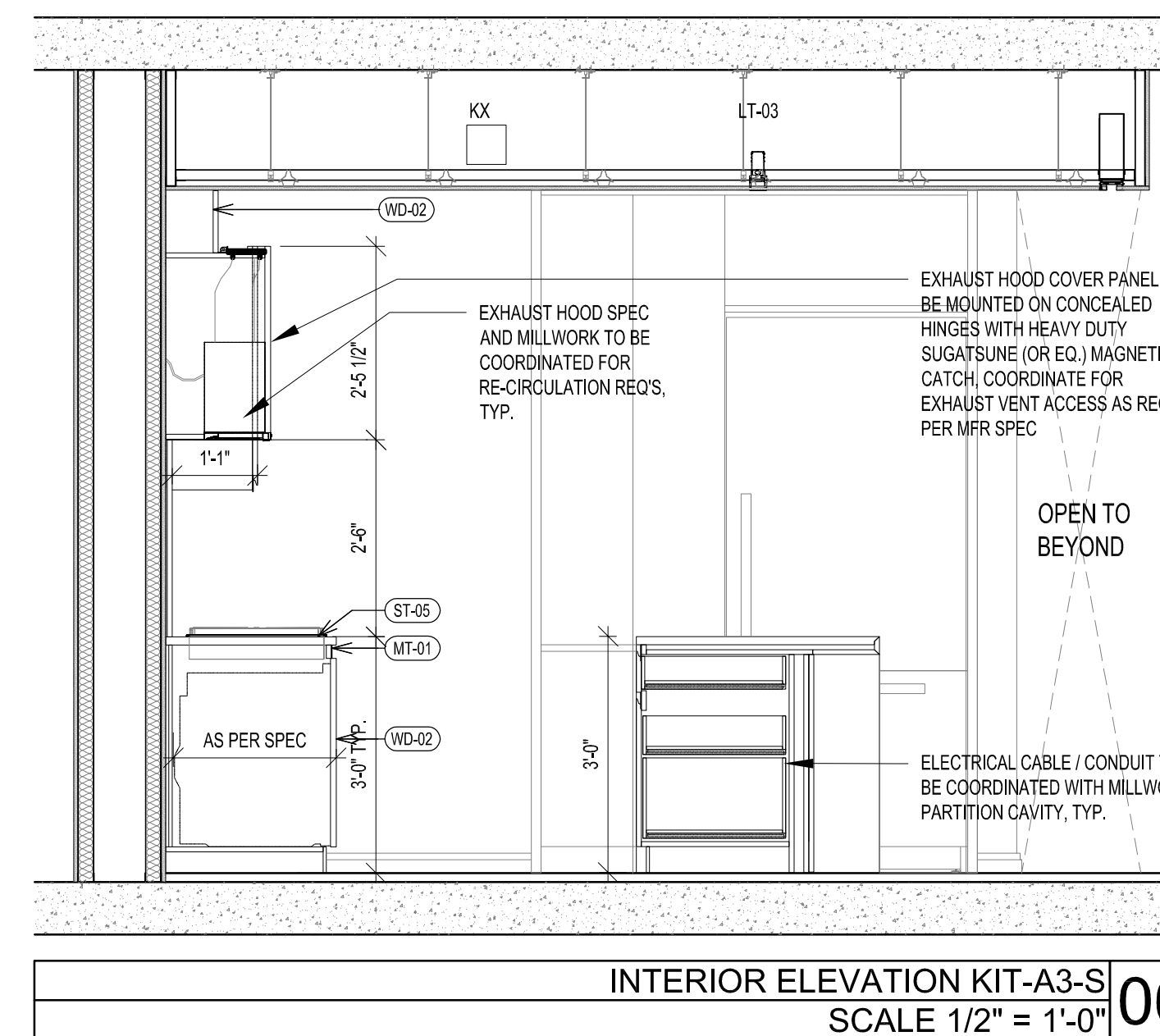
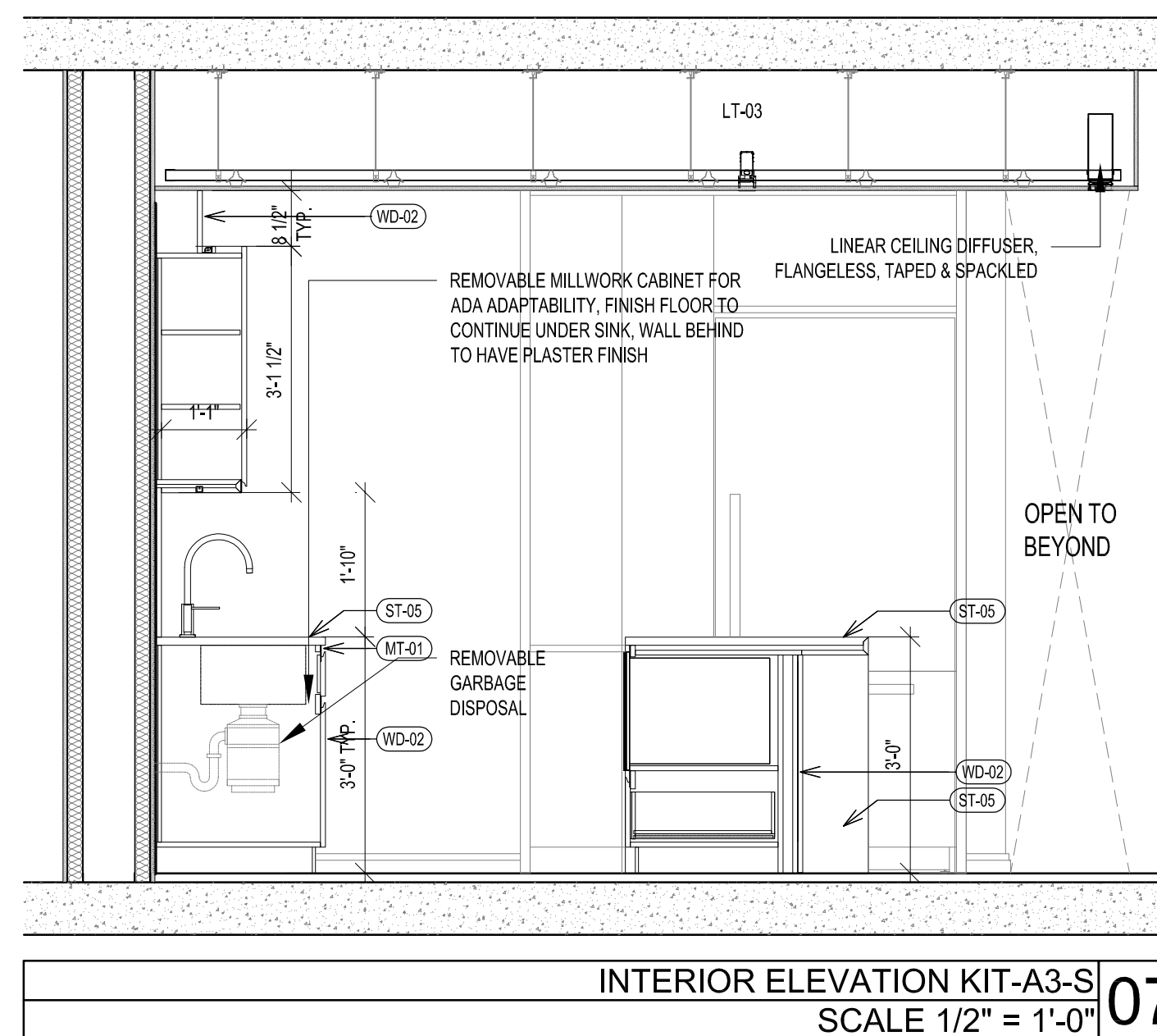
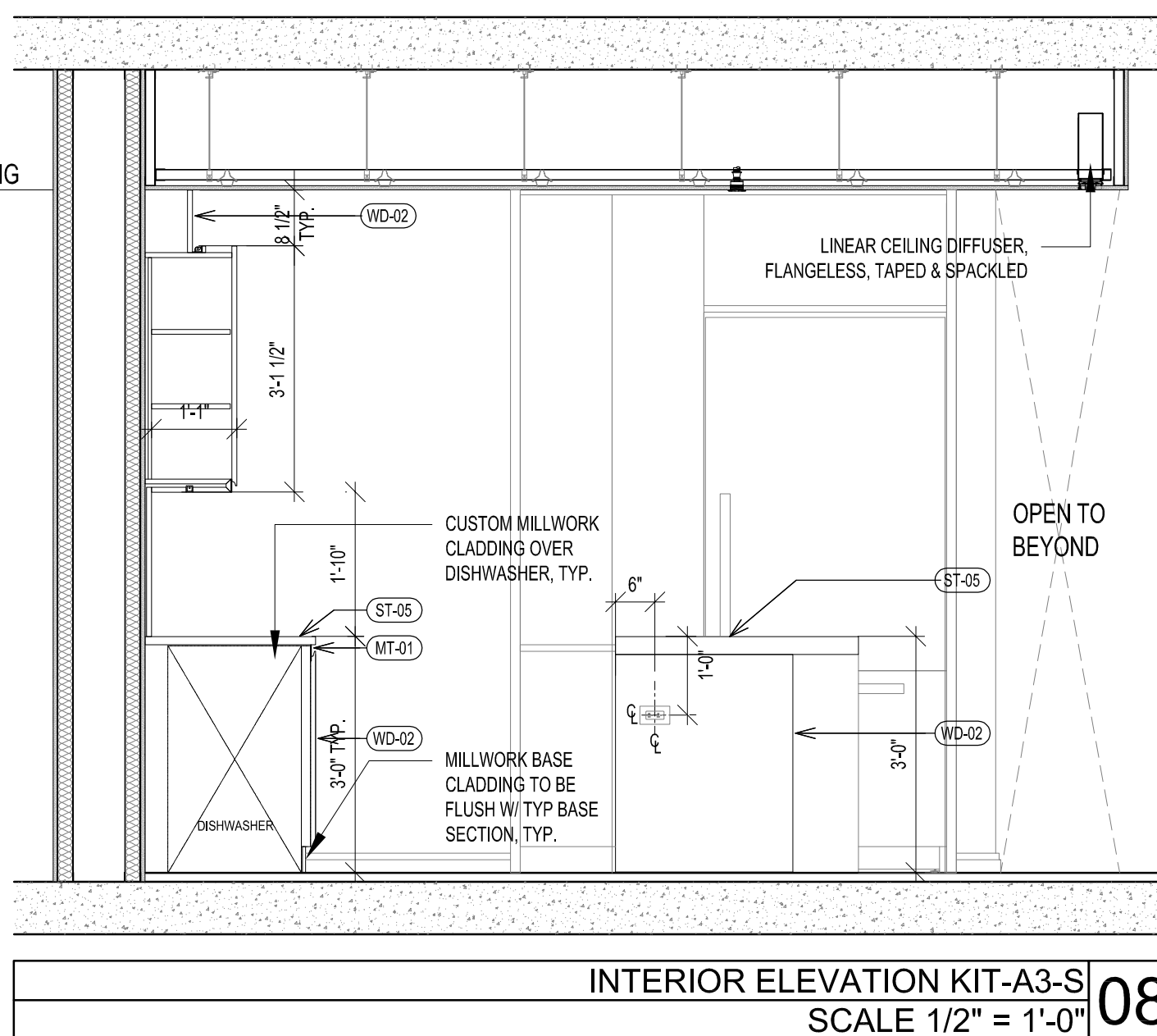
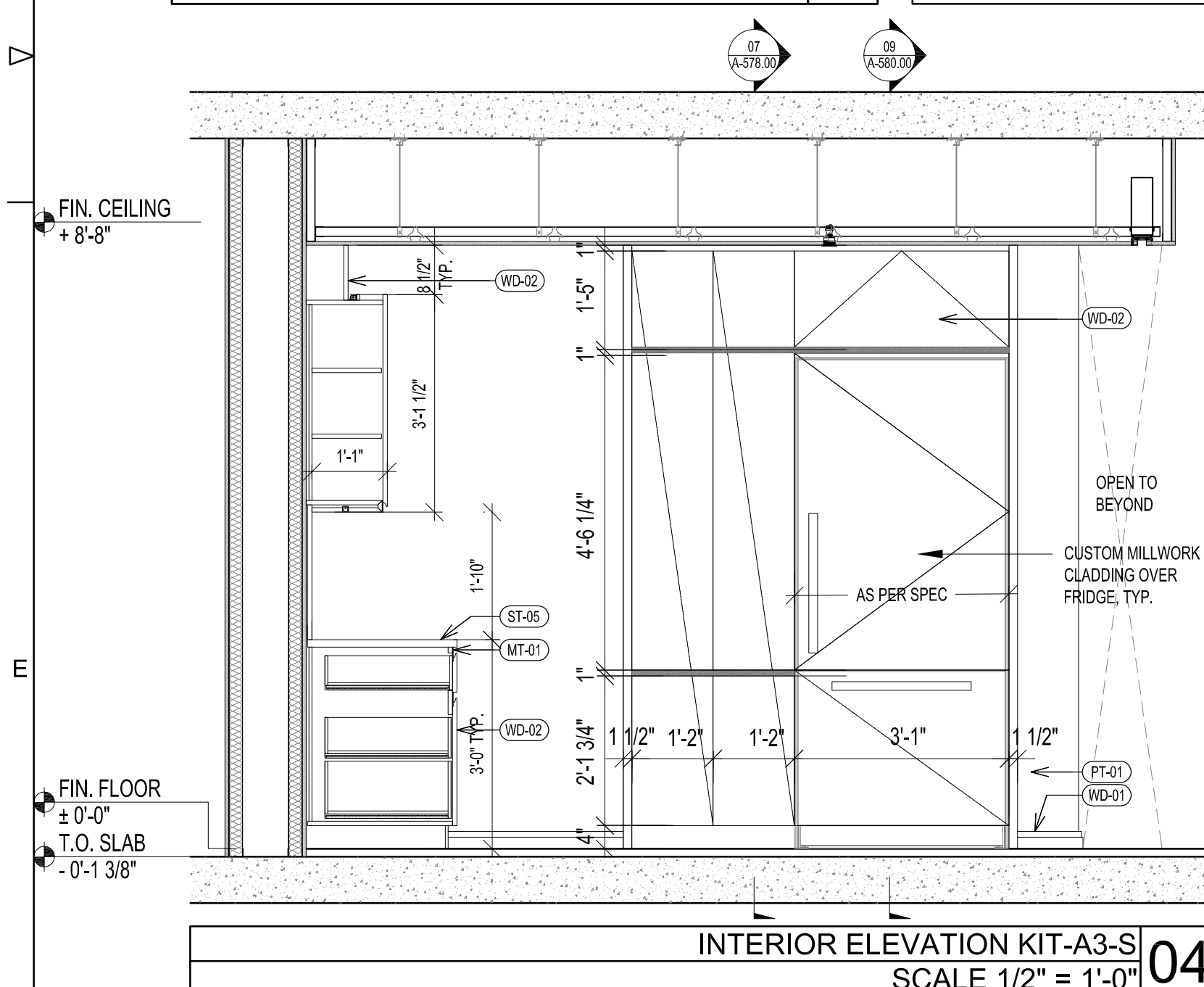
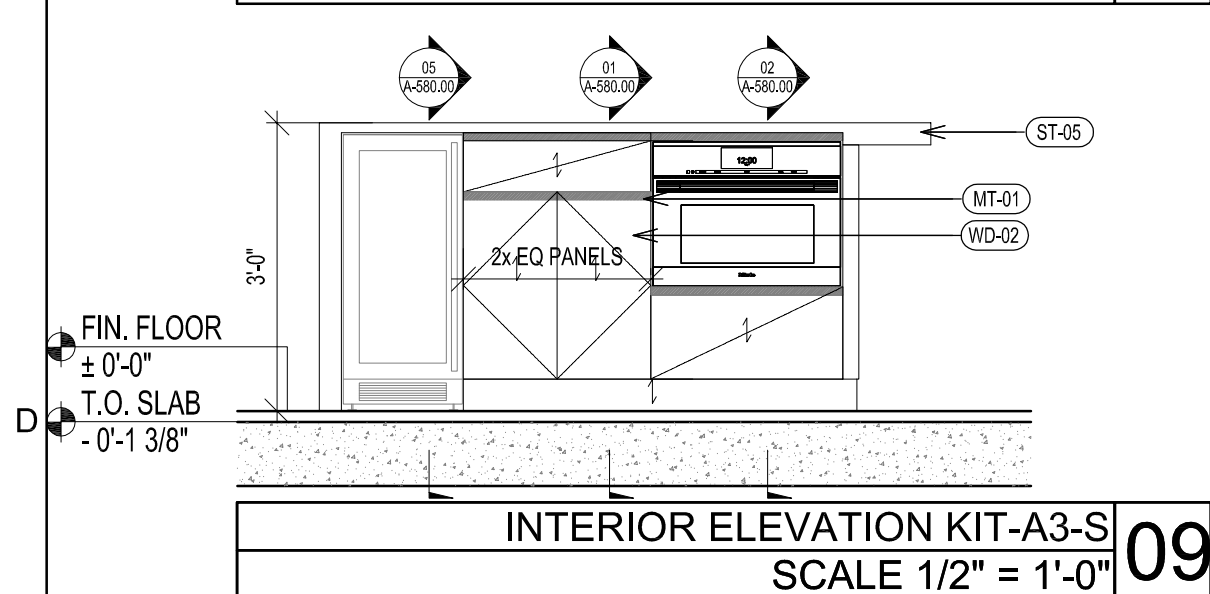
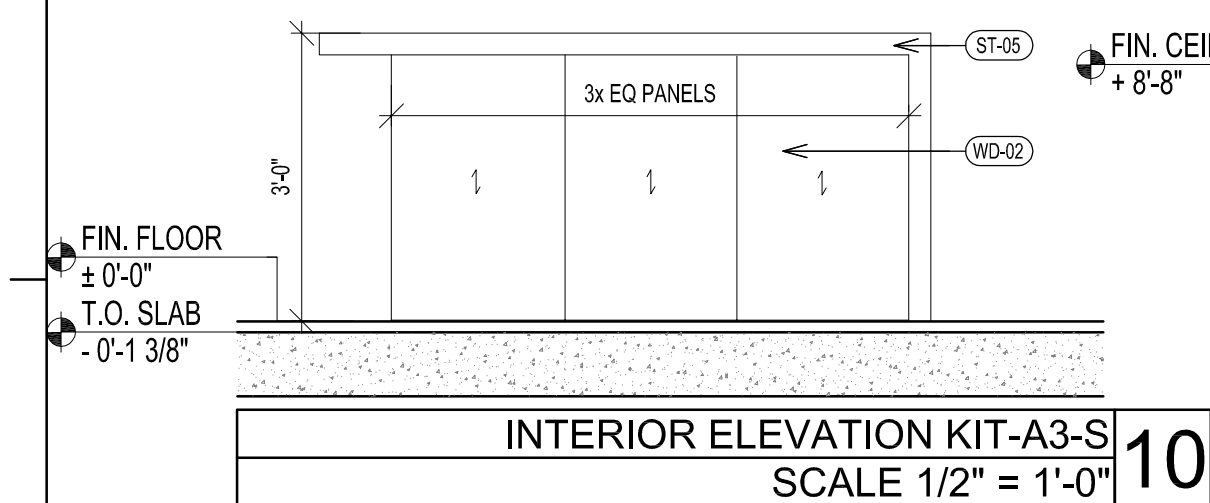
TYPICAL RESIDENTIAL
KITCHEN TYPES A3-S

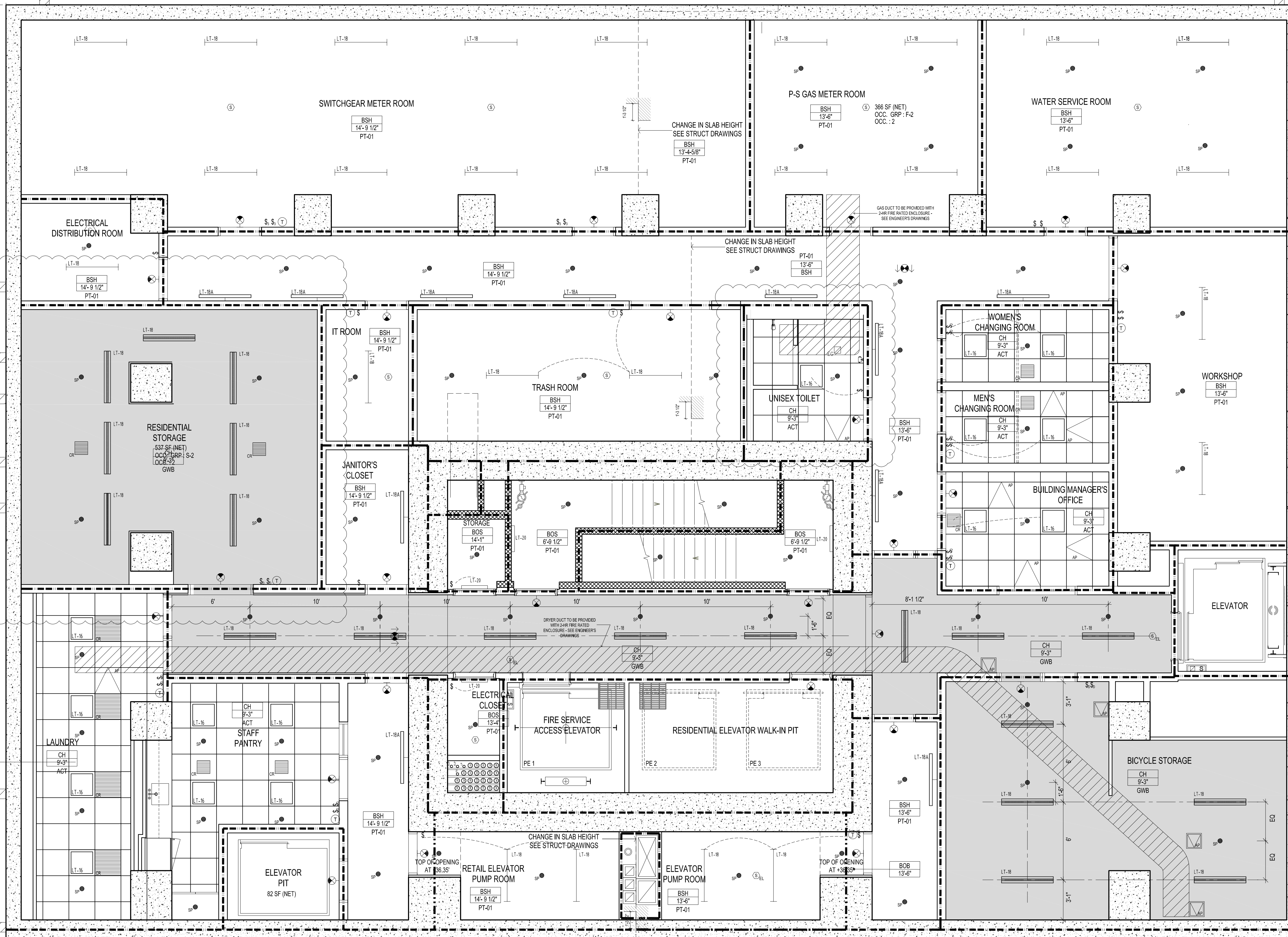
SHEET TITLE:

A-574.00

SHEET NUMBER:

KITCHEN TYPE	FLOOR	UNIT	CEILING HT
A3-S	LV 7	UNIT D	8'-9"





STORAGE
12 X LT-18 = 252W (21W PER FIX)
4 X LT-16 = 140W (35W PER FIX)

TOTAL WATT = 392W
TOTAL SF = 933f2

PROPOSED LPT = 252W/ 895f2 = 0.42W/f2

STAIR
2 X LT-20 = 58W (29W PER FIX)
TOTAL WATT = 58W
TOTAL SF = 169 f2
PROPOSED LPT = 58W/ 169f2 = 0.34W/f2

CELLAR
27 X LT-18 = 567W (21W PER FIX)
4 X LT-16 = 525W (35W PER FIX)

TOTAL WATT = 1,093W
TOTAL SF = 2,270f2
PROPOSED LPT = 1,093W/ 2,270f2 = 0.48W/f2

LAUNDRY
4 X LT-16 = 525W (35W PER FIX)

TOTAL WATT = 175W
TOTAL SF = 272f2
PROPOSED LPT = 175W/ 272f2 = 0.51W/f2

OFFICE
2 X LT-16 = 70W (35W PER FIX)

TOTAL WATT = 70W
TOTAL SF = 127f2
PROPOSED LPT = 70W/ 127f2 = 0.55W/f2

BATHROOM
1 X LT-16 = 35W (35W PER FIX)

TOTAL WATT = 35W
TOTAL SF = 78f2
PROPOSED LPT = 35W/ 78f2 = 0.45W/f2

CORRIDOR
18 X LT-18 = 630W (35W PER FIX)

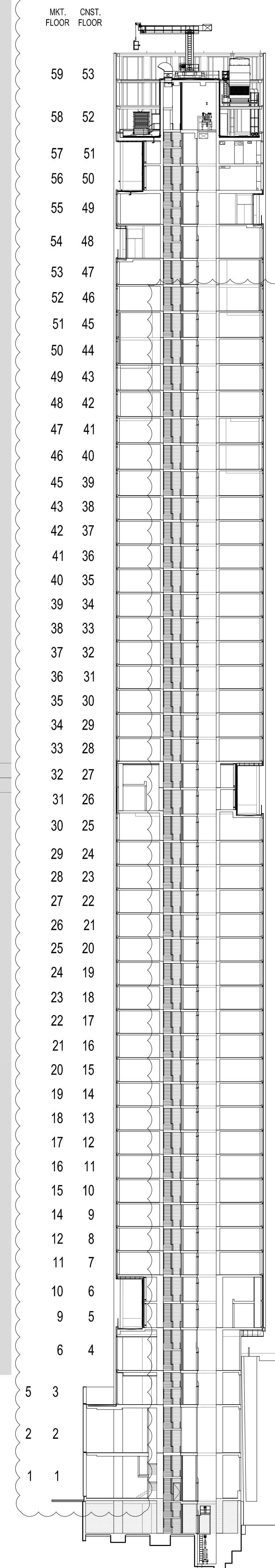
TOTAL WATT = 630W
TOTAL SF = 1112f2
PROPOSED LPT = 630W/ 1,112f2 = 0.57W/f2

REFLECTED CEILING PLAN LEGEND

NOTES: THIS LEGEND IS USED AS THE MASTER LIST FOR ALL REFLECTED CEILING PLANS, AND NOT ALL SYMBOL DESIGNATIONS & NOTES ARE APPLICABLE FOR THIS PLAN. 1. PROVIDE 2 HOUR GYPSUM BOARD ENCLOSURE OVER ALL MECHANICAL OFFSETS. 2. PROVIDE ACCESS PANELS AT ALL MECHANICAL ELECTRICAL AND PLUMBING POINTS FOR SERVICE. (SEE M.E.P. DRAWINGS). 3. REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE SCHEDULE. 4. REFER TO ELECTRICAL LIGHTING DESIGN DRAWING FOR POWER SUPPLIES & SPECIFICATIONS. 5. ALL VISIBLE ACCESS PANEL INSIDE THE UNIT SHALL BE TIMELESS SQUARE-DEGGED GFRG ACCESS PANEL.	SPRINKLER WALL MOUNTED SPRINKLER 5W DECORATIVE PENDANT CEILING HEIGHT DESIGNATION HEAT PUMP SMOKE / CARBON MONOXIDE DETECTOR WALL MOUNTED SMOKE / CARBON MONOXIDE DETECTOR (PT BELOW F.C.) RETURN AIR GRILL SUPPLY DIFFUSER 12"X12" ACCESS PANEL	BATHROOM EXHAUST GRILLE 8"X8" CEILING REGISTER WALL BOX TYPE COMBINATION OCC. SENSOR AND SWITCH CEILING MOUNT DUAL TECHNOLOGY OCC. SENSOR AUTOMATIC HEAT DETECTION ALARM ACTUATING DEVICE 1" REMOTE LAMP 30" - EXPLOSION PROOF 1"CO2 - COMBINATION HEAT/CO DETECTOR CEILING MOUNTED GLASS EXT. SIGN WALL MOUNTED GLASS EXT. SIGN	CEILING MOUNTED TRANSFORMER APARTMENT ELECTRIC PANEL APARTMENT IT PANEL SWITCH (TWO WAY) SWITCH (THREE WAY) SWITCH (DIMMER) DATA DATA TELEVISION DATA TELEPHONE MOTORIZED SHADE INTERCOM	CEILING MOUNTED FIXTURE DUPLEX RECEPTACLE SWITCHED RECEPTACLE DUPLEX RECEPTACLE (DEDICATED) REFRIGERATOR RECEPTACLE DISHWASHER RECEPTACLE MICROWAVE RECEPTACLE GARBAGE DISPOSAL RECEPTACLE GROUND-FAULT CIRCUIT INTERRUPTER WALL MOUNTED FIXTURE FIRE SHUTTER	NO DROPPED CEILING (KADEX) 2 HR. CEILING (STAIRS) SUSPENDED GYPSUM WALL BOARD CEILING OR SOFFIT GWB CEILING (12" LAYERS OF GWB BELOW FAN COIL UNITS) 2" X 2" DROPPED CEILING TILES LINEAR CEILING DIFFUSER (SEE MECH. DWGS FOR ADDITIONAL INFORMATION) SUPPLY GRILLE (SEE MECH. DWGS FOR ADDITIONAL INFORMATION) 18"X6" CEILING MOUNTED SUPPLY GRILLE (SEE MECH. DWGS FOR ADDITIONAL INFORMATION)	EXTERIOR WINDOW SHADES MOCKLINE RECESSED STEP SPEAKER ONLY APPLIANCE WP-WEATHERPROOF RECESSED DOWNLIGHT AMENITY (DIMMING) RECESSED DOWNLIGHT AMENITY (DIMMING) RECESSED DOWNLIGHT RESIDENTIAL RECESSED DOWNLIGHT PANTRY LIGHT FIXTURE FOR CLOSET RECESSED DOWNLIGHT BATHROOM	POINT LIGHT FIXTURE RECESSED DOWNLIGHT CORRIDOR COVE LIGHT FIXTURE - CORRIDOR COVE LIGHT FIXTURE - BATHROOM COVE LIGHT FIXTURE - LOBBY/AMENITY COVE LIGHT FIXTURE - ELEVATOR EXTERIOR WALL MOUNTED FIXTURE LIGHT FIXTURE-11 UPLIGHT OVER KITCHEN CABINET	UNDERCOUNTER LIGHT IN KITCHEN LIGHT BELOW MIRROR VERTICAL LIGHT BESIDE MIRROR VANITY NIGHTLIGHT SURFACE MOUNTED LINEAR FIXTURE WALL MOUNTED LINEAR FIXTURE 4" SURFACE OR PENDANT MOUNTED FLUORESCENT WALL MOUNTED FIXTURE LINEAR FLUORESCENT BACKLIGHT LINEAR LED STRIP LIGHT	2" X 2" LIGHTING FIXTURE EXTERIOR GROUND MOUNTED UPLIGHT TRIMLESS WALLWASHER JUNCTION BOX THERMOSTAT THERMOSTAT FOR RADIANT HEAT MAT SMOKE DETECTOR ELEVATOR ELEVATOR RELATED DEVICE HEAT DETECTOR
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CELLAR FLOOR PLAN LEVEL -01 RCP
SCALE 1/4" = 1'-0"

FLOOR LOCATION DIAGRAM
SCALE 1/32" = 1'-0"



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LOBBY
1 X LT-18 = 21W (21W PER FIX)
8 X LT-27D = 96W (12W PER FIX)
4 X LT-31D = 40W (10W PER FIX)
14 X LT-33D = 140W (10W PER FIX)
128' X LT-35D = 1,280W (10W PER FOOT)
31' X LT-38D = 155W (5W PER FOOT)

TOTAL WATT = 1,732W
TOTAL SF = 859 f2

PROPOSED LPT = 2,023W/ 859f2 = 2.01W/f2

BATHROOM
1 X LT-18 = 35W (35W PER FIX)

TOTAL WATT = 35W
TOTAL SF = 71f2

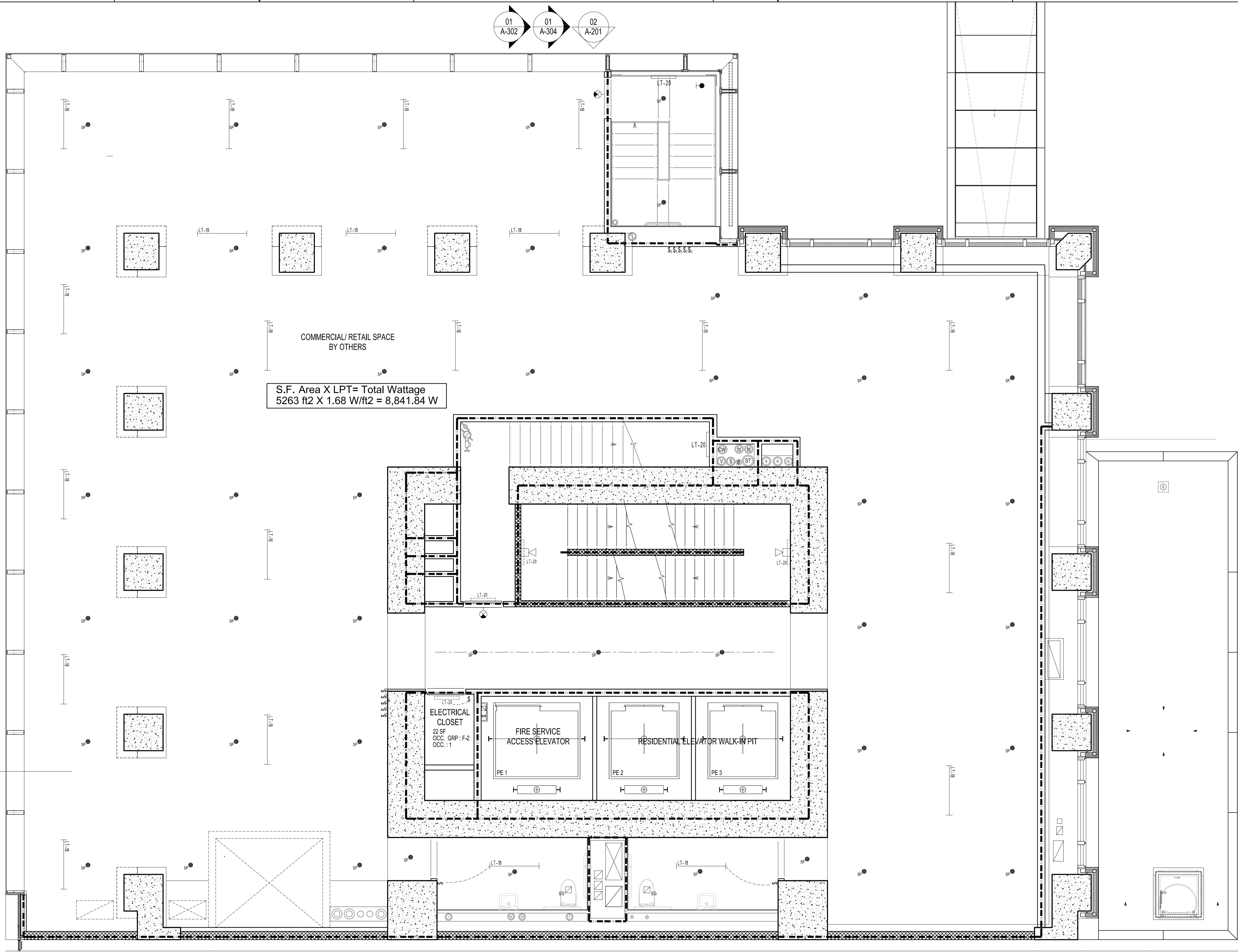
PROPOSED LPT = 35W/ 78f2 = 0.49W/f2

TOTAL WATT = 1,732W
TOTAL SF = 859 f2

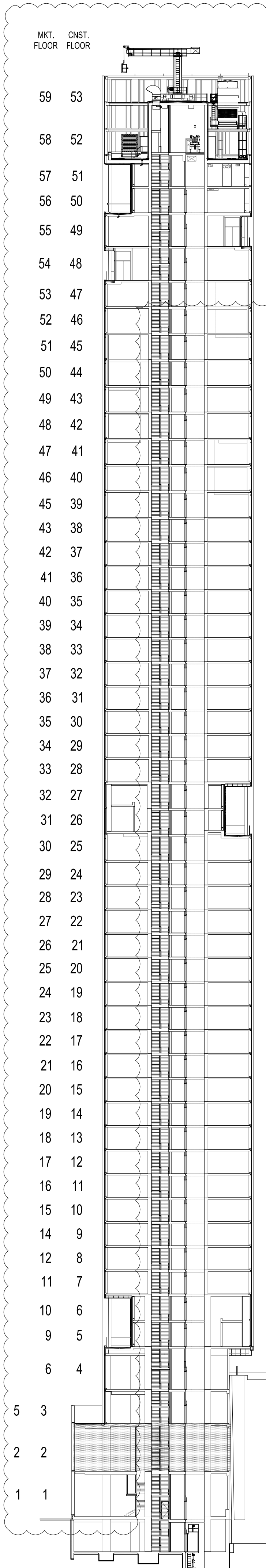
PROPOSED LPT = 2,023W/ 859f2 = 2.01W/f2

2016 RAFAEL VINOLY ARCHITECTS

1 2 3 4 5 6



02
A-202



277
Fifth Avenue
NEW YORK, NY

OWNER:
VICTOR NOMAD LLC

CONSTRUCTION MANAGER:
LEND LEASE
200 PARK AVENUE, 9TH FLOOR
NEW YORK, NY 10166
TEL: 212 592 6700

ARCHITECT:
RAFAEL VINOLY ARCHITECTS PC
50 VANDAM STREET
NEW YORK, NY 10013
TEL: 212 924 5060 FAX: 212 924 5858

STRUCTURAL ENGINEER:
WSP PARSONS BRINCKERHOFF
ONE PENN PLAZA, 4TH FLOOR
NEW YORK, NY 10119
TEL: 212 687 9888

MEP/FP/IT ENGINEER:
MGE ENGINEERING
116 WEST 32ND STREET, 12TH FLOOR
NEW YORK, NY 10001
TEL: 212 643 9055

GEOTECH CIVIL ENGINEER:
LANGAN ENGINEERING
300 KIMBALL DRIVE, 4TH FLOOR
PARSIPPANY, NJ, 07054
TEL: 973 560 4900

VERTICAL TRANSPORT, CONSULTANT:
VIDARIS, INC.
360 PARK AVENUE SOUTH, 15TH FLOOR
NEW YORK, NY, 10010
TEL: 212 689 5389

FACADE MAINTENANCE CONSULTANT:
ENITEK ENGINEERING LLC
166 AMES STREET
HACKENSACK, NJ, 07601
TEL: 201 820 2801

ACOUSTICAL CONSULTANT:
CERAMI & ASSOCIATES
404 FIFTH AVENUE
NEW YORK, NY, 10018
TEL: 212 616 4179

LIGHTING CONSULTANT:
ONE LUX STUDIO
158 WEST 29TH STREET, 10TH FLOOR
NEW YORK, NY, 10001
TEL: 212 201 5790

SPECIFICATIONS CONSULTANT:
ROBERT SCHWARTZ & ASSOCIATES
589 EIGHTH AVENUE, 17TH FLOOR
NEW YORK, NY, 10018
TEL: 212 691 3248

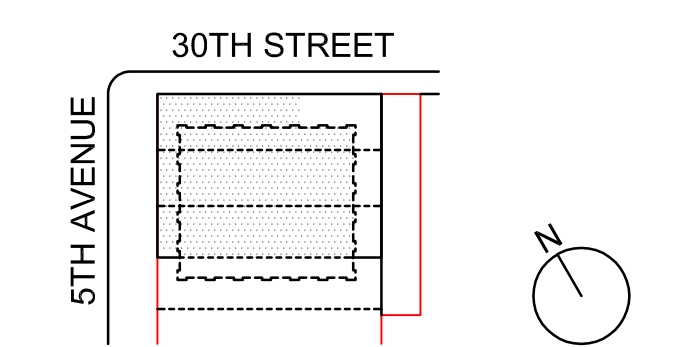
ENERGY MODELING CONSULTANT:
STEVEN WINTER ASSOCIATES, INC
307 SEVENTH AVENUE, SUITE 1701
NEW YORK, NY, 10001
TEL: 212 564 5800

INTERIOR DESIGN CONSULTANT:
BEERS INTERIORS
156 5TH AVENUE, PENTHOUSE 2
NEW YORK, NY, 10010
TEL: 212 352 2020

NYC DEPT. OF BUILDINGS
PAA #2

ARCHITECT'S SEAL
Areg Asatryan, RA
U. Asatryan
APPROVED
Under Directive 2 of 2005
DESIGN PROFESSIONAL
Date: 04/19/2016
NYC Development Hub

09/08/2017 PAA #2
02/24/2017 PAA #1
04/08/2016 DOB SUBMITTAL
01/18/2016 FOUNDATION BID
12/23/2015 SCHEMATIC DESIGN
ISSUE NO. DATE DESCRIPTION



KEY PLAN AND NORTH SIGN
IF THIS DRAWING IS NOT 42" X 30" IT IS
A REDUCED PRINT;
REFER TO GRAPHIC SCALE

SCALE 1/4" = 1'-0"

COMMERCIAL
FLOOR PLAN RCP
LEVEL 02

SHEET TITLE:
A-602.02
SHEET NUMBER:

REFLECTED CEILING PLAN LEGEND

NOTES: THIS LEGEND IS USED AS THE MASTER LIST FOR ALL REFLECTED CEILING PLANS, AND NOT ALL SYMBOL DESIGNATIONS & NOTES ARE APPLICABLE FOR THIS PLAN. 1. PROVIDE 2 HOUR GYPSUM BOARD ENCLOSURE OVER ALL MECHANICAL OFFSETS. 2. COORDINATE WITH MECHANICAL DRAWINGS. PROVIDE ACCESS PANELS AT ALL MECHANICAL ELECTRICAL AND PLUMBING POINTS FOR SERVICE. (SEE M.E.P. DRAWINGS). 3. REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE SCHEDULE. 4. REFER TO ELECTRICAL LIGHTING DESIGN DRAWING FOR POWER SUPPLIES & SPECIFICATIONS. 5. ALL VISIBLE ACCESS PANEL INSIDE THE UNIT SHALL BE TIMELESS SQUARE-EDGED GFRG ACCESS PANEL.	SPRINKLER WALL MOUNTED SPRINKLER SW DECORATIVE PENDANT CEILING HEIGHT DESIGNATION HEAT PUMP SMOKE / CARBON MONOXIDE DETECTOR WALL MOUNTED SMOKE / CARBON MONOXIDE DETECTOR (PT BELOW F.C.) RETURN AIR GRILL SUPPLY DIFFUSER 12"X12" ACCESS PANEL	BATHROOM EXHAUST GRILLE 8"X8" CEILING REGISTER 12"X12" CEILING REGISTER WALL BOX TYPE COMBINATION OCC. SENSOR AND SWITCH CEILING MOUNT DUAL TECHNOLOGY OCC. SENSOR AUTOMATIC HEAT DETECTION ALARM ACTUATING DEVICE 1" - REMOTE LAMP 30" - EXPLOSION PROOF 70" - ELEVATOR RECALL 1"CO" - COMBINATION HEAT/CO DETECTOR CEILING MOUNTED GLASS EXT SIGN WALL MOUNTED GLASS EXT SIGN	CEILING MOUNTED TRANSFORMER APARTMENT ELECTRIC PANEL APARTMENT IT PANEL SWITCH SWITCH (TWO WAY) SWITCH (THREE WAY) SWITCH (DIMMER) DATA DATA TELEVISION DATA TELEPHONE MOTORIZED SHADE INTERCOM	CEILING MOUNTED FIXTURE DUPLICATE RECEPTACLE SWITCHED RECEPTACLE DUPLICATE RECEPTACLE (DEDICATED) REFRIGERATOR RECEPTACLE DISHWASHER RECEPTACLE MICROWAVE RECEPTACLE GARBAGE DISPOSAL RECEPTACLE GROUND-FAULT CIRCUIT INTERRUPTER WALL MOUNTED FIXTURE FIRE SHUTTER	NO DROPPED CEILING (KADEX) 2 HR. CEILING (STAIRS) SUSPENDED GYPSUM WALL BOARD CEILING OR SOFFIT GWB CEILING IN 2 LAYERS OF GWB BELOW FAN COIL UNITS 2" X 2" DROPPED CEILING TILES LINEAR CEILING DIFFUSER (SEE MECH. DWGS FOR ADDITIONAL INFORMATION) LINEAR WALL DIFFUSER (SEE MECH. DWGS FOR ADDITIONAL INFORMATION) 18"X6" CEILING MOUNTED SUPPLY GRILLE (SEE MECH. DWGS FOR ADDITIONAL INFORMATION)	EXTERIOR WINDOW SHADES MOCKLINE RECESSED STEP SPEAKER ONLY APPLIANCE WP-WEATHERPROOF RECESSED DOWNLIGHT AMENITY (DIMMING) RECESSED DOWNLIGHT RESIDENTIAL RECESSED DOWNLIGHT PANTRY LIGHT FIXTURE FOR CLOSET RECESSED DOWNLIGHT BATHROOM	POINT LIGHT FIXTURE RECESSED DOWNLIGHT CORRIDOR COVE LIGHT FIXTURE - CORRIDOR COVE LIGHT FIXTURE - BATHROOM COVE LIGHT FIXTURE - LOBBY/AMENITY COVE LIGHT FIXTURE - ELEVATOR EXTERIOR WALL MOUNTED FIXTURE LIGHT FIXTURE-11 UPLIGHT OVER KITCHEN CABINET	UNDERCOUNTER LIGHT IN KITCHEN LIGHT BELOW MIRROR VERTICAL LIGHT BESIDE MIRROR VANITY NIGHTLIGHT SURFACE MOUNTED LINEAR FIXTURE WALL MOUNTED LINEAR FIXTURE 4" SURFACE OR PENDANT MOUNTED FLUORESCENT WALL MOUNTED FIXTURE LINEAR FLUORESCENT BACKLIGHT LINEAR LED STRIP LIGHT	2" X 2" LIGHTING FIXTURE EXTERIOR GROUND MOUNTED UPLIGHT LINEAR LED STRIP LIGHT TRIMLESS WALLWASHER JUNCTION BOX THERMOSTAT THERMOSTAT FOR RADIANT HEAT MAT SMOKE DETECTOR ELEVATOR ELEVATOR RELATED DEVICE HEAT DETECTOR
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COMMERCIAL FLOOR PLAN LEVEL 02 RCP
SCALE 1/4" = 1'-0" 02

FLOOR LOCATION DIAGRAM
SCALE 1/32" = 1'-0" 01

CORRIDOR
50' X LT-09A = 150W (3W PER FOOT)
2 X LT-20 = 58W (29W PER FIX)
5 X LT-50 = 50W (10W PER FIX)
TOTAL WATT = 258W
TOTAL SF = 295 f2
PROPOSED LPT = 258W/ 295f2 = 0.87W/f2

STAIR
2 X LT-20 = 58W (29W PER FIX)
TOTAL WATT = 58W
TOTAL SF = 312 f2
PROPOSED LPT = 58W/ 312f2 = 0.18W/f2

GYMNASIUM
140' X LT-25D = 1400W (10W PER FOOT)
90' X LT-42D = 450W (5W PER FOOT)
TOTAL WATT = 1850W
TOTAL SF = 1683 f2
PROPOSED LPT = 1850W/ 1683f2 = 1.10W/f2

LOUNGE/ RECREATION
3 X LT-08A = 60W (20W PER FIX)
30' X LT-25D = 300W (10W PER FOOT)
34' X LT-41D = 476W (14W PER FIX)
3 X LT-49D = 225W (75W PER FIX)
4 X LT-52D = 400W (100W PER FIX)
10' X LT-58D = 90W (9W PER FOOT)
TOTAL WATT = 1,551W
TOTAL SF = 1,650 f2
PROPOSED LPT = 1,759W/ 1,650f2 = 0.94W/f2

REFLECTED CEILING PLAN LEGEND

NOTES: THIS LEGEND IS USED AS THE MASTER LIST FOR ALL REFLECTED CEILING PLANS, AND NOT ALL SYMBOL DESIGNATIONS & NOTES ARE APPLICABLE FOR THIS PLAN. 1. PROVIDE 2 HOUR GYPSUM BOARD ENCLOSURE OVER ALL MECHANICAL OFFSETS. 2. COORDINATE WITH MECHANICAL DRAWINGS. 3. PROVIDE ACCESS PANELS AT ALL MECHANICAL ELECTRICAL AND PLUMBING POINTS FOR SERVICE. (SEE M.E.P. DRAWINGS). 4. REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE SCHEDULE. 5. REFER TO ELECTRICAL AND LIGHTING DESIGN SPECIFICATIONS. 6. ALL VISIBLE ACCESS PANEL INSIDE THE UNIT SHALL BE TIMELESS SQUARE-DESGR GFRG ACCESS PANEL.	SPRINKLER WALL MOUNTED SPRINKLER SW DECORATIVE PENDANT CEILING HEIGHT DESIGNATION HEAT PUMP SMOKE / CARBON MONOXIDE DETECTOR WALL MOUNTED SMOKE / CARBON MONOXIDE DETECTOR (PT BELOW F.C.) RETURN AIR GRILL SUPPLY DIFFUSER 12"X12" ACCESS PANEL	BATHROOM EXHAUST GRILLE 8"X8" CEILING REGISTER 12"X12" CEILING REGISTER WALL BOX TYPE COMBINATION OCC. SENSOR AND SWITCH CEILING MOUNT DUAL TECHNOLOGY OCC. SENSOR AUTOMATIC HEAT DETECTION ALARM ACTUATING DEVICE 1" - REMOTE LAMP 30" - EXPLOSION PROOF 76" - ELEVATOR RECALL 100" - COMBINATION HEAT / CO DETECTOR CEILING MOUNTED GLASS EXT SIGN WALL MOUNTED GLASS EXT SIGN	CEILING MOUNTED TRANSFORMER APARTMENT ELECTRIC PANEL APARTMENT I/P PANEL SWITCH SWITCH (TWO WAY) SWITCH (THREE WAY) SWITCH (DIMMER) DATA DATA TELEVISION DATA TELEPHONE MOTORIZED SHADE INTERCOM	CEILING MOUNTED FIXTURE SWITCHED RECEPTACLE DUPLEX RECEPTACLE (DEDICATED) REFRIGERATOR RECEPTACLE DISHWASHER RECEPTACLE MICROWAVE RECEPTACLE GARBAGE DISPOSAL RECEPTACLE GROUND-FAULT CIRCUIT INTERRUPTER WALL MOUNTED FIXTURE FIRE SHUTTER	NO DROPPED CEILING (KADEK) 2 HR. CEILING (STAIRS) SUSPENDED GYPSUM WALL BOARD CEILING OR SOFFIT GWB CEILING IN 2 LAYERS OF GWB BELOW FAN COIL UNITS 2' X 2' DROPPED CEILING TILES LINEAR CEILING DIFFUSER (SEE MECH. DWGS FOR ADDITIONAL INFORMATION) SUPPLY GRILLE (SEE MECH. DWGS FOR ADDITIONAL INFORMATION) 18"X6" CEILING MOUNTED SUPPLY GRILLE (SEE MECH. DWGS FOR ADDITIONAL INFORMATION)	EXTERIOR WINDOW SHAPES MCKINLEY RECESSED STEP SPRINKER ONLY APPLIANCE WP-WEATHERPROOF RECESSED DOWNLIGHT AMENITY (DIMMING) RECESSED DOWNLIGHT RESIDENTIAL RECESSED DOWNLIGHT PANTRY LIGHT FIXTURE FOR CLOSET RECESSED DOWNLIGHT BATHROOM	POINT LIGHT FIXTURE RECESSED DOWNLIGHT CORRIDOR COVE LIGHT FIXTURE - CORRIDOR COVE LIGHT FIXTURE - BATHROOM COVE LIGHT FIXTURE - LOBBY/AMENITY COVE LIGHT FIXTURE - ELEVATOR EXTERIOR WALL MOUNTED FIXTURE LIGHT FIXTURE-11 UPLIGHT OVER KITCHEN CABINET	UNDERCOUNTER LIGHT IN KITCHEN LIGHT BELOW MIRROR VERTICAL LIGHT BESIDE MIRROR VANITY NIGHTLIGHT SURFACE MOUNTED LINEAR FIXTURE WALL MOUNTED LINEAR FIXTURE 4" SURFACE OR PENDANT MOUNTED FLUORESCENT WALL MOUNTED FIXTURE LINEAR FLUORESCENT BACKLIGHT LINEAR LED STRIP LIGHT	2' X 2' LIGHTING FIXTURE EXTERIOR GROUND MOUNTED UPLIGHT LINEAR LED STRIP LIGHT TRIMLESS WALLWASHER JUNCTION BOX THERMOSTAT THERMOSTAT FOR RADIANT HEAT MAT SMOKE DETECTOR ELEVATOR ELEVATOR RELATED DEVICE HEAT DETECTOR
--	---	---	---	--	---	---	--	--	--

OWNER:
VICTOR NOMAD LLC

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LANGAN ENGINEERING
300 KIMBALL DRIVE, 4TH FLOOR
PARSIPPANY, NJ 07054
TEL: 973 560 4900

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EAST HANOVER, NJ 07936
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ENTEK ENGINEERING LLC
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HACKENSACK, NJ 07601
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404 FIFTH AVENUE
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ENERGY MODELING CONSULTANT:
STEVEN WINTER ASSOCIATES, INC
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NEW YORK, NY 10001
TEL: 212 564 5800

INTERIOR DESIGN CONSULTANT:
BEERS INTERIORS
156 5TH AVENUE, PENTHOUSE 2
NEW YORK, NY 10010
TEL: 212 352 2020

NYC DEPT. OF BUILDINGS
PAA #2

ARCHITECT'S SEAL
Areg Asatryan, RA
U. Asatryan
APPROVED
Under Directive 2 of 1995
ADMINISTRATIVE APPLICATION
Date: 04/19/2018
NYC Development Hub

09/08/2017 PAA #2
02/24/2017 PAA #1
04/08/2016 DOB SUBMITTAL
01/18/2016 FOUNDATION BID
12/23/2015 SCHEMATIC DESIGN

ISSUE NO. DATE DESCRIPTION

KEY PLAN AND NORTH SIGN
IF THIS DRAWING IS NOT 42" X 30" IT IS
A REDUCED PRINT;
REFER TO GRAPHIC SCALE

SCALE 1/4" = 1'-0"

AMENITY FLOOR
PLAN (LOUNGE) RCP
LEVEL 04

SHEET TITLE:
A-604.02

SHEET NUMBER:

CORRIDOR
50' X LT-09A = 150W (3W PER FOOT)
2 X LT-20 = 58W (29W PER FIX)
5 X LT-50 = 50W (10W PER FIX)
TOTAL WATT = 258W
TOTAL SF = 295 ft²
PROPOSED LPT = 258W/ 295ft² = 0.87W/ft²

STAIR
2 X LT-20 = 58W (29W PER FIX)
TOTAL WATT = 58W
TOTAL SF = 240 ft²
PROPOSED LPT = 58W/ 240ft² = 0.24W/ft²

LOUNGE/ RECREATION
130' X LT-25D = 1300W (10W PER FOOT)
7 X LT-41D = 98W (14W PER FIX)
40' X LT-43D = 560W (14W PER FIX)
1 X LT-54D = 250W (250W PER FIX)
1 X LT-56D = 250W (250W PER FIX)
1 X LT-57D = 250W (250W PER FIX)
22' X LT-58D = 198W (9W PER FOOT)

TOTAL WATT = 2,906W
TOTAL SF = 2,300 ft²
PROPOSED LPT = 2,906W/ 2,300 ft² = 1.26W/ft²

REFLECTED CEILING PLAN LEGEND

NOTES:
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1. PROVIDE 2 HOUR GYPSUM BOARD ENCLOSURE OVER ALL MECHANICAL OFFSETS COORDINATE WITH MECHANICAL DRAWINGS.
2. PROVIDE ACCESS PANELS AT ALL MECHANICAL, ELECTRICAL AND PLUMBING POINTS FOR SERVICE. (SEE M.E.P. DRAWINGS)
3. REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE SCHEDULE
4. REFER TO ELECTRICAL & LIGHTING DESIGN DRAWING FOR POWER SUPPLIES & SPECIFICATIONS
5. ALL VISIBLE ACCESS PANEL INSIDE THE UNIT SHALL BE TIMELESS SQUARE-DEGG OFRG ACCESS PANEL

SPRINKLER
WALL MOUNTED SPRINKLER
SWW DECORATIVE PENDANT
CEILING HEIGHT DESIGNATION
HP HEAT PUMP
SMOKE / CARBON MONOXIDE DETECTOR
WALL MOUNTED SMOKE / CARBON MONOXIDE DETECTOR (PT BELOW F.C.)
RETURN AIR GRILL
SUPPLY OFFUSER
12"X12" ACCESS PANEL

BATHROOM EXHAUST GRILLE
8"X8" CEILING REGISTER
12"X12" CEILING REGISTER
WALL BOX TYPE COMBINATION OCC. SENSOR AND SWITCH
CEILING MOUNT DUAL TECHNOLOGY OCC. SENSOR
AUTOMATIC HEAT DETECTION ALARM ACTUATING DEVICE
1" - REMOTE LAMP
70" - EXH. GRILL PROOF
1" - ELEVATOR RECALL
CO - COMBINATION CO DETECTOR
CEILING MOUNTED GLASS EXT SIGN
WALL MOUNTED GLASS EXT SIGN

CEILING MOUNTED TRANSFORMER
APARTMENT ELECTRIC PANEL
APARTMENT IT PANEL
SWITCH
SWITCH (TWO WAY)
SWITCH (THREE WAY)
SWITCH (DIMMER)
DATA
DATA TELEVISION
DATA TELEPHONE
MOTORIZED SHADE
INTERCOM

CEILING MOUNTED FIXTURE
DUPLX RECEPTACLE
SWITCHED RECEPTACLE
DUPLX RECEPTACLE (DEDICATED)
REFRIGERATOR RECEPTACLE
DISHWASHER RECEPTACLE
MICROWAVE RECEPTACLE
GARBAGE DISPOSAL RECEPTACLE
GROUND-FAULT CIRCUIT INTERRUPTER
WALL MOUNTED FIXTURE
FIRE SHUTTER

NO DROPPED CEILING (KADEX)
2 HR. CEILING (STAIRS)
SUSPENDED GYPSUM WALL BOARD
CEILING OR GYPSUM
GWB CEILING W/ (2) LAYERS OF GWB BELOW PANEL UNITS
2" X 2" DROPPED CEILING TILES
LINEAR CEILING DIFFUSER
(SEE MECH. DWGS FOR ADDITIONAL INFORMATION)
LINEAR WALL DIFFUSER
(SEE MECH. DWGS FOR ADDITIONAL INFORMATION)
18"X6" CEILING MOUNTED SUPPLY GRILLE
(SEE MECH. DWGS FOR ADDITIONAL INFORMATION)

EXTERIOR WINDOW SHADES
MICROLINE RECESSED STEP
SPRINKER ONLY APPLANCE
WP-WEATHERPROOF
RECESSED DOWNLIGHT AMENITY (DIMMING)
RECESSED DOWNLIGHT RESIDENTIAL
RECESSED DOWNLIGHT PANTRY
LIGHT FIXTURE FOR CLOSET
RECESSED DOWNLIGHT BATHROOM

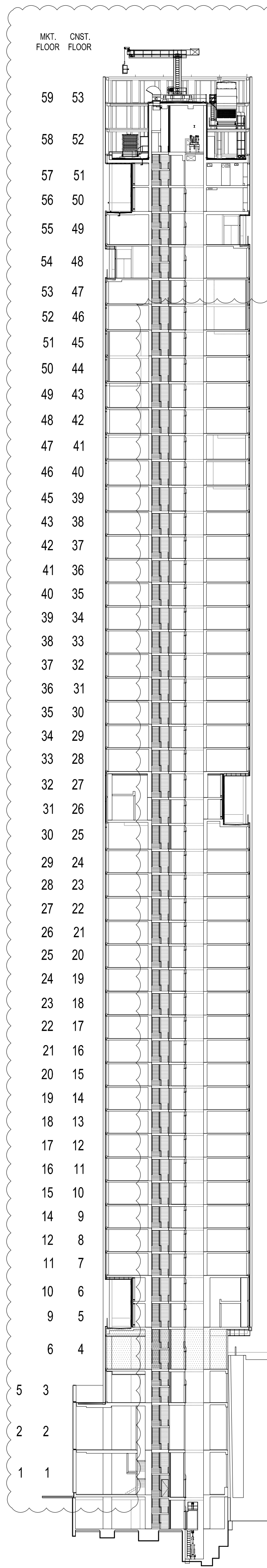
POINT LIGHT FIXTURE
RECESSED DOWNLIGHT CORRIDOR
COVE LIGHT FIXTURE - CORRIDOR
COVE LIGHT FIXTURE - BATHROOM
COVE LIGHT FIXTURE - LOBBY/AMENITY
COVE LIGHT FIXTURE - ELEVATOR
EXTERIOR WALL MOUNTED FIXTURE
LIGHT FIXTURE-11
UPLIGHT OVER KITCHEN CABINET

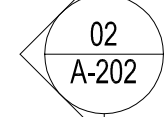
UNDERCOUNTER LIGHT IN KITCHEN
LIGHT BELOW MIRROR
VERTICAL LIGHT BESIDE MIRROR
VANITY NIGHTLIGHT
SURFACE MOUNTED LINEAR FIXTURE
WALL MOUNTED LINEAR FIXTURE
4" SURFACE OR PENDANT MOUNTED FLUORESCENT
WALL MOUNTED FIXTURE
LINEAR FLUORESCENT BACKLIGHT
LINEAR LED STRIP LIGHT

2" X 2" LIGHTING FIXTURE
LINEAR LED STRIP LIGHT
TRIMLESS WALLWASHER
JUNCTION BOX
THERMOSTAT
THERMOSTAT FOR RADIANT HEAT MAT
SMOKE DETECTOR
BUSINESS ELEVATOR
HEAT DETECTOR

AMENITY FLOOR PLAN (LOUNGE) RCP LEVEL 04
SCALE 1/4" = 1'-0"

FLOOR LOCATION DIAGRAM
SCALE 1/32" = 1'-0"





REFLECTED CEILING PLAN LEGEND

NOTES:
THIS LEGEND IS USED AS THE MASTER LIST FOR ALL REFLECTED CEILING PLANS, AND NOT ALL SYMBOL DESIGNATIONS & NOTES ARE APPLICABLE FOR THIS PLAN.

1. PROVIDE 2 HOUR GYPSUM BOARD ENCLOSURE OVER ALL MECHANICAL OFFSETS COORDINATE WITH MECHANICAL DRAWINGS.
2. PROVIDE ACCESS PANELS AT EACH MECHANICAL, ELECTRICAL AND PLUMBING POINTS OF SERVICE. (SEE E.L.P. DRAWING) FOR LIGHT FIXTURE SCHEDULE.
3. REFER TO ELECTRICAL & LIGHTING DESIGN DRAWING FOR POWER SUPPLIES & ACCESS PANELS.
4. ALL VISIBLE ACCESS PANELS INSIDE THE UNIT SHALL BE FRAMELESS SQUARE-EDGED GFIRO ACCESS PANEL.

SPRINKLER
 WALL MOUNTED SPRINKLER
 SAW DECORATIVE PANEL
 CEILING HEIGHT DESIGNATION
 HEAT PUMP
 SMOKE (CARBON MONOXIDE) DETECTOR
 WALL MOUNTED SMOKE (CARBON MONOXIDE) DETECTOR
 RETURN AIR GRILL
 SUPPLY DIFFUSER
 12"x14" ACCESS PANEL

BATHROOM EXHAUST GRILLE
 6"X6" CEILING REGISTER
 12"x12" CEILING REGISTER
 WALL BOX TYPE COMBINATION OVER ALL MECHANICAL OFFSETS
 CEILING MOUNT DUAL TECHNOLOGY OVC SENSOR
 AUTOMATIC HIGH TEMPERATURE ALARM ACTUATING DEVICE
 4"X 6" - EXPANSION PROOF
 4"X 6" - COMBINATION HEAT/CO DETECTOR
 CEILING-MOUNTED GLASS EXIT SIGN
 WALL-MOUNTED GLASS EXIT SIGN

CEILING MOUNTED TRANSFORMER
 APARTMENT INTERCOM
 APARTMENT INTERCOM
 SWITCH
 SWITCH (TWO WAY)
 SWITCH (THREE WAY)
 DATA
 DATA TELEPHONE
 MOTORIZED SHADE
 INTERCOM
 FIRE SHUTTER

NO DROPPED CEILING (KADEK)
 2 HR. CEILING (STAIRS)
 SUSPENDED GYPSUM WALL BOARD CEILING ON SOFT FLOOR
 GWB CEILING ON GYPS OF GWB BELOW PANELS
 2" X 2" DROPPED CEILING TILES
 LINEAR CEILING DIFFUSER (SEE MECH. DWGS FOR ADDITIONAL INFORMATION)
 LINEAR WALL DIFFUSER (SEE MECH. DWGS FOR ADDITIONAL INFORMATION)
 SUPPLY GRILLE (SEE MECH. DWGS FOR ADDITIONAL INFORMATION)
 18"X 6" CEILING MOUNTED SUPPLY GRILLE (SEE MECH. DWGS FOR ADDITIONAL INFORMATION)
 CEILING MOUNTED FIXTURE
 DUPLEX RECEPTACLE
 SWITCHED RECEPTACLE
 DUPLEX RECEPTACLE (DEDICATED)
 REFRIGERATOR RECEPTACLE
 DISHWASHER RECEPTACLE
 MICROWAVE RECEPTACLE
 GARBAGE DISPOSAL RECEPTACLE
 GROUND-FAULT CIRCUIT INTERRUPTER
 WALL MOUNTED FIXTURE
 FIRE SHUTTER

EXTERIOR WINDOW SHADES
 MICROLINE RECESSED STEP
 SPEAKER ONLY APPLANCE W/ NO BACKDROPS
 RECESSED DOWNLIGHT AMENITY
 RECESSED DOWNLIGHT AMENITY (DAMAGING)
 RECESSED DOWNLIGHT RESIDENTIAL
 RECESSED DOWNLIGHT PANTRY
 LIGHT FIXTURE FOR CLOSET
 RECESSED DOWNLIGHT BATHROOM

POINT LIGHT FIXTURE
 RECESSED DOWNLIGHT CORRIDOR
 COVE LIGHT FIXTURE - CORRIDOR
 COVE LIGHT FIXTURE - BATHROOM
 COVE LIGHT FIXTURE - LOBBY/AMENITY
 COVE LIGHT FIXTURE - ELEVATOR
 EXTERIOR WALL MOUNTED FIXTURE
 LIGHT FIXTURE-11
 UPLUOP OVER KITCHEN CABINET

UNDERCOUNTER LIGHT IN KITCHEN
 LIGHT BELOW MIRROR
 VERTICAL LIGHT BESIDE MIRROR
 VANITY NIGHTLIGHT
 SURFACE MOUNTED LINEAR FIXTURE
 LINEAR WALL MOUNTED LINEAR FIXTURE
 4" SURFACE OR PENDANT MOUNTED FLUORESCENT
 WALL MOUNTED FIXTURE
 LINEAR FLUORESCENT BACKLIGHT
 LINEAR LED STRIP LIGHT

2" X 2" LIGHTING FIXTURE
 EXTERIOR GROUND MOUNTED UPLIGHT
 LINEAR LED STRIP LIGHT
 TRIMLESS WALLWASHER
 JUNCTION BOX
 THERMOSTAT
 THERMOSTAT FOR RADIANT HEAT MAT
 SMOKE DETECTOR
 THERMOSTAT ELEVATOR RELATED DEVICE
 HEAT DETECTOR

FLOOR LOCATION DIAGRAM	01
SCALE 1/32" = 1'-0"	

MECH/STRUCTURAL
TRANSFER FLOOR
PLAN LEVEL 05

RCP

SHEET TITLE. _____

A-605 02

SHEET NUMBER :

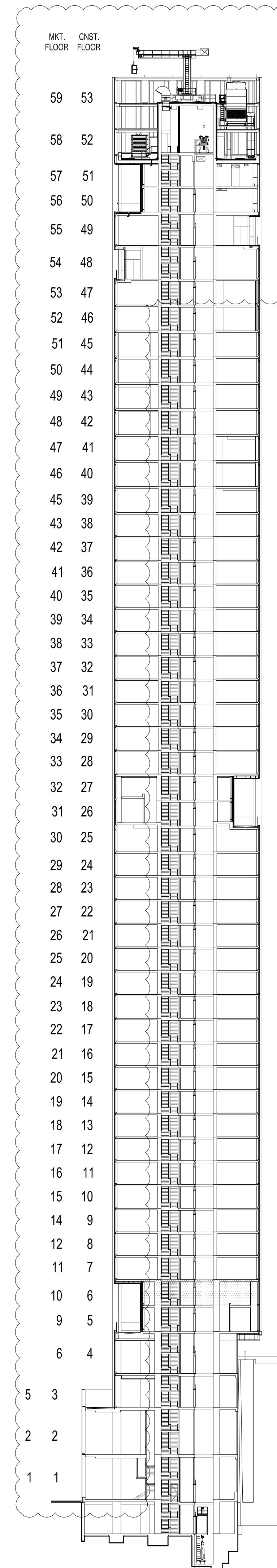
ELECTRICAL/ MECHANICAL 26 X LT-19 = 832W (32W PER FIX)
TOTAL WATT = 832W TOTAL SF = 2500ft2 PROPOSED LPT = 832W/ 2500ft2 = 0.33W/ft2
STAIR 2 X LT-20 = 58W (29W PER FIX)
TOTAL WATT = 58W TOTAL SF = 240 ft2 PROPOSED LPT = 58W/ 240ft2 = 0.24W/ft2

REFLECTED CEILING PLAN LEGEND

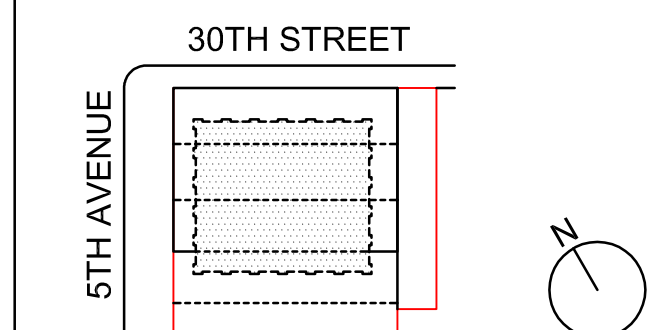
NOTES: THIS LEGEND IS USED AS THE MASTER LIST FOR ALL REFLECTED CEILING PLANS, AND NOT ALL SYMBOL DESIGNATIONS & NOTES ARE APPLICABLE FOR THIS PLAN. 1. PROVIDE 2 HOUR GYPSUM BOARD ENCLOSURE OVER ALL MECHANICAL OFFSETS. COORDINATE WITH MECHANICAL DRAWINGS. 2. PROVIDE ACCESS PANELS AT ALL MECHANICAL ELECTRICAL AND LIGHTING POINTS FOR SERVICE. (SEE M.E.P. DRAWINGS). 3. REFER TO ELECTRICAL AND LIGHTING DESIGN DRAWING FOR POWER SUPPLIES & SPECIFICATIONS. 4. ALL VISIBLE ACCESS PANEL INSIDE THE UNIT SHALL BE TIMELESS SQUARE-EDGED GFRG ACCESS PANEL.	SPRINKLER WALL MOUNTED SPRINKLER SW DECORATIVE PENDANT CEILING HEIGHT DESIGNATION HP SMOKE / CARBON MONOXIDE DETECTOR WALL MOUNTED SMOKE / CARBON MONOXIDE DETECTOR IFT BELOW F.C. RETURN AIR GRILL SUPPLY DIFFUSER 12"x12" ACCESS PANEL	BATHROOM EXHAUST GRILLE 8"x8" CEILING REGISTER 12"x12" CEILING REGISTER WALL BOX TYPE COMBINATION OCC. SENSOR AND SWITCH CEILING MOUNT DUAL TECHNOLOGY OCC. SENSOR AUTOMATIC HEAT DETECTION ALARM ACTUATING DEVICE 1" - REMOTE LAMP 30" - EXPLOSION PROOF 70" - ELEVATOR RECALL 100" - COMBINATION HEAT/CO DETECTOR CEILING MOUNTED GLASS EXIT SIGN WALL MOUNTED GLASS EXIT SIGN	CEILING MOUNTED FIXTURE DUPLEX RECEPTACLE SWITCHED RECEPTACLE DEDICATED RECEPTACLE REFRIGERATOR RECEPTACLE DISHWASHER RECEPTACLE MICROWAVE RECEPTACLE GARBAGE DISPOSAL RECEPTACLE GROUND-FAULT CIRCUIT INTERRUPTER WALL MOUNTED FIXTURE FIRE SHUTTER	NO DROPPED CEILING (KADEK) 2 HR. CEILING (STAIRS) SUSPENDED GYPSUM WALL BOARD CEILING OR SOFFIT GWB CEILING IN 2 LAYERS OF GWB BELOW FAN COIL UNITS 2" X 2" DROPPED CEILING TILES LINEAR CEILING DIFFUSER (SEE MECH. DWGS FOR ADDITIONAL INFORMATION.) LINEAR WALL DIFFUSER (SEE MECH. DWGS FOR ADDITIONAL INFORMATION.) SUPPLY GRILLE (SEE MECH. DWGS FOR ADDITIONAL INFORMATION.) 18"x6" CEILING MOUNTED SUPPLY GRILLE (SEE MECH. DWGS FOR ADDITIONAL INFORMATION.)	EXTERIOR WINDOW SHADES MOCKLINE RECESSED STEP SPEAKER ONLY APRON WP-WEATHERPROOF RECESSED DOWNLIGHT AMENITY (DINNING) RECESSED DOWNLIGHT RESIDENTIAL RECESSED DOWNLIGHT PANTRY LIGHT FIXTURE FOR CLOSET RECESSED DOWNLIGHT BATHROOM	POINT LIGHT FIXTURE RECESSED DOWNLIGHT CORRIDOR COVE LIGHT FIXTURE - CORRIDOR COVE LIGHT FIXTURE - BATHROOM COVE LIGHT FIXTURE - LOBBY/AMENITY COVE LIGHT FIXTURE - ELEVATOR EXTERIOR WALL MOUNTED FIXTURE LIGHT FIXTURE-11 UPLIGHT OVER KITCHEN CABINET	UNDERCOUNTER LIGHT IN KITCHEN LIGHT BELOW MIRROR VERTICAL LIGHT BESIDE MIRROR VANITY NIGHTLIGHT SURFACE MOUNTED LINEAR FIXTURE WALL MOUNTED LINEAR FIXTURE 4" SURFACE OR PENDANT MOUNTED FLUORESCENT WALL MOUNTED FIXTURE LINEAR FLUORESCENT BACKLIGHT LINEAR LED STRIP LIGHT	2" X 2" LIGHTING FIXTURE EXTERIOR GROUND MOUNTED UPLIGHT LINEAR LED STRIP LIGHT TRIMLESS WALLWASHER JUNCTION BOX THERMOSTAT THERMOSTAT FOR RADIANT HEAT MAT SMOKE DETECTOR ELEVATORS ELEVATOR RELATED DEVICE HEAT DETECTOR
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MECH FLOOR PLAN LEVEL 06 RCP
SCALE 1/4" = 1'-0"

FLOOR LOCATION DIAGRAM
SCALE 1/32" = 1'-0"



09/08/2017	PAA #2
02/24/2017	PAA #1
04/08/2016	DOB SUBMITTAL
01/18/2016	FOUNDATION BID
12/23/2015	SCHEMATIC DESIGN
ISSUE NO.	DATE
ISSUE NO.	DATE



KEY PLAN AND NORTH SIGN
IF THIS DRAWING IS NOT 42" X 30" IT IS
A REDUCED PRINT;
REFER TO GRAPHIC SCALE

SCALE 1/4" = 1'-0"

RESIDENTIAL FLOOR PLAN RCP LEVEL 07

SHEET TITLE:

A-607.02

SHEET NUMBER:

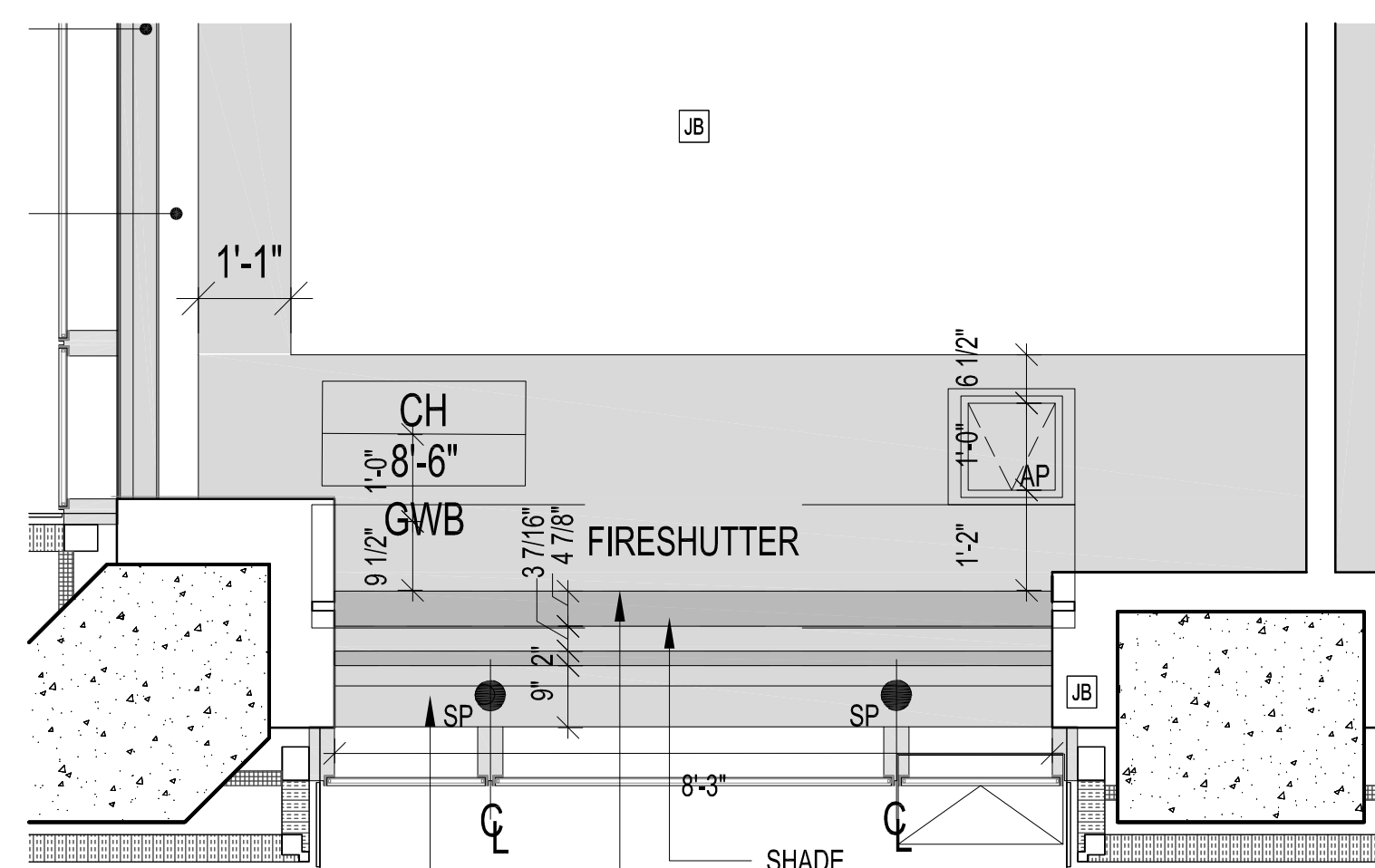
CORRIDOR
4 X LT-08 = 80W (20W PER FIX)
44' X LT-9 = 132W (3W PER FOOT)
2 X LT-24 = 40W (20W PER FIX)
2 X LT-20 = 58W (29W PER FIX)

TOTAL WATT = 310W
TOTAL SF = 380R2

PROPOSED LPT = 310W/ 380R2 = 0.81W/R2

STAIR

2 X LT-20 = 58W (29W PER FIX)
TOTAL WATT = 58W
TOTAL SF = 240 R2
PROPOSED LPT = 58W/ 240R2 = 0.24W/R2



ENLARGED FIRE SHUTTER RCP PLAN
SCALE 1/2" = 1'-0" 03

REFLECTED CEILING PLAN LEGEND

NOTES: THIS LEGEND IS USED AS THE MASTER LIST FOR ALL REFLECTED CEILING PLANS, AND NOT ALL SYMBOL DESIGNATIONS & NOTES ARE APPLICABLE FOR THIS PLAN. 1. PROVIDE 2 HOUR GYPSUM BOARD ENCLOSURE OVER ALL MECHANICAL OFFSETS COORDINATE WITH MECHANICAL DRAWINGS. 2. PROVIDE ACCESS PANELS AT ALL MECHANICAL ELECTRICAL AND PLUMBING POINTS FOR SERVICE. (SEE M.E.P. DRAWINGS) REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE SCHEDULE. 3. REFER TO ELECTRICAL LIGHTING DESIGN DRAWING FOR POWER SUPPLIES & SPECIFICATIONS. 4. ALL VISIBLE ACCESS PANEL INSIDE THE UNIT SHALL BE TIMELESS SQUARE-EDGED GFRG ACCESS PANEL.	SPRINKLER WALL MOUNTED SPRINKLER SW DECO RATIVE PENDANT CEILING HEIGHT DESIGNATION HEAT PUMP SMOKE / CARBON MONOXIDE DETECTOR WALL MOUNTED SMOKE / CARBON MONOXIDE DETECTOR (PT BELOW F.C.) RETURN AIR GRILL SUPPLY OFFUSER 12"X12" ACCESS PANEL	BATHROOM EXHAUST GRILLE 12"X12" CEILING REGISTER WALL BOX TYPE COMBINATION OCC. SENSOR AND SWITCH CEILING MOUNT DUAL TECHNOLOGY OCC. SENSOR AUTOMATIC HEAT DETECTION ALARM ACTUATING DEVICE 1" - REMOTE LAMP 30" - EXPLOSION PROOF 10" - ELEVATOR HEAT / CO DETECTOR CEILING MOUNTED GLASS EXT SIGN WALL MOUNTED GLASS EXT SIGN	CEILING MOUNTED TRANSFORMER APARTMENT ELECTRIC PANEL APARTMENT IT PANEL SWITCH (TWO WAY) SWITCH (THREE WAY) SWITCH (DIMMER) DATA DATA TELEVISION DATA TELEPHONE WALL MOUNTED SHADE INTERCOM	CEILING MOUNTED FIXTURE DUPLEX RECEPTACLE SWITCHED RECEPTACLE REFRIGERATOR RECEPTACLE DISHWASHER RECEPTACLE MICROWAVE RECEPTACLE GARBAGE DISPOSAL RECEPTACLE GROUND-FAULT CIRCUIT INTERRUPTER WALL MOUNTED FIXTURE FIRE SHUTTER	NO DROPPED CEILING (KDEX) 2 HR. CEILING (STAIRS) SUSPENDED GYPSUM WALL BOARD CEILING OR SOFFIT GWB CEILING IN 10' LAYERS OF GWB BELOW FAN COIL UNITS 2' X 2' DROPPED CEILING TILES LINEAR CEILING DIFFUSER (SEE MECH. DWGS FOR ADDITIONAL INFORMATION) SUPPLY GRILLE (SEE MECH. DWGS FOR ADDITIONAL INFORMATION) 18"X6" CEILING MOUNTED SUPPLY GRILLE (SEE MECH. DWGS FOR ADDITIONAL INFORMATION)	EXTERIOR WINDOW SHADES MOCKLINE RECESSED STEP SPRINKER ONLY APPLIANCE WP-WEATHERPROOF RECESSED DOWNLIGHT AMENITY (DIMMING) RECESSED DOWNLIGHT AMENITY (DIMMING) RECESSED DOWNLIGHT RESIDENTIAL RECESSED DOWNLIGHT PANTRY LIGHT FIXTURE FOR CLOSET RECESSED DOWNLIGHT BATHROOM	POINT LIGHT FIXTURE RECESSED DOWNLIGHT CORRIDOR COVE LIGHT FIXTURE - CORRIDOR COVE LIGHT FIXTURE - BATHROOM COVE LIGHT FIXTURE - LOBBY/AMENITY COVE LIGHT FIXTURE - ELEVATOR EXTERIOR WALL MOUNTED FIXTURE LIGHT FIXTURE-11 UPLIGHT OVER KITCHEN CABINET	UNDERCOUNTER LIGHT IN KITCHEN LIGHT BELOW MIRROR VERTICAL LIGHT BESIDE MIRROR VANITY NIGHTLIGHT SURFACE MOUNTED LINEAR FIXTURE WALL MOUNTED LINEAR FIXTURE 4" SURFACE OR PENDANT MOUNTED FLUORESCENT WALL MOUNTED FIXTURE LINEAR FLUORESCENT BACKLIGHT LINEAR LED STRIP LIGHT	2' X 2' LIGHTING FIXTURE EXTERIOR GROUND MOUNTED UPLIGHT LINEAR LED STRIP LIGHT TRAILLESS WALLWASHER JUNCTION BOX THERMOSTAT THERMOSTAT FOR RADIANT HEAT MAT SMOKE DETECTOR ELEVATOR ELEVATOR RELATED DEVICE HEAT DETECTOR
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RESIDENTIAL FLOOR PLAN LEVEL 07 RCP
SCALE 1/4" = 1'-0" 02

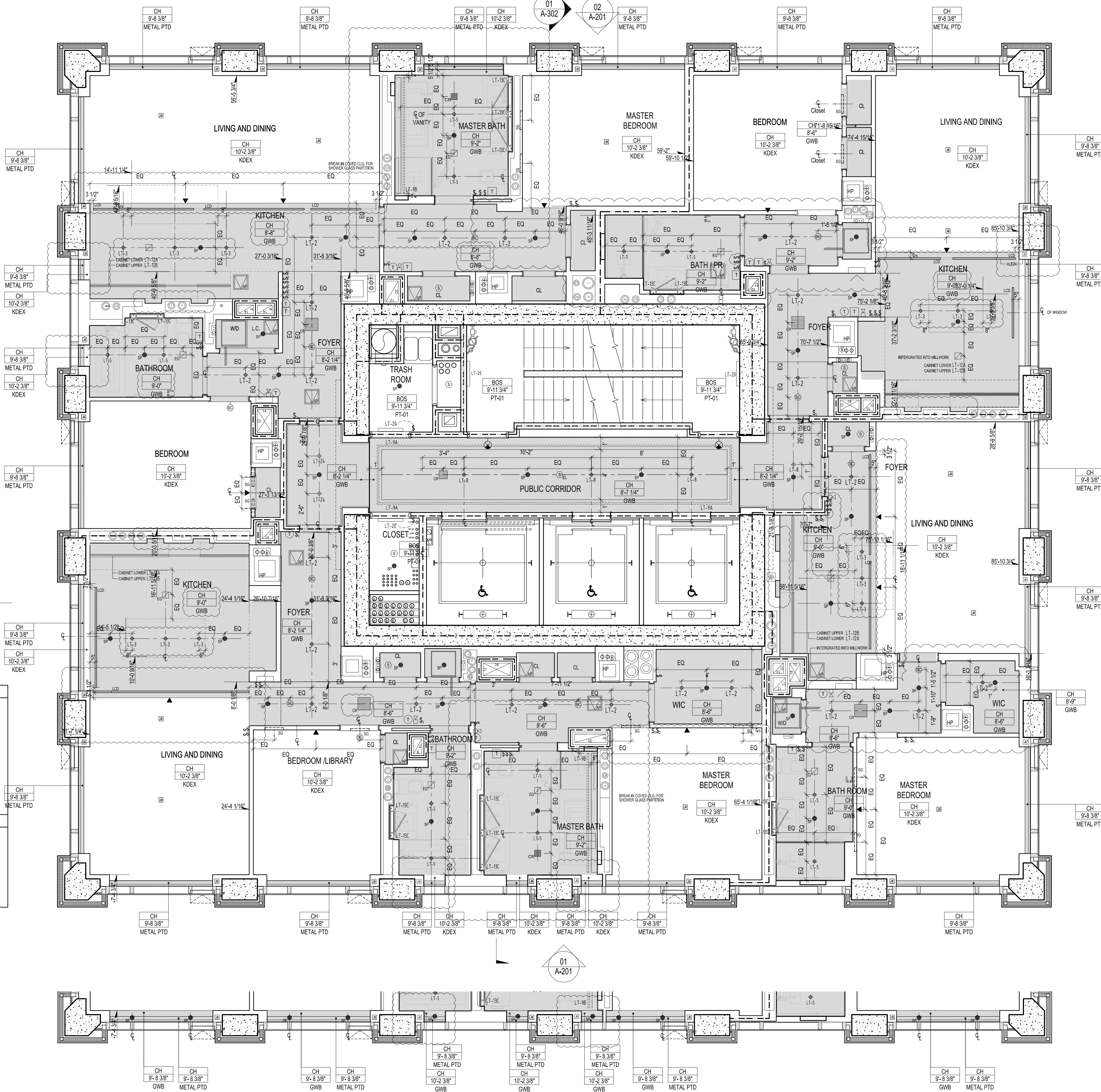
FLOOR LOCATION DIAGRAM
SCALE 1/32" = 1'-0" 01

CORRIDOR
4 X LT-08 = 80W (20W PER FIX)
44' X LT-9 = 132W (3W PER FOOT)
2 X LT-24 = 40W (20W PER FIX)
2 X LT-20 = 58W (29W PER FIX)

TOTAL WATT = 310W
TOTAL SF = 380f2

PROPOSED LPT = 310W/ 380f2 = 0.81W/f2

STAIR
2 X LT-20 = 58W (29W PER FIX)
TOTAL WATT = 58W
TOTAL SF = 240 f2
PROPOSED LPT = 58W/ 240f2 = 0.24W/f2



PARTIAL RESIDENTIAL FLOOR PLAN RCP LEVEL 09 (SOUTH)
SCALE 1/4" = 1'-0" 03

REFLECTED CEILING PLAN LEGEND

NOTES: THIS LEGEND IS USED AS THE MASTER LIST FOR ALL REFLECTED CEILING PLANS, AND NOT ALL SYMBOL DESIGNATIONS & NOTES ARE APPLICABLE FOR THIS PLAN.	SPRINKLER WALL MOUNTED SPRINKLER SW DECORATIVE PENDANT CEILING HEIGHT DESIGNATION HEAT PUMP SMOKE / CARBON MONOXIDE DETECTOR WALL MOUNTED SMOKE / CARBON MONOXIDE DETECTOR (PT BELOW F.C.) RETURN AIR GRILL SUPPLY DIFFUSER 12"X12" ACCESS PANEL	BATHROOM EXHAUST GRILLE 8"X8" CEILING REGISTER 12"X12" CEILING REGISTER WALL BOX TYPE COMBINATION OCC. SENSOR AND SWITCH CEILING MOUNT DUAL TECHNOLOGY OCC. SENSOR AUTOMATIC HEAT DETECTION ALARM ACTUATING DEVICE 1" - REMOTE LAMP 30" - EXPLOSION PROOF 16" - ELEVATOR RECALL 100" - COMBINATION HEAT/CO DETECTOR CEILING MOUNTED GLASS EXIT SIGN WALL MOUNTED GLASS EXIT SIGN	CEILING MOUNTED TRANSFORMER APARTMENT ELECTRIC PANEL APARTMENT IT PANEL SWITCH (TWO WAY) SWITCH (THREE WAY) SWITCH (DIMMER) DATA DATA TELEVISION TEL DATA TELEPHONE MOTORIZED SHADE INTERCOM	CEILING MOUNTED FIXTURE SWITCHED RECEPTACLE DUPLEX RECEPTACLE (DEDICATED) REFRIGERATOR RECEPTACLE DISHWASHER RECEPTACLE MICROWAVE RECEPTACLE GARBAGE DISPOSAL RECEPTACLE GROUND-FAULT CIRCUIT INTERRUPTER WALL MOUNTED FIXTURE FIRE SHUTTER	NO DROPPED CEILING (KADEX) 2 HR. CEILING (STAIRS) SUSPENDED GYPSUM WALL BOARD CEILING OR SOFFIT GWB CEILING IN 10' LAYERS OF GWB BELOW FAN COIL UNITS 2' X 2' DROPPED CEILING TILES LINEAR CEILING DIFFUSER (SEE MECH. DWGS FOR ADDITIONAL INFORMATION) LINEAR WALL DIFFUSER (SEE MECH. DWGS FOR ADDITIONAL INFORMATION) 18"X6" CEILING MOUNTED SUPPLY GRILLE (SEE MECH. DWGS FOR ADDITIONAL INFORMATION)	EXTERIOR WINDOW SHADES MCKINLEY RECESSED STEP SPRINKLER ONLY SPRING WP-WEATHERPROOF RECESSED DOWNLIGHT AMENITY (DIMMING) RECESSED DOWNLIGHT AMENITY (DIMMING) RECESSED DOWNLIGHT RESIDENTIAL RECESSED DOWNLIGHT PANTRY LIGHT FIXTURE FOR CLOSET RECESSED DOWNLIGHT BATHROOM	POINT LIGHT FIXTURE RECESSED DOWNLIGHT CORRIDOR COVE LIGHT FIXTURE - CORRIDOR COVE LIGHT FIXTURE - BATHROOM COVE LIGHT FIXTURE - LOBBY/AMENITY COVE LIGHT FIXTURE - ELEVATOR EXTERIOR WALL MOUNTED FIXTURE LIGHT FIXTURE-11 UPLIGHT OVER KITCHEN CABINET	UNDERCOUNTER LIGHT IN KITCHEN LIGHT BELOW MIRROR VERTICAL LIGHT BESIDE MIRROR VANITY NIGHTLIGHT SURFACE MOUNTED LINEAR FIXTURE WALL MOUNTED LINEAR FIXTURE 4" SURFACE OR PENDANT MOUNTED FLUORESCENT WALL MOUNTED FIXTURE LINEAR FLUORESCENT BACKLIGHT LINEAR LED STRIP LIGHT	2' X 2' LIGHTING FIXTURE EXTERIOR GROUND MOUNTED UPLIGHT LINEAR LED STRIP LIGHT TRAILLESS WALLWASHER JUNCTION BOX THERMOSTAT THERMOSTAT FOR RADIANT HEAT MAT SMOKE DETECTOR ELEVATOR ELEVATOR HEAT DETECTOR
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PARTIAL RESIDENTIAL FLOOR PLAN RCP LEVEL 08 (SOUTH)
SCALE 1/4" = 1'-0" 02

FLOOR LOCATION DIAGRAM
SCALE 1/32" = 1'-0" 01

2016 RAFAEL VINOLY ARCHITECTS

1 2 3 4 5 6

277
Fifth Avenue

NEW YORK, NY

OWNER:
VICTOR NOMAD LLC

CONSTRUCTION MANAGER:
LEND LEASE
200 PARK AVENUE, 9TH FLOOR
NEW YORK, NY 10166
TEL: 212 592 6700

ARCHITECT :
RAFAEL VINOLY ARCHITECTS PC
50 VANDAM STREET
NEW YORK, NY 10013
TEL: 212 924 5060 FAX: 212 924 5858

STRUCTURAL ENGINEER:
WSP PARSONS BRINCKERHOFF
ONE PENN PLAZA, 4TH FLOOR
NEW YORK, NY 10119
TEL: 212 687 9888

MEP/FP/IT ENGINEER:
MGE ENGINEERING
116 WEST 32ND STREET, 12TH FLOOR
NEW YORK, NY 10001
TEL: 212 643 9055

GEOTECH CIVIL ENGINEER:
LANGAN ENGINEERING
300 KIMBALL DRIVE, 4TH FLOOR
PARSIPPANY, NJ, 07054
TEL: 973 560 4900

VERTICAL TRANSPORT, CONSULTANT:
VAN DEUSEN & ASSOCIATES
120 EAGLE ROCK AVENUE, SUITE 310
EAST HANOVER, NJ, 07936
TEL: 973 994 9220

ENCLOSURE CONSULTANT:
VIDARIS, INC.
360 PARK AVENUE SOUTH, 15TH FLOOR
NEW YORK, NY, 10010
TEL: 212 689 5389

FACADE MAINTENANCE CONSULTANT:
ENTEK ENGINEERING LLC
166 AMES STREET
HACKENSACK, NJ, 07601
TEL: 201 820 2801

ACOUSTICAL CONSULTANT:
CERAMI & ASSOCIATES
404 FIFTH AVENUE
NEW YORK, NY, 10018
TEL: 212 616 4179

LIGHTING CONSULTANT:
ONE LUX STUDIO
158 WEST 29TH STREET, 10TH FLOOR
NEW YORK, NY, 10001
TEL: 212 201 5790

SPECIFICATIONS CONSULTANT:
ROBERT SCHWARTZ & ASSOCIATES
589 EIGHTH AVENUE, 17TH FLOOR
NEW YORK, NY, 10018
TEL: 212 691 3248

ENERGY MODELING CONSULTANT:
STEVEN WINTER ASSOCIATES, INC
307 SEVENTH AVENUE, SUITE 1701
NEW YORK, NY, 10001
TEL: 212 564 5800

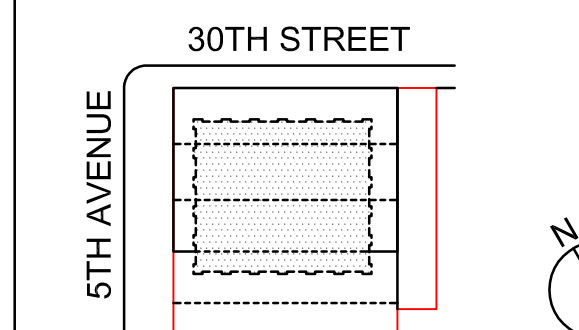
INTERIOR DESIGN CONSULTANT:
BEERS INTERIORS
156 5TH AVENUE, PENTHOUSE 2
NEW YORK, NY, 10010
TEL: 212 352 2020

NYC DEPT. OF BUILDINGS
PAA #2

ARCHITECT'S SEAL
Areg Asatryan, RA
U. Asatryan
APPROVED
Under Directive 2 of 1995
DATE: 04/19/2018
NYC Development Hub

09/08/2017	PAA #2
02/24/2017	PAA #1
04/08/2016	DOB SUBMITTAL
01/18/2016	FOUNDATION BID
12/23/2015	SCHEMATIC DESIGN

ISSUE NO.	DATE	DESCRIPTION
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KEY PLAN AND NORTH SIGN
IF THIS DRAWING IS NOT 42" X 30" IT IS
A REDUCED PRINT;
REFER TO GRAPHIC SCALE

SCALE 1/4" = 1'-0"

MECHANICAL
FLOOR PLAN RCP
LEVEL 26

SHEET TITLE :

A-609.02

SHEET NUMBER :

ELECTRICAL/ MECHANICAL
18 X LT-19 = 576W (32W PER FIX)

TOTAL WATT = 576W
TOTAL SF = 1803ft2
PROPOSED LPT = 576W/ 1803ft2 = 0.31W/ft2

STAIR
2 X LT-20 = 58W (29W PER FIX)

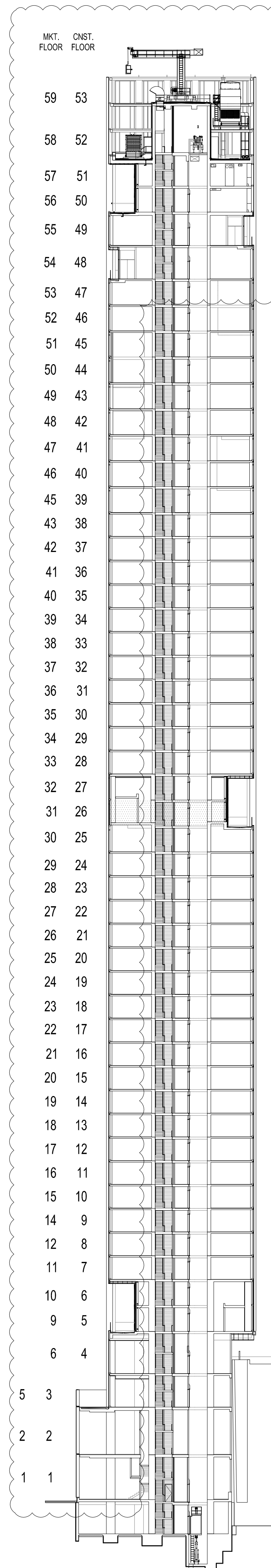
TOTAL WATT = 58W
TOTAL SF = 240 ft2
PROPOSED LPT = 58W/ 240ft2 = 0.24W/ft2

REFLECTED CEILING PLAN LEGEND

NOTES: THIS LEGEND IS USED AS THE MASTER LIST FOR ALL REFLECTED CEILING PLANS, AND NOT ALL SYMBOL DESIGNATIONS & NOTES ARE APPLICABLE FOR THIS PLAN. 1. PROVIDE 2 HOUR GYPSUM BOARD ENCLOSURE OVER ALL MECHANICAL OFFSETS. COORDINATE WITH MECHANICAL DRAWINGS. PROVIDE ACCESS PANELS AT ALL MECHANICAL ELECTRICAL AND LIGHTING POINTS FOR SERVICE. (SEE M.E.P. DRAWINGS). 2. MECHANICAL ELECTRICAL AND LIGHTING POINTS FOR SERVICE. (SEE M.E.P. DRAWINGS). 3. REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE SCHEDULE. 4. REFER TO ELECTRICAL LIGHTING DESIGN DRAWING FOR POWER SUPPLIES & SPECIFICATIONS.	SPRINKLER SW DECORATIVE PENDANT CEILING HEIGHT DESIGNATION FAN COIL UNIT SMOKE / CARBON MONOXIDE DETECTOR RETURN AIR GRILL SUPPLY DIFFUSER 12X12 PLUMBING ACCESS PANEL 12X12 ACCESS PANEL	CEILING-MOUNTED GLASS EXIT SIGN WALL-MOUNTED GLASS EXIT SIGN CEILING MOUNTED FIXTURE WALL BOX TYPE COMBINATION OCC, SENSOR AND SWITCH CEILING MOUNT DUAL TECHNOLOGY OCC SENSOR AUTOMATIC HEAT DETECTION ALARM ACTUATING DEVICE 1" - REMOTE LAMP 7" - EXPLOSION PROOF 9" - ELEVATOR RECALL COO - COMBINATION HEAT/CO DETECTOR 15 - MOTORIZED SHADE NT INTERCOM	15'x45" FCU ACCESS PANEL CEILING MOUNTED TRANSFORMER APARTMENT ELECTRIC PANEL SWITCH (TWO WAY) DATA DATA TELEVISION DATA TELEPHONE MS MOTORIZED SHADE NT INTERCOM	DUPLEX RECEPTACLE SWITCHED RECEPTACLE DEDICATED RECEPTACLE REFRIGERATOR RECEPTACLE DISHWASHER RECEPTACLE MICROWAVE RECEPTACLE GARBAGE DISPOSAL RECEPTACLE GROUND-FAULT CIRCUIT INTERRUPTER WALL MOUNTED FIXTURE SUSPENDED GYPSUM WALL BOARD CEILING OR SOFFIT GWB BELOW FAN COIL UNITS	NO DROPPED CEILING (WADE) DROP CEILING 8'-0" A.F.F. DROP CEILING 8'-6" A.F.F. DROP CEILING 9'-2" A.F.F. DROP CEILING 9'-8 3/4" A.F.F. DROP CEILING 10'-0" A.F.F. DROP CEILING 10'-6" A.F.F. DROP CEILING 12'-0" A.F.F. DROP CEILING 13'-0" A.F.F. DROP CEILING 14'-0" A.F.F. DROP CEILING 15'-0" A.F.F. DROP CEILING 17'-0" A.F.F.	2' X 2' DROPPED CEILING TILES 11-1/4" A.F.F. LOBBY CEILING ONLY T.O.S. to U.O.S. = 21'-2" T.F.F. to U.O.S. = 20'-11" T.F.F. to FIN. CLG. = 19'-0" LINEAR CEILING FLOW BAR (SEE MECH. DWSG FOR ADDITIONAL INFORMATION) LINEAR SIDEWALL FLOW BAR (SEE MECH. DWSG FOR ADDITIONAL INFORMATION) EXTERIOR WINDOW SHADES MICROLINE RECESSED STEP ONE WAY SPEAKER DEVICE	RECESSED DOWNLIGHT AMENITY (DIMMING) RECESSED DOWNLIGHT RESIDENTIAL RECESSED DOWNLIGHT PANTRY LIGHT FIXTURE FOR CLOSET RECESSED DOWNLIGHT BATHROOM POINT LIGHT FIXTURE RECESSED DOWNLIGHT CORRIDOR COVE LIGHT FIXTURE - CORRIDOR COVE LIGHT FIXTURE - BATHROOM COVE LIGHT FIXTURE - LOBBY/AMENITY COVE LIGHT FIXTURE - ELEVATOR EXTERIOR WALL MOUNTED FIXTURE LIGHT FIXTURE-11 UPLIGHT OVER KITCHEN CABINET UNDERCOUNTER LIGHT IN KITCHEN LIGHT BELOW MIRROR VERTICAL LIGHT BESIDE MIRROR VANITY NIGHTLIGHT SURFACE MOUNTED LINEAR FIXTURE 4" SURFACE OR PENDANT MOUNTED FLUORESCENT WALL MOUNTED FIXTURE LINEAR FLUORESCENT BACKLIGHT LINEAR LED STRIP LIGHT AUTOMATIC SMOKE DETECTION ALARM ACTUATING DEVICE T" - FLUSH 1" - SEMI-FLUSH 1/2" - SURFACE 3/4" - IN DUCT 2' X 2' LIGHTING FIXTURE EXTERIOR GROUND MOUNTED UPLIGHT TRIMLESS WALLWASHER JUNCTION BOX 2' X 4' RADIANT CEILING PANEL
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MECH FLOOR PLAN LEVEL 26 RCP
SCALE 1/4" = 1'-0"

FLOOR LOCATION DIAGRAM
SCALE 1/32" = 1'-0"



CORRIDOR
3 X LT-08 = 60W (20W PER FIX)
44' X LT-9 = 132W (3W PER FOOT)
2 X LT-24 = 40W (20W PER FIX)
2 X LT-20 = 58W (29W PER FIX)

TOTAL WATT = 290W
TOTAL SF = 335f2

PROPOSED LPT = 290W/ 335f2 = 0.86W/f2

STAIR
2 X LT-20 = 58W (29W PER FIX)

TOTAL WATT = 58W
TOTAL SF = 240 f2
PROPOSED LPT = 58W/ 240f2 = 0.24W/f2

REFLECTED CEILING PLAN LEGEND

NOTES: THIS LEGEND IS USED AS THE MASTER LIST FOR ALL REFLECTED CEILING PLANS, AND NOT ALL SYMBOL DESIGNATIONS & NOTES ARE APPLICABLE FOR THIS PLAN. 1. PROVIDE 2 HOUR GYPSUM BOARD ENCLOSURE OVER ALL MECHANICAL OFFSETS. 2. COORDINATE WITH MECHANICAL DRAWINGS. 3. PROVIDE ACCESS PANELS AT ALL MECHANICAL ELECTRICAL AND PLUMBING POINTS FOR SERVICE. (SEE M.E.P. DRAWINGS). 4. REFER TO ELECTRICAL LIGHTING DESIGN DRAWING FOR POWER SUPPLIES & SPECIFICATIONS. 5. ALL VISIBLE ACCESS PANEL INSIDE THE UNIT SHALL BE TIMELESS SQUARE-EDGED GFRG ACCESS PANEL.	SPRINKLER WALL MOUNTED SPRINKLER SW DECOORATIVE PENDANT CEILING HEIGHT DESIGNATION HEAT PUMP SMOKE / CARBON MONOXIDE DETECTOR WALL MOUNTED SMOKE / CARBON MONOXIDE DETECTOR (FT BELOW F.C.) RETURN AIR GRILL SUPPLY DIFFUSER 12"X12" ACCESS PANEL	BATHROOM EXHAUST GRILLE 8"X8" CEILING REGISTER 12"X12" CEILING REGISTER WALL BOX TYPE COMBINATION OCC. SENSOR AND SWITCH CEILING MOUNT DUAL TECHNOLOGY OCC. SENSOR AUTOMATIC GAS DETECTION ALARM ACTUATING DEVICE 1" - REMOTE LAMP 30" - EXPLOSION PROOF 78" - ELEVATOR RECALL 1"CO" - COMBINATION HEAT / CO DETECTOR WALL MOUNTED GLASS EXIT SIGN WALL MOUNTED GLASS EXIT SIGN	CEILING MOUNTED TRANSFORMER APARTMENT ELECTRIC PANEL APARTMENT IT PANEL SWITCH (TWO WAY) SWITCH (THREE WAY) SWITCH (DIMMER) DATA DATA TELEVISION DATA TELEPHONE MOTORIZED SHADE INTERCOM	CEILING MOUNTED FIXTURE SWITCHEX RECEPTACLE DUPLEX RECEPTACLE (DEDICATED) REFRIGERATOR RECEPTACLE DISHWASHER RECEPTACLE MICROWAVE RECEPTACLE GARBAGE DISPOSAL RECEPTACLE GROUND-FAULT CIRCUIT INTERRUPTER WALL MOUNTED FIXTURE FIRE SHUTTER	NO DROPPED CEILING (KADEX) 2 HR. CEILING (STAIRS) SUSPENDED GYPSUM WALL BOARD CEILING OR SOFFIT GWB (CEILING IN 2 LAYERS OF GWB BELOW FAN COIL UNITS) 2" X 2" DROPPED CEILING TILES LINEAR CEILING DIFFUSER (SEE MECH. DWGS FOR ADDITIONAL INFORMATION) SUPPLY GRILLE (SEE MECH. DWGS FOR ADDITIONAL INFORMATION) 18"X6" CEILING MOUNTED SUPPLY GRILLE (SEE MECH. DWGS FOR ADDITIONAL INFORMATION)	EXTERIOR WINDOW SHADES MOCKLINE RECESSED STEP SPRINKLER ONLY AIRSPACE WP-WEATHERPROOF RECESSED DOWNLIGHT AMENITY (DIMMING) RECESSED DOWNLIGHT RESIDENTIAL RECESSED DOWNLIGHT PANTRY LIGHT FIXTURE FOR CLOSET RECESSED DOWNLIGHT BATHROOM	POINT LIGHT FIXTURE RECESSED DOWNLIGHT CORRIDOR COVE LIGHT FIXTURE - CORRIDOR COVE LIGHT FIXTURE - BATHROOM COVE LIGHT FIXTURE - LOBBY/AMENITY COVE LIGHT FIXTURE - ELEVATOR EXTERIOR WALL MOUNTED FIXTURE LIGHT FIXTURE-11 UPLIGHT OVER KITCHEN CABINET	UNDERCOUNTER LIGHT IN KITCHEN LIGHT BELOW MIRROR VERTICAL LIGHT BESIDE MIRROR VANITY NIGHTLIGHT SURFACE MOUNTED LINEAR FIXTURE WALL MOUNTED LINEAR FIXTURE 4" SURFACE OR PENDANT MOUNTED FLUORESCENT WALL MOUNTED FIXTURE LINEAR FLUORESCENT BACKLIGHT LINEAR LED STRIP LIGHT	2" X 2" LIGHTING FIXTURE EXTERIOR GROUND MOUNTED UPLIGHT LINEAR LED STRIP LIGHT TRIMLESS WALLWASHER JUNCTION BOX THERMOSTAT THERMOSTAT FOR RADIANT HEAT MAT SMOKE DETECTOR ELEVATOR ELEVATOR HEAT DETECTOR
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RESIDENTIAL FLOOR PLAN LEVEL 28-34 RCP
SCALE 1/4" = 1'-0"

FLOOR LOCATION DIAGRAM
SCALE 1/32" = 1'-0"

CORRIDOR
3 X LT-08 = 60W (20W PER FIX)
44' X LT-9 = 132W (3W PER FOOT)
2 X LT-24 = 40W (20W PER FIX)
2 X LT-20 = 58W (29W PER FIX)

TOTAL WATT = 290W
TOTAL SF = 335f2

PROPOSED LPT = 290W/ 335f2 = 0.86W/f2

STAIR

2 X LT-20 = 58W (29W PER FIX)

TOTAL WATT = 58W
TOTAL SF = 240 f2

PROPOSED LPT = 58W/ 240f2 = 0.24W/f2

REFLECTED CEILING PLAN LEGEND

NOTES: THIS LEGEND IS USED AS THE MASTER LIST FOR ALL REFLECTED CEILING PLANS, AND NOT ALL SYMBOL DESIGNATIONS & NOTES ARE APPLICABLE FOR THIS PLAN. 1. PROVIDE 2 HOUR GYPSUM BOARD ENCLOSURE OVER ALL MECHANICAL OFFSETS. 2. PROVIDE ACCESS PANELS AT ALL MECHANICAL ELECTRICAL AND LIGHTING POINTS FOR SERVICE. (SEE M.E.P. DRAWINGS). 3. REFER TO ELECTRICAL AND LIGHTING DESIGN DRAWING FOR POWER SUPPLIES & SPECIFICATIONS. 4. ALL VISIBLE ACCESS PANEL INSIDE THE UNIT SHALL BE TIMELESS SQUARE-DEGGED GFRG ACCESS PANEL.	SPRINKLER WALL MOUNTED SPRINKLER 50W DECORATIVE PENDANT CEILING HEIGHT DESIGNATION HEAT PUMP SMOKE / CARBON MONOXIDE DETECTOR WALL MOUNTED SMOKE / CARBON MONOXIDE DETECTOR (PT BELOW F.C.) RETURN AIR GRILL SUPPLY DIFFUSER 12"X12" ACCESS PANEL	BATHROOM EXHAUST GRILLE 12"X12" CEILING REGISTER WALL BOX TYPE COMBINATION OCC. SENSOR AND SWITCH CEILING MOUNT DUAL TECHNOLOGY OCC. SENSOR AUTOMATIC HEAT DETECTION ALARM ACTUATING DEVICE 1" - REMOTE LAMP 30" - EXPLOSION PROOF 16" - ELEVATOR RECALL 100" - COMBINATION HEAT / CO DETECTOR CEILING MOUNTED GLASS EXIT SIGN WALL MOUNTED GLASS EXIT SIGN	CEILING MOUNTED TRANSFORMER APARTMENT ELECTRIC PANEL APARTMENT IT PANEL SWITCH SWITCH (TWO WAY) SWITCH (THREE WAY) SWITCH (DIMMER) DATA DATA TELEVISION DATA TELEPHONE MOTORIZED SHADE INTERCOM	CEILING MOUNTED FIXTURE DUPLX RECEPTACLE SWITCHED RECEPTACLE DUPLX RECEPTACLE (DEDICATED) REFRIGERATOR RECEPTACLE DISHWASHER RECEPTACLE MICROWAVE RECEPTACLE GARBAGE DISPOSAL RECEPTACLE GROUND-FAULT CIRCUIT INTERRUPTER WALL MOUNTED FIXTURE FIRE SHUTTER	NO DROPPED CEILING (KDEX) 2 HR. CEILING (STAIRS) SUSPENDED GYPSUM WALL BOARD CEILING OR SOFFIT GWB CEILING IN 10' LAYERS OF GWB BELOW FAN COIL UNITS 2' X 2' DROPPED CEILING TILES LINEAR CEILING DIFFUSER SUPPLY GRILLE (SEE MECH. DWGS FOR ADDITIONAL INFORMATION) 18"X6" CEILING MOUNTED SUPPLY GRILLE (SEE MECH. DWGS FOR ADDITIONAL INFORMATION)	EXTERIOR WINDOW SHADES MCKINLEY RECESSED STEP SPRINKER ONLY APPLIANCE WP-WEATHERPROOF RECESSED DOWNLIGHT AMENITY (DAMMING) RECESSED DOWNLIGHT AMENITY (DAMMING) RECESSED DOWNLIGHT RESIDENTIAL RECESSED DOWNLIGHT PANTRY LIGHT FIXTURE FOR CLOSET RECESSED DOWNLIGHT BATHROOM	POINT LIGHT FIXTURE RECESSED DOWNLIGHT CORRIDOR COVE LIGHT FIXTURE - CORRIDOR COVE LIGHT FIXTURE - BATHROOM COVE LIGHT FIXTURE - LOBBY/AMENITY COVE LIGHT FIXTURE - ELEVATOR EXTERIOR WALL MOUNTED FIXTURE LIGHT FIXTURE-11 UPLIGHT OVER KITCHEN CABINET	UNDERCOUNTER LIGHT IN KITCHEN LIGHT BELOW MIRROR VERTICAL LIGHT BESIDE MIRROR VANITY NIGHTLIGHT SURFACE MOUNTED LINEAR FIXTURE WALL MOUNTED LINEAR FIXTURE 4" SURFACE OR PENDANT MOUNTED FLUORESCENT WALL MOUNTED FIXTURE LINEAR FLUORESCENT BACKLIGHT LINEAR LED STRIP LIGHT	2' X 2' LIGHTING FIXTURE EXTERIOR GROUND MOUNTED UPLIGHT LINEAR LED STRIP LIGHT TRIMLESS WALLWASHER JUNCTION BOX THERMOSTAT THERMOSTAT FOR RADIANT HEAT MAT SMOKE DETECTOR ELEVATOR ELEVATOR HEAT DETECTOR
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CORRIDOR
3 X LT-08 = 60W (20W PER FIX)
44' X LT-9 = 132W (3W PER FOOT)
2 X LT-20 = 58W (29W PER FIX)

TOTAL WATT = 250W
TOTAL SF = 280ft2

PROPOSED LPT = 250W/ 280ft2 = 0.89W/ft2

STAIR
2 X LT-20 = 58W (29W PER FIX)

TOTAL WATT = 58W
TOTAL SF = 240 ft2
PROPOSED LPT = 58W/ 240ft2 = 0.24W/ft2

REFLECTED CEILING PLAN LEGEND

NOTES: THIS LEGEND IS USED AS THE MASTER LIST FOR ALL REFLECTED CEILING PLANS, AND NOT ALL SYMBOL DESIGNATIONS & NOTES ARE APPLICABLE FOR THIS PLAN. 1. PROVIDE 2 HOUR GYPSUM BOARD ENCLOSURE OVER ALL MECHANICAL OFFSETS. 2. COORDINATE WITH MECHANICAL DRAWINGS. PROVIDE ACCESS PANELS AT ALL MECHANICAL ELECTRICAL AND PIPING POINTS FOR SERVICE. (SEE M.E.P. DRAWINGS). 3. REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE SCHEDULE. 4. REFER TO ELECTRICAL LIGHTING DESIGN DRAWING FOR POWER SUPPLIES & SPECIFICATIONS. 5. ALL VISIBLE ACCESS PANEL INSIDE THE UNIT SHALL BE TIMELESS SQUARE-EDGED GFRG ACCESS PANEL.	SPRINKLER WALL MOUNTED SPRINKLER 8"X8" DECORATIVE PENDANT CEILING HEIGHT DESIGNATION HEAT PUMP SMOKE / CARBON MONOXIDE DETECTOR WALL MOUNTED SMOKE / CARBON MONOXIDE DETECTOR (PT BELOW F.C.) RETURN AIR GRILL SUPPLY AIR OFFSEER 12"X12" ACCESS PANEL	BATHROOM EXHAUST GRILLE 12"X12" CEILING REGISTER WALL BOX TYPE COMBINATION OCC. SENSOR AND SWITCH CEILING MOUNT DUAL TECHNOLOGY OCC. SENSOR AUTOMATIC HEAT DETECTION ALARM ACTUATING DEVICE 1" - REMOTE LAMP 30" - EXPLOSION PROOF 70" - ELEVATOR RECALL 120" - COMBINATION HEAT / CO DETECTOR CEILING MOUNTED GLASS EXT. SIGN WALL MOUNTED GLASS EXT. SIGN	CEILING MOUNTED TRANSFORMER APARTMENT ELECTRIC PANEL APARTMENT IT PANEL SWITCH SWITCH (TWO WAY) SWITCH (THREE WAY) SWITCH (DIMMER) DATA DATA TELEVISION DATA TELEPHONE MOTORIZED SHADE INTERCOM	CEILING MOUNTED FIXTURE DUPLEX RECEPTACLE SWITCHED RECEPTACLE REFRIGERATOR RECEPTACLE DISHWASHER RECEPTACLE MICROWAVE RECEPTACLE GARBAGE DISPOSAL RECEPTACLE GROUND-FAULT CIRCUIT INTERRUPTER WALL MOUNTED FIXTURE FIRE SHUTTER	NO DROPPED CEILING (KADEX) 2 HR. CEILING (STAIRS) SUSPENDED GYPSUM WALL BOARD CEILING OR SOFFIT GWB CEILING IN 40' LAYERS OF GWB BELOW FAN COIL UNITS 2' X 2' DROPPED CEILING TILES LINEAR CEILING DIFFUSER (SEE MECH. DWGS FOR ADDITIONAL INFORMATION) LINEAR WALL DIFFUSER (SEE MECH. DWGS FOR ADDITIONAL INFORMATION) 18"X6" CEILING MOUNTED SUPPLY GRILLE (SEE MECH. DWGS FOR ADDITIONAL INFORMATION)	EXTERIOR WINDOW SHADES MOCKLINE RECESSED STEP SPRINKLER ONLY APPLIANCE WP-WEATHERPROOF RECESSED DOWNLIGHT AMENITY (DIMMING) RECESSED DOWNLIGHT AMENITY (DIMMING) RECESSED DOWNLIGHT RESIDENTIAL RECESSED DOWNLIGHT PANTRY LIGHT FIXTURE FOR CLOSET RECESSED DOWNLIGHT BATHROOM	POINT LIGHT FIXTURE RECESSED DOWNLIGHT CORRIDOR COVE LIGHT FIXTURE - CORRIDOR COVE LIGHT FIXTURE - BATHROOM COVE LIGHT FIXTURE - LOBBY/AMENITY COVE LIGHT FIXTURE - ELEVATOR EXTERIOR WALL MOUNTED FIXTURE LIGHT FIXTURE-11 UPLIGHT OVER KITCHEN CABINET	UNDERCOUNTER LIGHT IN KITCHEN LIGHT BELOW MIRROR VERTICAL LIGHT BESIDE MIRROR VANITY NIGHTLIGHT SURFACE MOUNTED LINEAR FIXTURE WALL MOUNTED LINEAR FIXTURE 4" SURFACE OR PENDANT MOUNTED FLUORESCENT WALL MOUNTED FIXTURE LINEAR FLUORESCENT BACKLIGHT LINEAR LED STRIP LIGHT	2' X 2' LIGHTING FIXTURE EXTERIOR GROUND MOUNTED UPLIGHT LINEAR LED STRIP LIGHT TRAILLESS WALLWASHER JUNCTION BOX THERMOSTAT THERMOSTAT FOR RADIANT HEAT MAT SMOKE DETECTOR ELEVATOR ELEVATOR HEAT DETECTOR
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CORRIDOR
3 X LT-08 = 60W (20W PER FIX)
44' X LT-9 = 132W (3W PER FOOT)
2 X LT-20 = 58W (29W PER FIX)

TOTAL WATT = 250W
TOTAL SF = 280f2

PROPOSED LPT = 250W/ 280f2 = 0.89W/f2

STAIR
2 X LT-20 = 58W (29W PER FIX)

TOTAL WATT = 58W
TOTAL SF = 240 f2
PROPOSED LPT = 58W/ 240f2 = 0.24W/f2

REFLECTED CEILING PLAN LEGEND

NOTES: THIS LEGEND IS USED AS THE MASTER LIST FOR ALL REFLECTED CEILING PLANS, AND NOT ALL SYMBOL DESIGNATIONS & NOTES ARE APPLICABLE FOR THIS PLAN.	SPRINKLER WALL MOUNTED SPRINKLER SWW DECORATIVE PENDANT CEILING HEIGHT DESIGNATION HEAT PUMP SMOKE / CARBON MONOXIDE DETECTOR WALL MOUNTED SMOKE / CARBON MONOXIDE DETECTOR (PT BELOW F.C.) RETURN AIR GRILL SUPPLY DIFFUSER 12"X12" ACCESS PANEL	BATHROOM EXHAUST GRILLE 8"X8" CEILING REGISTER 12"X12" CEILING REGISTER WALL BOX TYPE COMBINATION OCC. SENSOR AND SWITCH CEILING MOUNT DUAL TECHNOLOGY OCC. SENSOR AUTOMATIC MOUNT DETECTION ALARM ACTUATING DEVICE 1" - REMOTE LAMP 30" - EXPLOSION PROOF 16" - COMBINATION HEAT / CO DETECTOR CEILING MOUNTED GLASS EXIT SIGN WALL MOUNTED GLASS EXIT SIGN	CEILING MOUNTED TRANSFORMER APARTMENT ELECTRIC PANEL APARTMENT IT PANEL SWITCH SWITCH (TWO WAY) SWITCH (THREE WAY) SWITCH (DIMMER) DATA DATA TELEVISION DATA TELEPHONE DATA TELEPHONE SHADE INTERCOM	CEILING MOUNTED FIXTURE DUPLEX RECEPTACLE DUPLEX RECEPTACLE (DEDICATED) REFRIGERATOR RECEPTACLE DISHWASHER RECEPTACLE MICROWAVE RECEPTACLE GARBAGE DISPOSAL RECEPTACLE GROUND-FAULT CIRCUIT INTERRUPTER WALL MOUNTED FIXTURE FIRE SHUTTER	NO DROPPED CEILING (KADEX) 2 HR. CEILING (STAIRS) SUSPENDED GYPSUM WALL BOARD CEILING OR SOFFIT GWB CEILING IN 2 LAYERS OF GWB BELOW FAN COIL UNITS 2" X 2" DROPPED CEILING TILES LINEAR CEILING DIFFUSER (SEE MECH. DWGS FOR ADDITIONAL INFORMATION) LINEAR WALL DIFFUSER (SEE MECH. DWGS FOR ADDITIONAL INFORMATION) 18"X6" CEILING MOUNTED SUPPLY GRILLE (SEE MECH. DWGS FOR ADDITIONAL INFORMATION)	EXTERIOR WINDOW SHADES MOCKLINE RECESSED STEP SPRINKER ONLY SPRING WP-WEATHERPROOF RECESSED DOWNLIGHT AMENITY (DIMMING) RECESSED DOWNLIGHT AMENITY (DIMMING) RECESSED DOWNLIGHT RESIDENTIAL RECESSED DOWNLIGHT PANTRY LIGHT FIXTURE FOR CLOSET RECESSED DOWNLIGHT BATHROOM	POINT LIGHT FIXTURE RECESSED DOWNLIGHT CORRIDOR COVE LIGHT FIXTURE - CORRIDOR COVE LIGHT FIXTURE - BATHROOM COVE LIGHT FIXTURE - LOBBY/AMENITY COVE LIGHT FIXTURE - ELEVATOR EXTERIOR WALL MOUNTED FIXTURE LIGHT FIXTURE-11 UPLIGHT OVER KITCHEN CABINET	UNDERCOUNTER LIGHT IN KITCHEN LIGHT BELOW MIRROR VERTICAL LIGHT BESIDE MIRROR VANITY NIGHTLIGHT SURFACE MOUNTED LINEAR FIXTURE WALL MOUNTED LINEAR FIXTURE 4" SURFACE OR PENDANT MOUNTED FLUORESCENT WALL MOUNTED FIXTURE LINEAR FLUORESCENT BACKLIGHT LINEAR LED STRIP LIGHT	2" X 2" LIGHTING FIXTURE EXTERIOR GROUND MOUNTED UPLIGHT LINEAR LED STRIP LIGHT TRIMLESS WALLWASHER JUNCTION BOX THERMOSTAT THERMOSTAT FOR RADIANT HEAT MAT SMOKE DETECTOR ELEVATOR ELEVATOR HEAT DETECTOR
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CORRIDOR
3 X LT-08 = 60W (20W PER FIX)
44' X LT-9 = 132W (3W PER FOOT)
2 X LT-20 = 58W (29W PER FIX)

TOTAL WATT = 250W
TOTAL SF = 280f2

PROPOSED LPT = 250W/ 280f2 = 0.89W/f2

STAIR
2 X LT-20 = 58W (29W PER FIX)

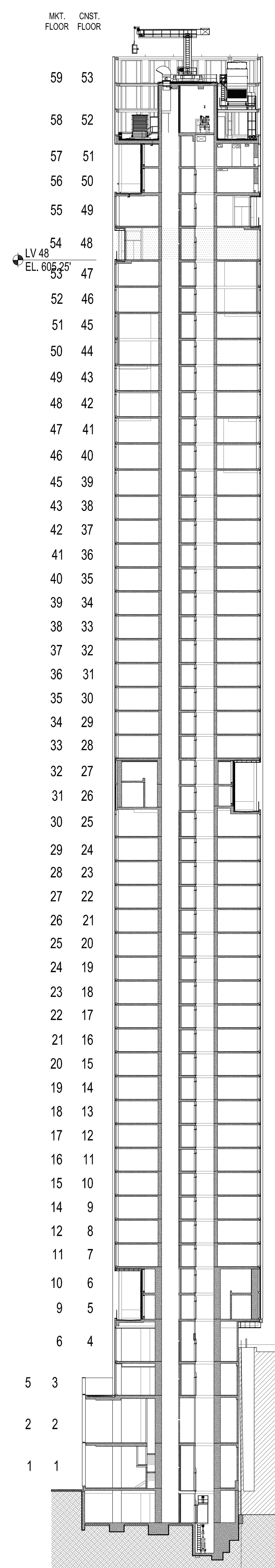
TOTAL WATT = 58W
TOTAL SF = 240 f2
PROPOSED LPT = 58W/ 240f2 = 0.24W/f2

REFLECTED CEILING PLAN LEGEND

<p>NOTES:</p> <p>THIS LEGEND IS USED AS THE MASTER LIST FOR ALL REFLECTED CEILING PLANS AND NOT ALL SYMBOL DESIGNATIONS & NOTES ARE APPLICABLE FOR THIS PLAN.</p> <p>1. PROVIDE 2 HOUR GYPSUM BOARD ENCLOSURE OVER ALL MECHANICAL OFFSETS. COORDINATE WITH MECHANICAL DRAWINGS.</p> <p>2. PROVIDE ACCESS PANELS AT ALL MECHANICAL ELECTRICAL AND PLUMBING POINTS FOR SERVICE. (SEE M.E.P. DRAWINGS) REFER TO ELECTRICAL & LIGHTING DESIGN DRAWING FOR POWER SUPPLIES & SPECIFICATIONS.</p> <p>3. ALL VISIBLE ACCESS PANEL INSIDE THE UNIT SHALL BE TIMELESS SQUARE-EDGED GFRG ACCESS PANEL.</p>	<p>SPRINKLER</p> <p>WALL MOUNTED SPRINKLER</p> <p>50W DECORATIVE PENDANT</p> <p>CEILING HEIGHT DESIGNATION</p> <p>HEAT PUMP</p> <p>SMOKE CARBON MONOXIDE DETECTOR</p> <p>WALL MOUNTED SMOKE CARBON MONOXIDE DETECTOR (PT BELOW F.C.)</p> <p>RETURN AIR GRILL</p> <p>SUPPLY DIFFUSER</p> <p>12"X12" ACCESS PANEL</p>	<p>BATHROOM EXHAUST GRILLE</p> <p>8"X8" CEILING REGISTER</p> <p>12"X12" CEILING REGISTER</p> <p>WALL BOX TYPE COMBINATION OCC. SENSOR AND SWITCH</p> <p>CEILING MOUNT DUAL TECHNOLOGY OCC. SENSOR</p> <p>AUTOMATIC HEAT DETECTION ALARM ACTUATING DEVICE</p> <p>"T" - RADICL LAMP</p> <p>"JP" - EXPLOSION PROOF</p> <p>"E" - ELEVATOR HEAD</p> <p>"CO" - COMBINATION HEAT/CO DETECTOR</p> <p>CEILING MOUNTED GLASS EXIT SIGN</p> <p>WALL MOUNTED GLASS EXIT SIGN</p>	<p>CEILING MOUNTED TRANSFORMER</p> <p>APARTMENT ELECTRIC PANEL</p> <p>APARTMENT IT PANEL</p> <p>SWITCH</p> <p>SWITCH (TWO WAY)</p> <p>SWITCH (THREE WAY)</p> <p>SWITCH (DIMMER)</p> <p>DATA</p> <p>DATA TELEVISION</p> <p>DATA TELEPHONE</p> <p>MOTORIZED SHADE</p> <p>INTERCOM</p>	<p>CEILING MOUNTED FIXTURE</p> <p>DUPLEX RECEPTACLE</p> <p>SWITCHED RECEPTACLE</p> <p>DUPLEX RECEPTACLE (DEDICATED)</p> <p>REFRIGERATOR RECEPTACLE</p> <p>DISHWASHER RECEPTACLE</p> <p>MICROWAVE RECEPTACLE</p> <p>GARBAGE DISPOSAL RECEPTACLE</p> <p>GROUND-FAULT CIRCUIT INTERRUPTER</p> <p>WALL MOUNTED FIXTURE</p> <p>FIRE SHUTTER</p>	<p>NO DROPPED CEILING (KDEX)</p> <p>2 HR. CEILING (STAIRS)</p> <p>SUSPENDED GYPSUM WALL BOARD CEILING OR SOFFIT ONE (SEE MECH. DWGS FOR ADDITIONAL INFORMATION.)</p> <p>2" X 2" DROPPED CEILING TILES</p> <p>LINEAR CEILING DIFFUSER (SEE MECH. DWGS FOR ADDITIONAL INFORMATION.)</p> <p>LINEAR WALL DIFFUSER (SEE MECH. DWGS FOR ADDITIONAL INFORMATION.)</p> <p>18"X6" CEILING MOUNTED SUPPLY GRILLE (SEE MECH. DWGS FOR ADDITIONAL INFORMATION.)</p>	<p>EXTERIOR WINDOW SHADES</p> <p>MICROLINE RECESSED STEP</p> <p>SPEAKER ONLY APPLIANCE WR-WEATHERPROOF</p> <p>RECESSED DOWNLIGHT AMENITY (DIMMING)</p> <p>RECESSED DOWNLIGHT RESIDENTIAL</p> <p>RECESSED DOWNLIGHT PANTRY</p> <p>POINT LIGHT FIXTURE</p> <p>RECESSED DOWNLIGHT CORRIDOR</p> <p>COVE LIGHT FIXTURE - CORRIDOR</p> <p>COVE LIGHT FIXTURE - BATHROOM</p> <p>COVE LIGHT FIXTURE - LOBBY/AMENITY</p> <p>COVE LIGHT FIXTURE - ELEVATOR</p> <p>EXTERIOR WALL MOUNTED FIXTURE</p> <p>LIGHT FIXTURE-11</p> <p>UPLIGHT OVER KITCHEN CABINET</p> <p>RECESSED DOWNLIGHT BATHROOM</p>	<p>UNDERCOUNTER LIGHT IN KITCHEN</p> <p>LIGHT BELOW MIRROR</p> <p>VERTICAL LIGHT BESIDE MIRROR</p> <p>VANITY NIGHTLIGHT</p> <p>SURFACE MOUNTED LINEAR FIXTURE</p> <p>WALL MOUNTED LINEAR FIXTURE</p> <p>4" SURFACE OR PENDANT MOUNTED FLUORESCENT</p> <p>WALL MOUNTED FIXTURE</p> <p>LINEAR FLUORESCENT BACKLIGHT</p> <p>LINEAR LED STRIP LIGHT</p>	<p>2' x 2' LIGHTING FIXTURE</p> <p>EXTERIOR GROUND MOUNTED UPLIGHT</p> <p>LINEAR LED STRIP LIGHT</p> <p>TRIMLESS WALLWASHER</p> <p>JUNCTION BOX</p> <p>THERMOSTAT</p> <p>THERMOSTAT FOR RADIANT HEAT MAT</p> <p>SMOKE DETECTOR</p> <p>ELEVATOR ELEVATOR RELATED DEVICE</p> <p>HEAT DETECTOR</p>
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PENTHOUSE FLOOR PLAN LEVEL 48
SCALE 1/4" = 1'-0"

FLOOR LOCATION DIAGRAM
SCALE 1/32" = 1'-0"



OWNER:
VICTOR NOMAD LLC

CONSTRUCTION MANAGER:
LEND LEASE
200 PARK AVENUE, 9TH FLOOR
NEW YORK, NY 10166
TEL: 212 592 6700

ARCHITECT:
RAFAEL VINOLY ARCHITECTS PC
50 VANDAM STREET
NEW YORK, NY 10013
TEL: 212 924 5060 FAX: 212 924 5858

STRUCTURAL ENGINEER:
WSP PARSONS BRINCKERHOFF
ONE PENN PLAZA, 4TH FLOOR
NEW YORK, NY 10119
TEL: 212 687 9888

MEP/FP/IT ENGINEER:
MGE ENGINEERING
116 WEST 32ND STREET, 12TH FLOOR
NEW YORK, NY 10001
TEL: 212 643 9055

GEOTECH CIVIL ENGINEER:
LANGAN ENGINEERING
300 KIMBALL DRIVE, 4TH FLOOR
PARSIPPANY, NJ 07054
TEL: 973 560 4900

VERTICAL TRANSPORT CONSULTANT:
VIDARIS, INC.
120 EAGLE ROCK AVENUE, SUITE 310
EAST HANOVER, NJ 07936
TEL: 973 994 9220

ENCLOSURE CONSULTANT:
VAN DEUSEN & ASSOCIATES
360 PARK AVENUE SOUTH, 15TH FLOOR
NEW YORK, NY 10010
TEL: 212 689 5389

FACADE MAINTENANCE CONSULTANT:
ENTEK ENGINEERING LLC
166 AMES STREET
HACKENSACK, NJ 07601
TEL: 201 820 2801

ACOUSTICAL CONSULTANT:
CERAMI & ASSOCIATES
404 FIFTH AVENUE
NEW YORK, NY 10018
TEL: 212 616 4179

LIGHTING CONSULTANT:
ONE LUX STUDIO
158 WEST 29TH STREET, 10TH FLOOR
NEW YORK, NY 10001
TEL: 212 201 5790

SPECIFICATIONS CONSULTANT:
ROBERT SCHWARTZ & ASSOCIATES
589 EIGHTH AVENUE, 17TH FLOOR
NEW YORK, NY 10018
TEL: 212 691 3248

ENERGY MODELING CONSULTANT:
STEVEN WINTER ASSOCIATES, INC
307 SEVENTH AVENUE, SUITE 1701
NEW YORK, NY 10001
TEL: 212 564 5800

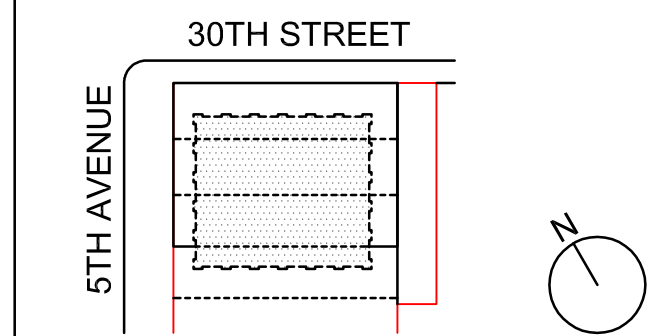
INTERIOR DESIGN CONSULTANT:
BEERS INTERIORS
156 5TH AVENUE, PENTHOUSE 2
NEW YORK, NY 10010
TEL: 212 352 2020

NYC DEPT. OF BUILDINGS
PAA #2

ARCHITECT'S SEAL

Areg Asatryan, RA
U. Asatryan
APPROVED
Under Directive 2 of 1995
DATE: 04/19/2018
NYC Development Hub

09/08/2017	PAA #2
02/24/2017	PAA #1
04/08/2016	DOB SUBMITTAL
01/18/2016	FOUNDATION BID
12/23/2015	SCHEMATIC DESIGN
ISSUE NO.	DATE DESCRIPTION



KEY PLAN AND NORTH SIGN
IF THIS DRAWING IS NOT 42" X 30" IT IS
A REDUCED PRINT;
REFER TO GRAPHIC SCALE

SCALE 1/4" = 1'-0"

PENTHOUSE
FLOOR PLAN RCP
LEVEL 49

SHEET TITLE:

A-616.02

SHEET NUMBER:

CORRIDOR
3 X LT-08 = 60W (20W PER FIX)
44' X LT-9 = 132W (3W PER FOOT)
2 X LT-20 = 58W (29W PER FIX)

TOTAL WATT = 250W
TOTAL SF = 280ft2

PROPOSED LPT = 250W/ 280ft2 = 0.89W/ft2

STAIR
2 X LT-20 = 58W (29W PER FIX)

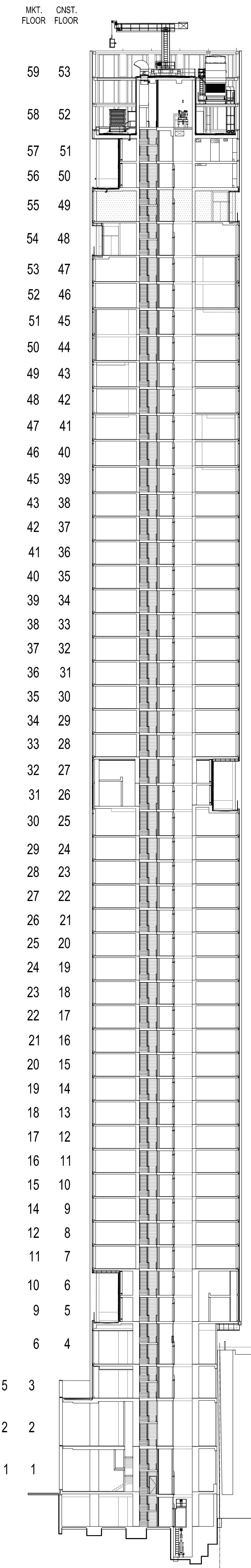
TOTAL WATT = 58W
TOTAL SF = 240 ft2
PROPOSED LPT = 58W/ 240ft2 = 0.24W/ft2

REFLECTED CEILING PLAN LEGEND

<p>NOTES: THIS LEGEND IS USED AS THE MASTER LIST FOR ALL REFLECTED CEILING PLANS, AND NOT ALL SYMBOL DESIGNATIONS & NOTES ARE APPLICABLE FOR THIS PLAN.</p> <ol style="list-style-type: none"> PROVIDE 2 HOUR GYPSUM BOARD ENCLOSURE OVER ALL MECHANICAL OFFSETS. COORDINATE WITH MECHANICAL DRAWINGS. PROVIDE ACCESS PANELS AT ALL MECHANICAL ELECTRICAL AND PIPING POINTS FOR SERVICE. (SEE M.E.P. DRAWINGS). REFER TO ELECTRICAL AND LIGHTING DESIGN DRAWING FOR POWER SUPPLIES & SPECIFICATIONS. ALL VISIBLE ACCESS PANEL INSIDE THE UNIT SHALL BE TIMELESS SQUARE-EDGED GFRG ACCESS PANEL. 	<p>SPRINKLER WALL MOUNTED SPRINKLER 5W DECORATIVE PENDANT CEILING HEIGHT DESIGNATION HEAT PUMP SMOKE / CARBON MONOXIDE DETECTOR WALL MOUNTED SMOKE / CARBON MONOXIDE DETECTOR (PT BELOW F.C.) RETURN AIR GRILL SUPPLY DIFFUSER 12"X12" ACCESS PANEL</p>	<p>BATHROOM EXHAUST GRILLE 12"X12" CEILING REGISTER WALL BOX TYPE COMBINATION OCC. SENSOR AND SWITCH CEILING MOUNT DUAL TECHNOLOGY OCC. SENSOR AUTOMATIC HEAT DETECTION ALARM ACTUATING DEVICE 1" - REMOTE LAMP 30" - EXPLOSION PROOF 78" - ELEVATOR RECALL 1"00" - COMBINATION HEAT / CO DETECTOR CEILING MOUNTED GLASS EXT. SIGN WALL MOUNTED GLASS EXT. SIGN</p>	<p>CEILING MOUNTED TRANSFORMER APARTMENT ELECTRIC PANEL APARTMENT IT PANEL SWITCH SWITCH (TWO WAY) SWITCH (THREE WAY) SWITCH (DIMMER) DATA DATA TELEVISION DATA TELEPHONE MOTORIZED SHADE INTERCOM</p>	<p>CEILING MOUNTED FIXTURE NO DROPPED CEILING (KADEX) 2 HR. CEILING (STAIRS) SUSPENDED GYPSUM WALL BOARD CEILING OR SOFFIT GWB CEILING IN 10' STAIRS OF GWB BELOW FAN COIL UNITS 2" X 2" DROPPED CEILING TILES LINEAR CEILING DIFFUSER (SEE MECH. DWGS FOR ADDITIONAL INFORMATION) SUPPLY GRILLE (SEE MECH. DWGS FOR ADDITIONAL INFORMATION) 18"X6" CEILING MOUNTED SUPPLY GRILLE (SEE MECH. DWGS FOR ADDITIONAL INFORMATION)</p>	<p>EXTERIOR WINDOW SHADES MOCKLINE RECESSED STEP SPOKER ONLY SPRING WP-WEATHERPROOF RECESSED DOWNLIGHT AMENITY (DIMMING) RECESSED DOWNLIGHT RESIDENTIAL RECESSED DOWNLIGHT PANTRY LIGHT FIXTURE FOR CLOSET RECESSED DOWNLIGHT BATHROOM</p>	<p>POINT LIGHT FIXTURE RECESSED DOWNLIGHT CORRIDOR COVE LIGHT FIXTURE - CORRIDOR COVE LIGHT FIXTURE - BATHROOM COVE LIGHT FIXTURE - LOBBY/AMENITY COVE LIGHT FIXTURE - ELEVATOR EXTERIOR WALL MOUNTED FIXTURE LIGHT FIXTURE-11 UPLIGHT OVER KITCHEN CABINET</p>	<p>UNDERCOUNTER LIGHT IN KITCHEN LIGHT BELOW MIRROR VERTICAL LIGHT BESIDE MIRROR VANITY NIGHTLIGHT SURFACE MOUNTED LINEAR FIXTURE WALL MOUNTED LINEAR FIXTURE 4" SURFACE OR PENDANT MOUNTED FLUORESCENT WALL MOUNTED FIXTURE LINEAR FLUORESCENT BACKLIGHT LINEAR LED STRIP LIGHT</p>	<p>2" X 2" LIGHTING FIXTURE EXTERIOR GROUND MOUNTED UPLIGHT LINEAR LED STRIP LIGHT TRAILLESS WALLWASHER JUNCTION BOX THERMOSTAT THERMOSTAT FOR RADIANT HEAT MAT SMOKE DETECTOR ELEVATOR ELEVATOR HEAT DETECTOR</p>
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RESIDENTIAL FLOOR PLAN LEVEL 49 RCP
SCALE 1/4" = 1'-0"

FLOOR LOCATION DIAGRAM
SCALE 1/32" = 1'-0"



2016 RAFAEL VINOLY ARCHITECTS

1 2 3 4 5 6

277
Fifth Avenue
NEW YORK, NY

OWNER:
VICTOR NOMAD LLC

CONSTRUCTION MANAGER:
LEND LEASE
200 PARK AVENUE, 9TH FLOOR
NEW YORK, NY 10166
TEL: 212 592 6700

ARCHITECT :
RAFAEL VINOLY ARCHITECTS PC
50 VANDAM STREET
NEW YORK, NY 10013
TEL: 212 924 5060 FAX: 212 924 5858

STRUCTURAL ENGINEER:
WSP PARSONS BRINCKERHOFF
ONE PENN PLAZA, 4TH FLOOR
NEW YORK, NY 10119
TEL: 212 687 9888

MEP/FP/IT ENGINEER:
MGE ENGINEERING
116 WEST 32ND STREET, 12TH FLOOR
NEW YORK, NY 10001
TEL: 212 643 9055

GEOTECH CIVIL ENGINEER:
LANGAN ENGINEERING
300 KIMBALL DRIVE, 4TH FLOOR
PARSIPPANY, NJ, 07054
TEL: 973 560 4900

VERTICAL TRANSPORT, CONSULTANT:
VAN DEUSEN & ASSOCIATES
120 EAGLE ROCK AVENUE, SUITE 310
EAST HANOVER, NJ, 07936
TEL: 973 994 9220

ENCLOSURE CONSULTANT:
VIDARIS, INC.
360 PARK AVENUE SOUTH, 15TH FLOOR
NEW YORK, NY, 10010
TEL: 212 689 5389

FACADE MAINTENANCE CONSULTANT:
ENTEK ENGINEERING LLC
166 AMES STREET
HACKENSACK, NJ, 07601
TEL: 201 820 2801

ACOUSTICAL CONSULTANT:
CERAMI & ASSOCIATES
404 FIFTH AVENUE
NEW YORK, NY, 10018
TEL: 212 616 4179

LIGHTING CONSULTANT:
ONE LUX STUDIO
158 WEST 29TH STREET, 10TH FLOOR
NEW YORK, NY, 10001
TEL: 212 201 5790

SPECIFICATIONS CONSULTANT:
ROBERT SCHWARTZ & ASSOCIATES
589 EIGHTH AVENUE, 17TH FLOOR
NEW YORK, NY, 10018
TEL: 212 691 3248

ENERGY MODELING CONSULTANT:
STEVEN WINTER ASSOCIATES, INC
307 SEVENTH AVENUE, SUITE 1701
NEW YORK, NY, 10001
TEL: 212 564 5800

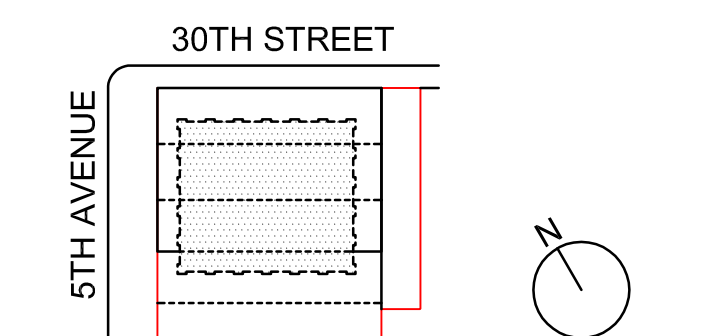
INTERIOR DESIGN CONSULTANT:
BEERS INTERIORS
156 5TH AVENUE, PENTHOUSE 2
NEW YORK, NY, 10010
TEL: 212 352 2020

NYC DEPT. OF BUILDINGS
PAA #2

ARCHITECT'S SEAL
Areg Asatryan, RA
U. Asatryan
APPROVED
Under Directive 2 of 1995
DESIGN PROFESSIONAL
Date: 04/19/2018
NYC Development Hub

09/08/2017	PAA #2
02/24/2017	PAA #1
04/08/2016	DOB SUBMITTAL
01/18/2016	FOUNDATION BID
12/23/2015	SCHEMATIC DESIGN

ISSUE NO. DATE DESCRIPTION



KEY PLAN AND NORTH SIGN
IF THIS DRAWING IS NOT 42" X 30" IT IS
A REDUCED PRINT;
REFER TO GRAPHIC SCALE

SCALE 1/4" = 1'-0"

MECHANICAL
FLOOR PLAN RCP
LEVEL 50

SHEET TITLE :

A-617.02

SHEET NUMBER :

ELECTRICAL/ MECHANICAL
26 X LT-19 = 832W (32W PER FIX)

TOTAL WATT = 832W
TOTAL SF = 2450f²
PROPOSED LPT = 832W/ 2399f² = 0.34W/f²

STAIR
2 X LT-20 = 58W (29W PER FIX)

TOTAL WATT = 58W
TOTAL SF = 240 f²
PROPOSED LPT = 58W/ 240f² = 0.24W/f²

REFLECTED CEILING PLAN LEGEND

NOTES: THIS LEGEND IS USED AS THE MASTER LIST FOR ALL REFLECTED CEILING PLANS, AND NOT ALL SYMBOL DESIGNATIONS & NOTES ARE APPLICABLE FOR THIS PLAN. 1. PROVIDE 2 HOUR GYPSUM BOARD ENCLOSURE OVER ALL MECHANICAL OFFSETS. 2. COORDINATE WITH MECHANICAL DRAWINGS. PROVIDE ACCESS PANELS AT ALL MECHANICAL ELECTRICAL AND PIPING POINTS FOR SERVICE. (SEE M.E.P. DRAWINGS). 3. REFER TO ELECTRICAL AND LIGHTING DESIGN DRAWING FOR POWER SUPPLIES & SPECIFICATIONS. 4. ALL VISIBLE ACCESS PANEL INSIDE THE UNIT SHALL BE TIMELESS SQUARE-EDGED GFRG ACCESS PANEL.	SPRINKLER WALL MOUNTED SPRINKLER SW DECORATIVE PENDANT CEILING HEIGHT DESIGNATION HP SMOKE / CARBON MONOXIDE DETECTOR WALL MOUNTED SMOKE / CARBON MONOXIDE DETECTOR (PT BELOW F.C.) RETURN AIR GRILL SUPPLY AIR DIFFUSER 12"x12" ACCESS PANEL	BATHROOM EXHAUST GRILLE 8"x8" CEILING REGISTER 12"x12" CEILING REGISTER WALL BOX TYPE COMBINATION OCC. SENSOR AND SWITCH CEILING MOUNT DUAL TECHNOLOGY OCC. SENSOR AUTOMATIC HEAT DETECTION ALARM ACTUATING DEVICE 1" - REMOTE LAMP 30" - EXPLOSION PROOF 1" - COMBINATION HEAT/CO DETECTOR CEILING MOUNTED GLASS EXIT SIGN WALL MOUNTED GLASS EXIT SIGN	CEILING MOUNTED FIXTURE DUPLEX RECEPTACLE SWITCHED RECEPTACLE DUPLEX RECEPTACLE (DEDICATED) REFRIGERATOR RECEPTACLE DISHWASHER RECEPTACLE MICROWAVE RECEPTACLE GARBAGE DISPOSAL RECEPTACLE GROUND-FAULT CIRCUIT INTERRUPTER WALL MOUNTED FIXTURE FIRE SHUTTER	NO DROPPED CEILING (KADEK) 2 HR. CEILING (STAIRS) SUSPENDED GYPSUM WALL BOARD CEILING OR SOFFIT GWB CEILING W/ 2 LAYERS OF GWB BELOW FAN COIL UNITS 2" X 2" DROPPED CEILING TILES LINEAR CEILING DIFFUSER (SEE MECH. DWGS FOR ADDITIONAL INFORMATION) LINEAR WALL DIFFUSER (SEE MECH. DWGS FOR ADDITIONAL INFORMATION) 18"x6" CEILING MOUNTED SUPPLY GRILLE (SEE MECH. DWGS FOR ADDITIONAL INFORMATION)	EXTERIOR WINDOW SHADES MOCKLINE RECESSED STEP SPEAKER ONLY AMP/ANCE WP-WEATHERPROOF RECESSED DOWNLIGHT AMENITY (DINNING) RECESSED DOWNLIGHT RESIDENTIAL RECESSED DOWNLIGHT PANTRY LIGHT FIXTURE FOR CLOSET RECESSED DOWNLIGHT BATHROOM	POINT LIGHT FIXTURE RECESSED DOWNLIGHT CORRIDOR COVE LIGHT FIXTURE - CORRIDOR COVE LIGHT FIXTURE - BATHROOM COVE LIGHT FIXTURE - LOBBY/AMENITY COVE LIGHT FIXTURE - ELEVATOR EXTERIOR WALL MOUNTED FIXTURE LIGHT FIXTURE-11 UPLIGHT OVER KITCHEN CABINET	UNDERCOUNTER LIGHT IN KITCHEN LIGHT BELOW MIRROR VERTICAL LIGHT BESIDE MIRROR VANITY NIGHTLIGHT SURFACE MOUNTED LINEAR FIXTURE WALL MOUNTED LINEAR FIXTURE 4" SURFACE OR PENDANT MOUNTED FLUORESCENT WALL MOUNTED FIXTURE LINEAR FLUORESCENT BACKLIGHT LINEAR LED STRIP LIGHT	2" X 2" LIGHTING FIXTURE EXTERIOR GROUND MOUNTED UPLIGHT LINEAR LED STRIP LIGHT TRIMLESS WALLWASHER JUNCTION BOX THERMOSTAT THERMOSTAT FOR RADIANT HEAT MAT SMOKE DETECTOR ELEVATORS ELEVATOR RELATED DEVICE HEAT DETECTOR
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MECH FLOOR PLAN LEVEL 50 LOWER RCP
SCALE 1/4" = 1'-0"

FLOOR LOCATION DIAGRAM
SCALE 1/32" = 1'-0"

CORRIDOR
3 X LT-19 = 96W (32W PER FIX)

TOTAL WATT = 96W
TOTAL SF = 260R2

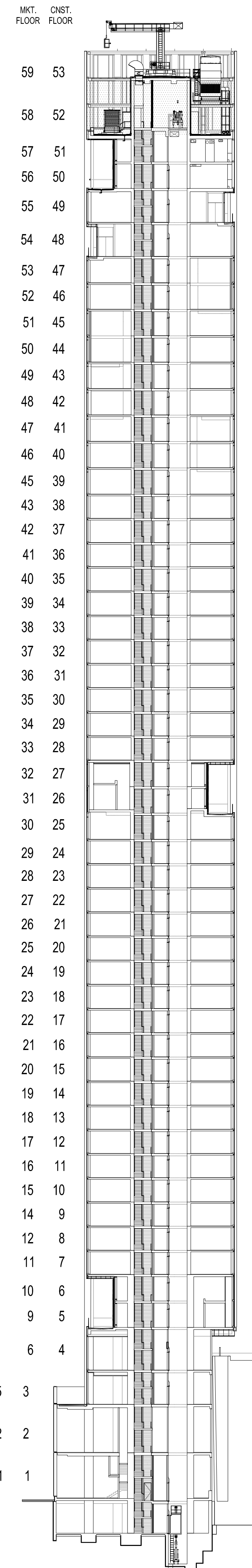
PROPOSED LPT = 96W/ 260R2 = 0.37W/R2

STAIR
2 X LT-20 = 58W (29W PER FIX)

TOTAL WATT = 58W
TOTAL SF = 240 R2
PROPOSED LPT = 58W/ 240R2 = 0.24W/R2

REFLECTED CEILING PLAN LEGEND

NOTES: THIS LEGEND IS USED AS THE MASTER LIST FOR ALL REFLECTED CEILING PLANS, AND NOT ALL SYMBOL DESIGNATIONS & NOTES ARE APPLICABLE FOR THIS PLAN. 1. PROVIDE 2 HOUR GYPSUM BOARD ENCLOSURE OVER ALL MECHANICAL OFFSETS. 2. PROVIDE ACCESS PANELS AT ALL MECHANICAL, ELECTRICAL AND PLUMBING POINTS FOR SERVICE. (SEE M.E.P. DRAWINGS) FOR LIGHT FIXTURE SCHEDULE. 3. REFER TO ELECTRICAL & LIGHTING DESIGN DRAWING FOR POWER SUPPLIES & SPECIFICATIONS.	SPRINKLER BU SWW DECORATIVE PENDANT CEILING HEIGHT DESIGNATION FAN COIL UNIT SMOKE / CARBON MONOXIDE DETECTOR RETURN AIR GRILL SUPPLY DIFFUSER 12"X12" PLUMBING ACCESS PANEL 12"X12" ACCESS PANEL	CEILING-MOUNTED GLASS EXIT SIGN WALL-MOUNTED GLASS EXIT SIGN CEILING MOUNTED FIXTURE WALL BOX TYPE COMBINATION OCC. SENSOR AND SWITCH CEILING MOUNT DUAL TECHNOLOGY OCC. SENSOR AUTOMATIC HEAT DETECTION ALARM ACTUATING DEVICE 1" - REMOTE LAMP 70" - EXPLOSION PROOF 70" - ELEVATOR RECALL 100" - COMBINATION HEAT / CO-DETECTOR	15"X45" FOU ACCESS PANEL CEILING MOUNTED TRANSFORMER APARTMENT ELECTRIC PANEL SWITCH (TWO WAY) DATA DATA TELEVISION DATA TELEPHONE MOTORIZED SHADE INTERCOM	DUPLEX RECEPTACLE SWITCHED RECEPTACLE DUPLEX RECEPTACLE (DEDICATED) REFRIGERATOR RECEPTACLE MICROWAVE RECEPTACLE GARBAGE DISPOSAL RECEPTACLE GROUND-FAULT CIRCUIT INTERRUPTER WALL MOUNTED FIXTURE SUSPENDED GYPSUM WALL BOARD CEILING OR SOFFIT GWB CEILING W/ (2) LAYERS OF GWB BELOW FAN COIL UNITS	NO DROPPED CEILING (RADEX) DROP CEILING 8'-0" A.F.F. DROP CEILING 8'-2" A.F.F. DROP CEILING 8'-4" A.F.F. DROP CEILING 9'-0-3/4" A.F.F. DROP CEILING 10'-0" A.F.F. DROP CEILING 10'-10" A.F.F. DROP CEILING 12'-0" A.F.F. DROP CEILING 13'-0" A.F.F. DROP CEILING 13'-4" A.F.F. DROP CEILING 14'-4" A.F.F. DROP CEILING 15'-0" A.F.F. DROP CEILING 17'-0" A.F.F.	2' X 2' DROPPED CEILING TILES 11'-6" A.F.F. LOBBY CEILING ONLY T.O.S. to U.O.S. = 21'-2" T.F.F. to U.O.S. = 20'-11" T.F.F. to FIN. CL.G. = 15'-4" T.F.F. to U.O. CANOPY = 10'-2" LINEAR CEILING FLOW BAR (SEE MECH. DRWS FOR ADDITIONAL INFORMATION) LINEAR REBELL WALL FLOW BAR (SEE MECH. DRWS FOR ADDITIONAL INFORMATION) MICROLINE RECESSED STEP ONE WAY SPEAKER DEVICE	RECESSED DOWNLIGHT AMENITY (DIMMING) RECESSED DOWNLIGHT RESIDENTIAL RECESSED DOWNLIGHT PANTRY LIGHT FIXTURE FOR CLOSET RECESSED DOWNLIGHT BATHROOM POINT LIGHT FIXTURE RECESSED DOWNLIGHT CORRIDOR	COVE LIGHT FIXTURE - CORRIDOR COVE LIGHT FIXTURE - BATHROOM COVE LIGHT FIXTURE - LOBBY/AMENITY COVE LIGHT FIXTURE - ELEVATOR EXTERIOR WALL MOUNTED FIXTURE LIGHT FIXTURE-11 UPLIGHT OVER KITCHEN CABINET UNDERCOUNTER LIGHT IN KITCHEN LIGHT BELOW MIRROR	VERTICAL LIGHT BESIDE MIRROR VANITY NIGHTLIGHT SURFACE MOUNTED LINEAR FIXTURE 4" SURFACE OR PENDANT MOUNTED FLUORESCENT WALL MOUNTED FIXTURE LINEAR FLUORESCENT BACKLIGHT AUTOMATIC SMOKE DETECTION ALARM ACTUATING DEVICE 1" - FLUSH 1" - SEMI-FLUSH 1" - SURFACE 1" - IN-DUCT	2' x 2' LIGHTING FIXTURE EXTERIOR GROUND MOUNTED UPLIGHT LINEAR LED STRIP LIGHT TRIMLESS WALLWASHER JUNCTION BOX 2' X 4' RADIANT CEILING PANEL
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STAIR
7 X LT-20 = 203W (29W PER FIX)
10 X LT-08A = 200W (20W PER FIX)
5 X LT-17D = 25W (5W PER FOOT)

TOTAL WATT = 428W
TOTAL SF = 654.56 ft2

PROPOSED LPT
= 428W/ 654.56ft2 = 0.65W/ft2

LOBBY
14' X LT22D = 70W (5W PER FOOT)
95' X LT25D = 1,805W (19W PER FOOT)
51'-6" X LT-26D = 360.5W (7W PER FOOT)
19 X LT-28D = 228W (12W PER FIX)
16 X LT-29D = 544W (34W PER FIX)
2 X LT-30D = 68W (34W PER FIX)

TOTAL WATT = 3,075.5 W
TOTAL SF = 1480 ft2

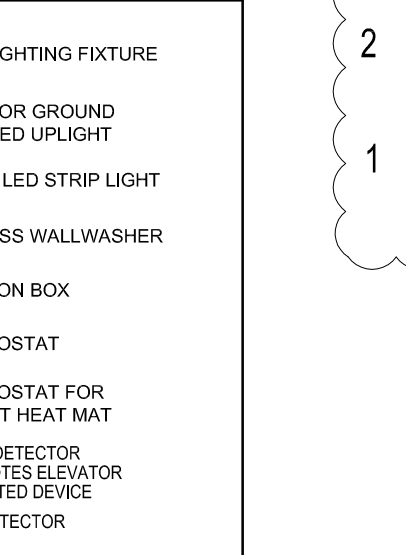
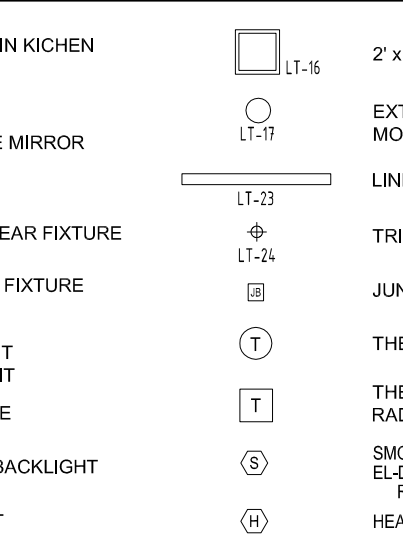
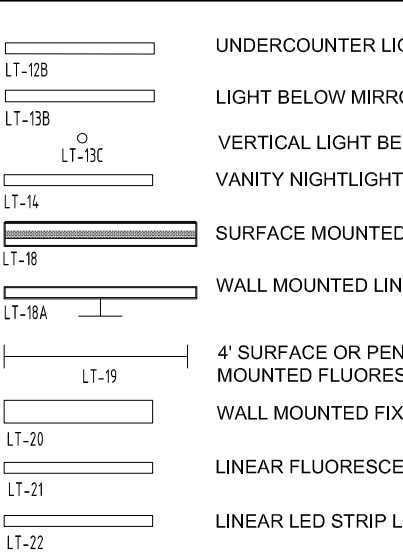
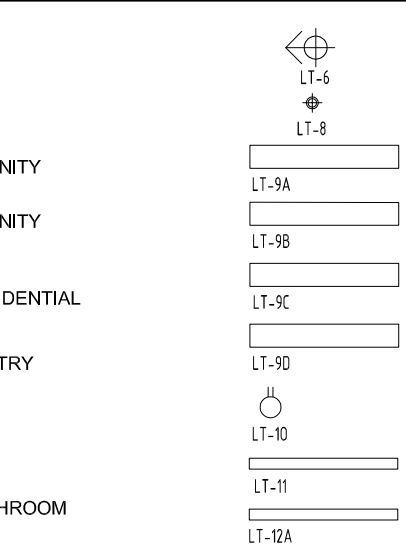
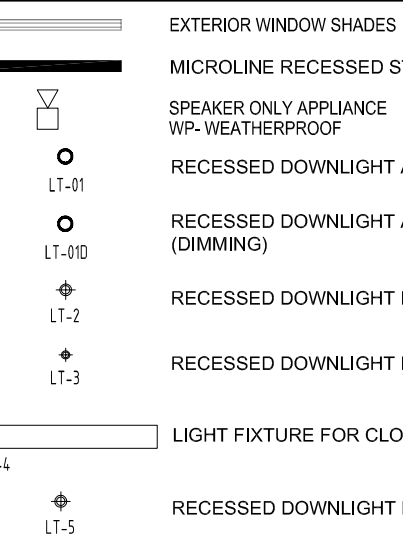
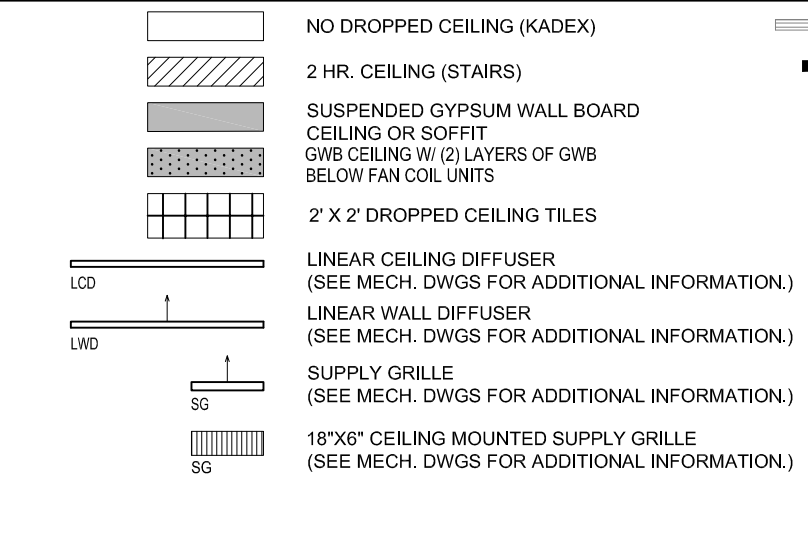
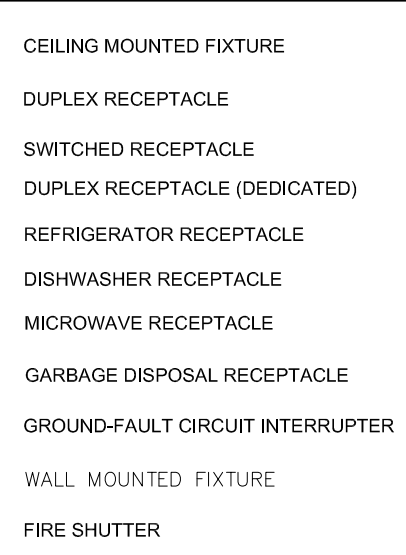
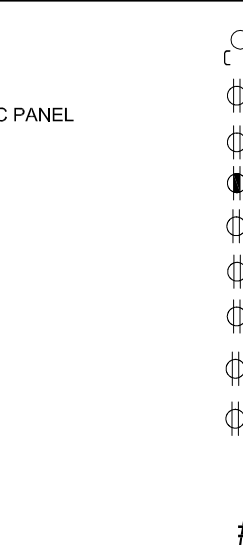
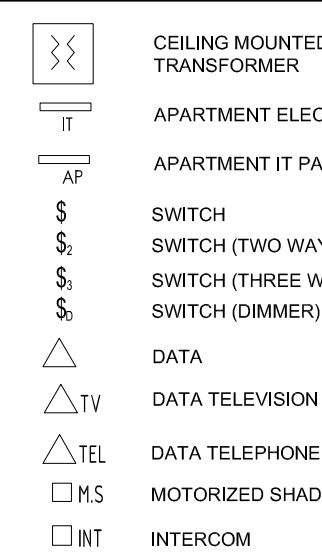
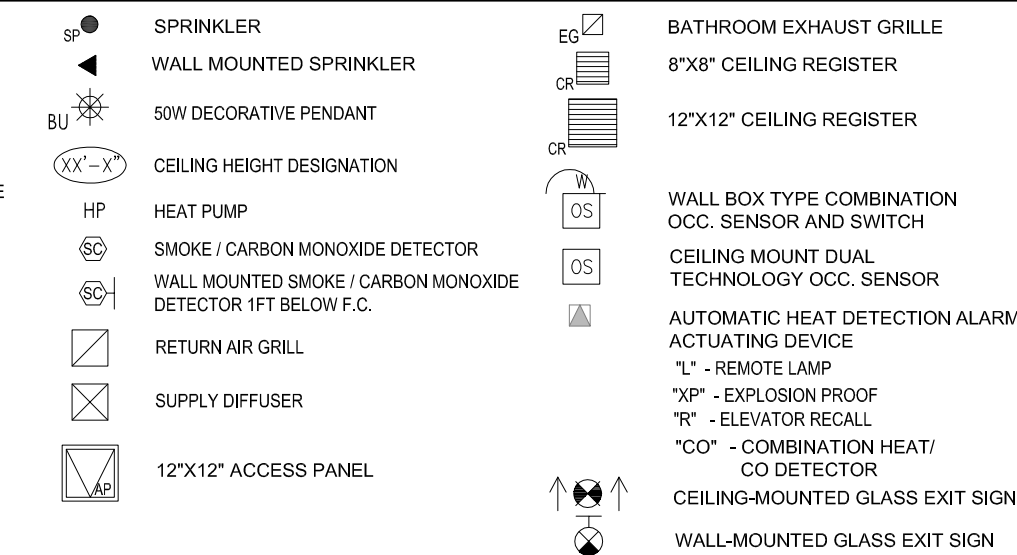
PROPOSED LPT = 3,075.5W/ 1480ft2 = 2.08W/ft2

REFLECTED CEILING PLAN LEGEND

NOTES:

THIS LEGEND IS USED AS THE MASTER LIST FOR ALL REFLECTED CEILING PLANS, AND NOT ALL SYMBOL DESIGNATIONS & NOTES ARE APPLICABLE FOR THIS PLAN.

- PROVIDE 2 HOUR GYPSUM BOARD ENCLOSURE OVER ALL MECHANICAL OFFSETS. COORDINATE WITH MECHANICAL DRAWINGS.
- PROVIDE ACCESS PANELS AT ALL MECHANICAL ELECTRICAL AND PLUMBING POINTS FOR SERVICE. (SEE M.E.P. DRAWINGS)
- REFER TO ELECTRICAL LIGHTING DESIGN DRAWING FOR POWER SUPPLIES & DRAWING FOR LIGHT FIXTURE SCHEDULE.
- REFER TO ELECTRICAL LIGHTING DESIGN DRAWING FOR LIGHT FIXTURE SCHEDULE.
- ALL VISIBLE ACCESS PANEL INSIDE THE UNIT SHALL BE TIMELESS SQUARE-EDGED GFRG ACCESS PANEL.

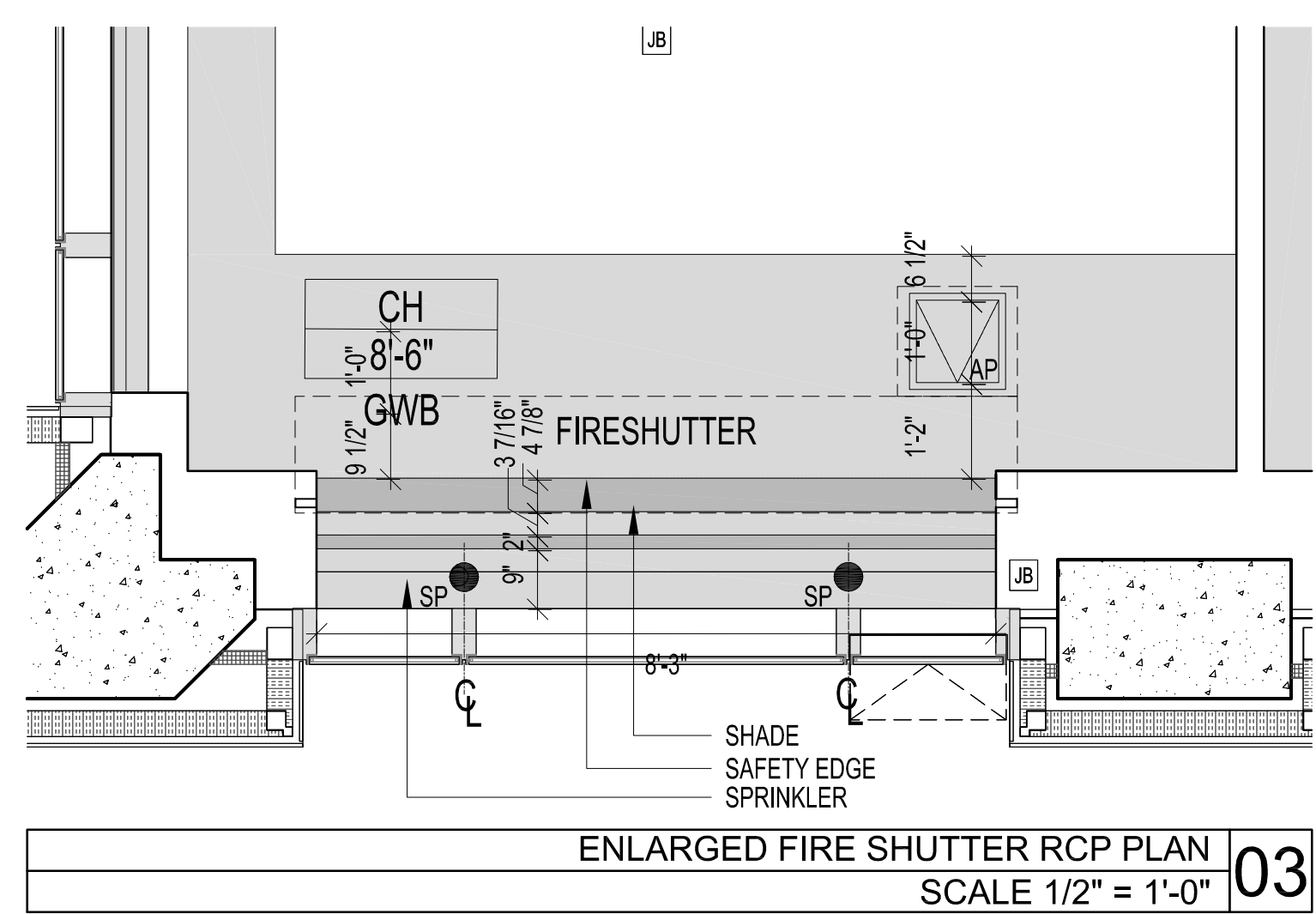


CORRIDOR
4 X LT-08 = 80W (20W PER FIX)
44' X LT-9 = 132W (3W PER FOOT)
2 X LT-24 = 40W (20W PER FIX)
2 X LT-20 = 58W (29W PER FIX)

TOTAL WATT = 310W
TOTAL SF = 380ft²

PROPOSED LPT = 310W/ 380ft² = 0.81W/ft²

STAIR
2 X LT-20 = 58W (29W PER FIX)
TOTAL WATT = 58W
TOTAL SF = 240 ft²
PROPOSED LPT = 58W/ 240ft² = 0.24W/ft²



REFLECTED CEILING PLAN LEGEND

NOTES: THIS LEGEND IS USED AS THE MASTER LIST FOR ALL REFLECTED CEILING PLANS, AND NOT ALL SYMBOL DESIGNATIONS & NOTES ARE APPLICABLE FOR THIS PLAN. 1. PROVIDE 2 HOUR GYPSUM BOARD ENCLOSURE OVER ALL MECHANICAL OFFSETS COORDINATE WITH MECHANICAL DRAWINGS. PROVIDE ACCESS PANELS AT ALL MECHANICAL ELECTRICAL AND PLUMBING POINTS FOR SERVICE. (SEE M.E.P. DRAWINGS) REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE SCHEDULE. 2. REFER TO ELECTRICAL AND LIGHTING DESIGN DRAWING FOR POWER SUPPLIES & SPECIFICATIONS. 3. ALL VISIBLE ACCESS PANEL INSIDE THE UNIT SHALL BE TIMELESS SQUARE-EDGED GFRG ACCESS PANEL.	SPRINKLER WALL MOUNTED SPRINKLER SW/ DECORATIVE PENDANT CEILING HEIGHT DESIGNATION HEAT PUMP SMOKE / CARBON MONOXIDE DETECTOR WALL MOUNTED SMOKE / CARBON MONOXIDE DETECTOR (PT BELOW F.C.) RETURN AIR GRILL SUPPLY OFFSEER 12"X12" ACCESS PANEL	BATHROOM EXHAUST GRILLE 12"X12" CEILING REGISTER WALL BOX TYPE COMBINATION OCC. SENSOR AND SWITCH CEILING MOUNT DUAL TECHNOLOGY OCC. SENSOR AUTOMATIC HEAT DETECTION ALARM ACTUATING DEVICE 1" - REMOTE LAMP 30" - EXPLOSION PROOF 78" - ELEVATOR RECALL 1"CO" - COMBINATION HEAT/ CO DETECTOR CEILING MOUNTED GLASS EXT SIGN WALL MOUNTED GLASS EXT SIGN	CEILING MOUNTED TRANSFORMER APARTMENT ELECTRIC PANEL APARTMENT IT PANEL SWITCH SWITCH (TWO WAY) SWITCH (THREE WAY) SWITCH (DIMMER) DATA DATA TELEVISION DATA TELEPHONE MOTORIZED SHADE INTERCOM	CEILING MOUNTED FIXTURE DUPLEX RECEPTACLE DUPLEX RECEPTACLE (DEDICATED) REFRIGERATOR RECEPTACLE DISHWASHER RECEPTACLE MICROWAVE RECEPTACLE GARBAGE DISPOSAL RECEPTACLE GROUND-FAULT CIRCUIT INTERRUPTER WALL MOUNTED FIXTURE FIRE SHUTTER	NO DROPPED CEILING (KDEX) 2 HR. CEILING (STAIRS) SUSPENDED GYPSUM WALL BOARD CEILING OR SOFFIT GWB CEILING IN 2 LAYERS OF GWB BELOW FAN COIL UNITS 2" X 2" DROPPED CEILING TILES LINEAR CEILING DIFFUSER (SEE MECH. DWGS FOR ADDITIONAL INFORMATION) LINEAR WALL DIFFUSER (SEE MECH. DWGS FOR ADDITIONAL INFORMATION) 18"X6" CEILING MOUNTED SUPPLY GRILLE (SEE MECH. DWGS FOR ADDITIONAL INFORMATION)	EXTERIOR WINDOW SHADES MOCKLINE RECESSED STEP SPRINKER ONLY APPLIANCE WP-WEATHERPROOF RECESSED DOWNLIGHT AMENITY (DMMING) RECESSED DOWNLIGHT AMENITY RECESSED DOWNLIGHT RESIDENTIAL RECESSED DOWNLIGHT PANTRY LIGHT FIXTURE FOR CLOSET RECESSED DOWNLIGHT BATHROOM	POINT LIGHT FIXTURE RECESSED DOWNLIGHT CORRIDOR COVE LIGHT FIXTURE - CORRIDOR COVE LIGHT FIXTURE - BATHROOM COVE LIGHT FIXTURE - LOBBY/AMENITY COVE LIGHT FIXTURE - ELEVATOR EXTERIOR WALL MOUNTED FIXTURE LIGHT FIXTURE-11 UPLIGHT OVER KITCHEN CABINET	UNDERCOUNTER LIGHT IN KITCHEN LIGHT BELOW MIRROR VERTICAL LIGHT BESIDE MIRROR VANITY NIGHTLIGHT SURFACE MOUNTED LINEAR FIXTURE WALL MOUNTED LINEAR FIXTURE 4" SURFACE OR PENDANT MOUNTED FLUORESCENT WALL MOUNTED FIXTURE LINEAR FLUORESCENT BACKLIGHT LINEAR LED STRIP LIGHT	2" X 2" LIGHTING FIXTURE EXTERIOR GROUND MOUNTED UPLIGHT LINEAR LED STRIP LIGHT TRAILLESS WALLWASHER JUNCTION BOX THERMOSTAT THERMOSTAT FOR RADIANT HEAT MAT SMOKE DETECTOR ELEVATOR ELEVATOR HEAT DETECTOR
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RESIDENTIAL FLOOR PLAN LEVEL 08 RCP
SCALE 1/4" = 1'-0"

FLOOR LOCATION DIAGRAM
SCALE 1/32" = 1'-0"

CORRIDOR
4 X LT-08 = 80W (20W PER FIX)
44' X LT-9 = 132W (3W PER FOOT)
2 X LT-24 = 40W (20W PER FIX)
2 X LT-20 = 58W (29W PER FIX)

TOTAL WATT = 310W
TOTAL SF = 380f2

PROPOSED LPT = 310W/ 380f2 = 0.81W/f2

STAIR

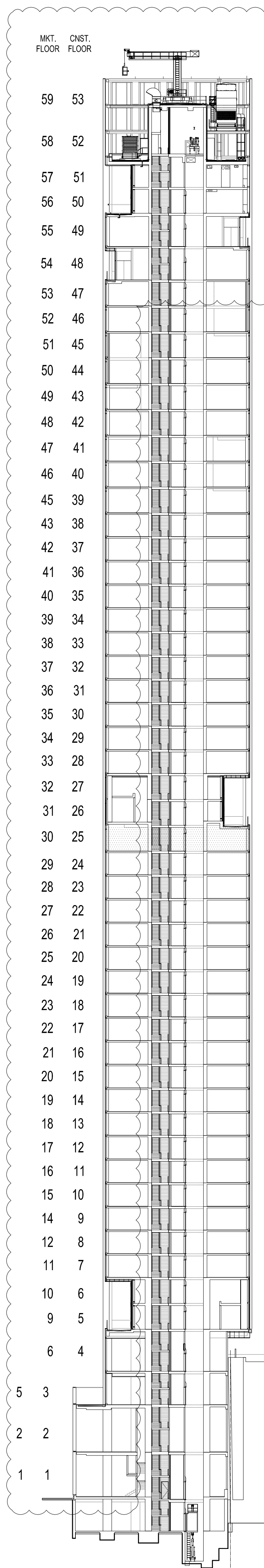
2 X LT-20 = 58W (29W PER FIX)
TOTAL WATT = 58W
TOTAL SF = 240 f2
PROPOSED LPT = 58W/ 240f2 = 0.24W/f2

REFLECTED CEILING PLAN LEGEND

NOTES: THIS LEGEND IS USED AS THE MASTER LIST FOR ALL REFLECTED CEILING PLANS, AND NOT ALL SYMBOL DESIGNATIONS & NOTES ARE APPLICABLE FOR THIS PLAN.	SPRINKLER WALL MOUNTED SPRINKLER SW DECOORATIVE PENDANT CEILING HEIGHT DESIGNATION HEAT PUMP SMOKE / CARBON MONOXIDE DETECTOR WALL MOUNTED SMOKE / CARBON MONOXIDE DETECTOR (FT BELOW F.C.) RETURN AIR GRILL SUPPLY DIFFUSER 12"x12" ACCESS PANEL	BATHROOM EXHAUST GRILLE 12"x12" CEILING REGISTER WALL BOX TYPE COMBINATION OCC. SENSOR AND SWITCH CEILING MOUNT DUAL TECHNOLOGY OCC. SENSOR AUTOMATIC HEAT DETECTION ALARM ACTUATING DEVICE 1" REMOTE LAMP 30" - EXPLOSION PROOF 1" - COMBINATION HEAT / CO DETECTOR CEILING MOUNTED GLASS EXIT SIGN WALL MOUNTED GLASS EXIT SIGN	CEILING MOUNTED APARTMENT ELECTRIC PANEL APARTMENT IT PANEL SWITCH SWITCH (TWO WAY) SWITCH (THREE WAY) SWITCH (DIMMER) DATA DATA TELEVISION DATA TELEPHONE MOTORIZED SHADE INTERCOM	CEILING MOUNTED FIXTURE DUPLEX RECEPTACLE DUPLEX RECEPTACLE (DEDICATED) REFRIGERATOR RECEPTACLE DISHWASHER RECEPTACLE MICROWAVE RECEPTACLE GARBAGE DISPOSAL RECEPTACLE GROUND-FAULT CIRCUIT INTERRUPTER WALL MOUNTED FIXTURE FIRE SHUTTER	NO DROPPED CEILING (KADKX) 2 HR. CEILING (STAIRS) SUSPENDED GYPSUM WALL BOARD CEILING OR SOFFIT GWB CEILING IN 2 LAYERS OF GWB BELOW FAN COIL UNITS 2" X 2" DROPPED CEILING TILES LINEAR CEILING DIFFUSER (SEE MECH. DWGS FOR ADDITIONAL INFORMATION) LINEAR WALL DIFFUSER (SEE MECH. DWGS FOR ADDITIONAL INFORMATION) 18"x6" CEILING MOUNTED SUPPLY GRILLE (SEE MECH. DWGS FOR ADDITIONAL INFORMATION)	EXTERIOR WINDOW SHADES MOCKLINE RECESSED STEP SPEAKER ONLY APPLIANCE WP-WEATHERPROOF RECESSED DOWNLIGHT AMENITY (DIMMING) RECESSED DOWNLIGHT AMENITY (DIMMING) RECESSED DOWNLIGHT RESIDENTIAL RECESSED DOWNLIGHT PANTRY LIGHT FIXTURE FOR CLOSET RECESSED DOWNLIGHT BATHROOM	POINT LIGHT FIXTURE RECESSED DOWNLIGHT CORRIDOR COVE LIGHT FIXTURE - CORRIDOR COVE LIGHT FIXTURE - BATHROOM COVE LIGHT FIXTURE - LOBBY/AMENITY COVE LIGHT FIXTURE - ELEVATOR EXTERIOR WALL MOUNTED FIXTURE LIGHT FIXTURE-11 UPLIGHT OVER KITCHEN CABINET	UNDERCOUNTER LIGHT IN KITCHEN LIGHT BELOW MIRROR VERTICAL LIGHT BESIDE MIRROR VANITY NIGHTLIGHT SURFACE MOUNTED LINEAR FIXTURE WALL MOUNTED LINEAR FIXTURE 4" SURFACE OR PENDANT MOUNTED FLUORESCENT WALL MOUNTED FIXTURE LINEAR FLUORESCENT BACKLIGHT LINEAR LED STRIP LIGHT	2" X 2" LIGHTING FIXTURE EXTERIOR GROUND MOUNTED UPLIGHT LINEAR LED STRIP LIGHT TRAILLESS WALLWASHER JUNCTION BOX THERMOSTAT THERMOSTAT FOR RADIANT HEAT MAT SMOKE DETECTOR ELEVATOR ELEVATOR HEAT DETECTOR
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RESIDENTIAL FLOOR PLAN LEVEL 25 RCP
SCALE 1/4" = 1'-0"

FLOOR LOCATION DIAGRAM
SCALE 1/32" = 1'-0"



CORRIDOR
3 X LT-08 = 60W (20W PER FIX)
44' X LT-9 = 132W (3W PER FOOT)
2 X LT-24 = 40W (20W PER FIX)
2 X LT-20 = 58W (29W PER FIX)

TOTAL WATT = 290W
TOTAL SF = 335f2

PROPOSED LPT = 290W/ 335f2 = 0.86W/f2

STAIR

2 X LT-20 = 58W (29W PER FIX)

TOTAL WATT = 58W

TOTAL SF = 240 f2

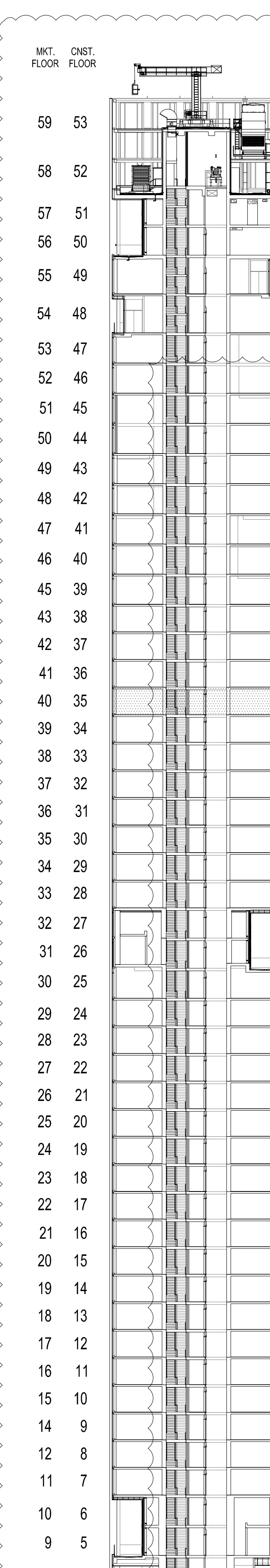
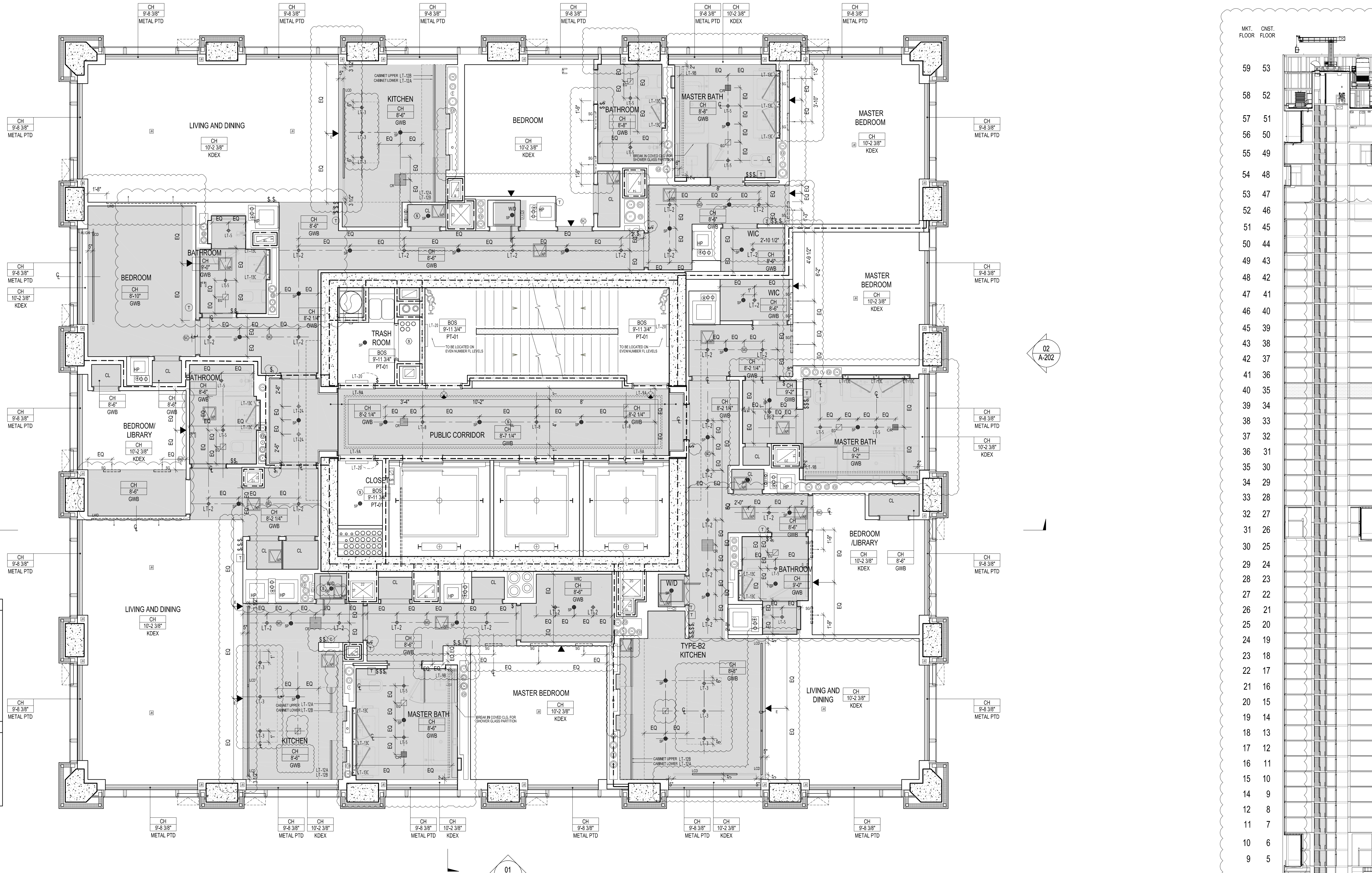
PROPOSED LPT = 58W/ 240f2 = 0.24W/f2

REFLECTED CEILING PLAN LEGEND

NOTES: THIS LEGEND IS USED AS THE MASTER LIST FOR ALL REFLECTED CEILING PLANS, AND NOT ALL SYMBOL DESIGNATIONS & NOTES ARE APPLICABLE FOR THIS PLAN.	SPRINKLER WALL MOUNTED SPRINKLER SW DECO/PENDANT CEILING HEIGHT DESIGNATION HEAT PUMP SMOKE / CARBON MONOXIDE DETECTOR WALL MOUNTED SMOKE / CARBON MONOXIDE DETECTOR (PT BELOW F.C.) RETURN AIR GRILL SUPPLY AIR DIFFUSER 12"X12" ACCESS PANEL	BATHROOM EXHAUST GRILLE 8"X8" CEILING REGISTER 12"X12" CEILING REGISTER WALL BOX TYPE COMBINATION OCC. SENSOR AND SWITCH CEILING MOUNT DUAL TECHNOLOGY OCC. SENSOR AUTOMATIC GAS DETECTION ALARM ACTUATING DEVICE 1" - REMOTE LAMP 30" - EXPLOSION PROOF 78" - ELEVATOR RECALL 1"00" - COMBINATION HEAT/ CO DETECTOR WALL MOUNTED GLASS EXT SIGN WALL MOUNTED GLASS EXT SIGN	CEILING MOUNTED TRANSFORMER APARTMENT ELECTRIC PANEL APARTMENT IT PANEL SWITCH (TWO WAY) SWITCH (THREE WAY) SWITCH (DIMMER) DATA DATA TELEVISION DATA TELEPHONE MOTORIZED SHADE INTERCOM	CEILING MOUNTED FIXTURE SWITCHED RECEPTACLE DUPLEX RECEPTACLE (DEDICATED) REFRIGERATOR RECEPTACLE DISHWASHER RECEPTACLE MICROWAVE RECEPTACLE GARBAGE DISPOSAL RECEPTACLE GROUND-FAULT CIRCUIT INTERRUPTER WALL MOUNTED FIXTURE FIRE SHUTTER	NO DROPPED CEILING (KADEX) 2 HR. CEILING (STAIRS) SUSPENDED GYPSUM WALL BOARD CEILING OR SOFFIT GWB CEILING IN 12" LAYERS OF GWB BELOW FAN COIL UNITS 2" X 2" DROPPED CEILING TILES LINEAR CEILING DIFFUSER (SEE MECH. DWGS FOR ADDITIONAL INFORMATION) SUPPLY GRILLE (SEE MECH. DWGS FOR ADDITIONAL INFORMATION) 18"X6" CEILING MOUNTED SUPPLY GRILLE (SEE MECH. DWGS FOR ADDITIONAL INFORMATION)	EXTERIOR WINDOW SHADES MICROLINE RECESSED STEP SPRINKLER ONLY AIRSPACE WP-WEATHERPROOF RECESSED DOWNLIGHT AMENITY (DIMMING) RECESSED DOWNLIGHT AMENITY (DIMMING) RECESSED DOWNLIGHT RESIDENTIAL RECESSED DOWNLIGHT PANTRY LIGHT FIXTURE FOR CLOSET RECESSED DOWNLIGHT BATHROOM	POINT LIGHT FIXTURE RECESSED DOWNLIGHT CORRIDOR COVE LIGHT FIXTURE - CORRIDOR COVE LIGHT FIXTURE - BATHROOM COVE LIGHT FIXTURE - LOBBY/AMENITY COVE LIGHT FIXTURE - ELEVATOR EXTERIOR WALL MOUNTED FIXTURE LIGHT FIXTURE-11 UPLIGHT OVER KITCHEN CABINET	UNDERCOUNTER LIGHT IN KITCHEN LIGHT BELOW MIRROR VERTICAL LIGHT BESIDE MIRROR VANITY NIGHTLIGHT SURFACE MOUNTED LINEAR FIXTURE WALL MOUNTED LINEAR FIXTURE 4" SURFACE OR PENDANT MOUNTED FLUORESCENT WALL MOUNTED FIXTURE LINEAR FLUORESCENT BACKLIGHT LINEAR LED STRIP LIGHT	2" X 2" LIGHTING FIXTURE EXTERIOR GROUND MOUNTED UPLIGHT LINEAR LED STRIP LIGHT TRAILERLESS WALLWASHER JUNCTION BOX THERMOSTAT THERMOSTAT FOR RADIANT HEAT MAT SMOKE DETECTOR ELEVATOR ELEVATOR HEAT DETECTOR
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RESIDENTIAL FLOOR PLAN LEVEL 35 RCP
SCALE 1/4" = 1'-0"

FLOOR LOCATION DIAGRAM
SCALE 1/32" = 1'-0"



CORRIDOR
3 X LT-08 = 60W (20W PER FIX)
44' X LT-9 = 132W (3W PER FOOT)
2 X LT-24 = 40W (20W PER FIX)
2 X LT-20 = 58W (29W PER FIX)

TOTAL WATT = 290W
TOTAL SF = 335f2
PROPOSED LPT = 290W/ 335f2 = 0.86W/f2

STAIR
2 X LT-20 = 58W (29W PER FIX)

TOTAL WATT = 58W
TOTAL SF = 240 f2
PROPOSED LPT = 58W/ 240f2 = 0.24W/f2

REFLECTED CEILING PLAN LEGEND

NOTES: THIS LEGEND IS USED AS THE MASTER LIST FOR ALL REFLECTED CEILING PLANS, AND NOT ALL SYMBOL DESIGNATIONS & NOTES ARE APPLICABLE FOR THIS PLAN. 1. PROVIDE 2 HOUR GYPSUM BOARD ENCLOSURE OVER ALL MECHANICAL OFFSETS. 2. COORDINATE WITH MECHANICAL DRAWINGS. PROVIDE ACCESS PANELS AT ALL MECHANICAL ELECTRICAL AND PLUMBING POINTS FOR SERVICE. (SEE M.E.P. DRAWINGS). 3. REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE SCHEDULE. 4. REFER TO ELECTRICAL LIGHTING DESIGN SPECIFICATIONS. 5. ALL VISIBLE ACCESS PANEL INSIDE THE UNIT SHALL BE TIMELESS SQUARE-EDGED GFRG ACCESS PANEL.	SPRINKLER WALL MOUNTED SPRINKLER SW DECOORATIVE PENDANT CEILING HEIGHT DESIGNATION HEAT PUMP SMOKE / CARBON MONOXIDE DETECTOR WALL MOUNTED SMOKE / CARBON MONOXIDE DETECTOR (FT BELOW F.C.) RETURN AIR GRILL SUPPLY AIR OFFUSER 12"X12" ACCESS PANEL	BATHROOM EXHAUST GRILLE 12"X12" CEILING REGISTER WALL BOX TYPE COMBINATION OCC. SENSOR AND SWITCH CEILING MOUNT DUAL TECHNOLOGY OCC. SENSOR AUTOMATIC HEAT DETECTION ALARM ACTUATING DEVICE 1" REMOTE LAMP 30" - EXPLOSION PROOF 10" - ELEVATOR RECALL 100" - COMBINATION HEAT/ CO DETECTOR CEILING MOUNTED GLASS EXIT SIGN WALL MOUNTED GLASS EXIT SIGN	CEILING MOUNTED TRANSFORMER APARTMENT ELECTRIC PANEL APARTMENT IT PANEL SWITCH SWITCH (TWO WAY) SWITCH (THREE WAY) SWITCH (DIMMER) DATA DATA TELEVISION DATA TELEPHONE DATA TELEPHONE SHADE INTERCOM	CEILING MOUNTED FIXTURE DUPLEX RECEPTACLE DUPLEX RECEPTACLE (DEDICATED) REFRIGERATOR RECEPTACLE DISHWASHER RECEPTACLE MICROWAVE RECEPTACLE GARBAGE DISPOSAL RECEPTACLE GROUND-FAULT CIRCUIT INTERRUPTER WALL MOUNTED FIXTURE FIRE SHUTTER	NO DROPPED CEILING (KADEX) 2 HR. CEILING (STAIRS) SUSPENDED GYPSUM WALL BOARD CEILING OR SOFFIT GWB CEILING IN 10' LAYERS OF GWB BELOW FAN COIL UNITS 2' X 2' DROPPED CEILING TILES LINEAR CEILING DIFFUSER (SEE MECH. DWGS FOR ADDITIONAL INFORMATION) LINEAR WALL DIFFUSER (SEE MECH. DWGS FOR ADDITIONAL INFORMATION) 18"X6" CEILING MOUNTED SUPPLY GRILLE (SEE MECH. DWGS FOR ADDITIONAL INFORMATION)	EXTERIOR WINDOW SHADES MOCKLINE RECESSED STEP SPRINKER ONLY APPLIANCE WP-WEATHERPROOF RECESSED DOWNLIGHT AMENITY (DAMMING) RECESSED DOWNLIGHT AMENITY (DAMMING) RECESSED DOWNLIGHT RESIDENTIAL RECESSED DOWNLIGHT PANTRY LIGHT FIXTURE FOR CLOSET RECESSED DOWNLIGHT BATHROOM	POINT LIGHT FIXTURE RECESSED DOWNLIGHT CORRIDOR COVE LIGHT FIXTURE - CORRIDOR COVE LIGHT FIXTURE - BATHROOM COVE LIGHT FIXTURE - LOBBY/AMENITY COVE LIGHT FIXTURE - ELEVATOR EXTERIOR WALL MOUNTED FIXTURE LIGHT FIXTURE-11 UPLIGHT OVER KITCHEN CABINET	UNDERCOUNTER LIGHT IN KITCHEN LIGHT BELOW MIRROR VERTICAL LIGHT BESIDE MIRROR VANITY NIGHTLIGHT SURFACE MOUNTED LINEAR FIXTURE WALL MOUNTED LINEAR FIXTURE 4" SURFACE OR PENDANT MOUNTED FLUORESCENT WALL MOUNTED FIXTURE LINEAR FLUORESCENT BACKLIGHT LINEAR LED STRIP LIGHT	2' X 2' LIGHTING FIXTURE EXTERIOR GROUND MOUNTED UPLIGHT LINEAR LED STRIP LIGHT TRAILLESS WALLWASHER JUNCTION BOX THERMOSTAT THERMOSTAT FOR RADIANT HEAT MAT SMOKE DETECTOR ELEVATOR ELEVATOR HEAT DETECTOR
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RESIDENTIAL FLOOR PLAN LEVEL 39 RCP
SCALE 1/4" = 1'-0"

FLOOR LOCATION DIAGRAM
SCALE 1/32" = 1'-0"

CORRIDOR
3 X LT-08 = 60W (20W PER FIX)
44' X LT-9 = 132W (3W PER FOOT)
2 X LT-20 = 58W (29W PER FIX)

TOTAL WATT = 250W
TOTAL SF = 280R2

PROPOSED LPT = 250W/ 280R2 = 0.89W/ft2

STAIR
2 X LT-20 = 58W (29W PER FIX)

TOTAL WATT = 58W
TOTAL SF = 240 ft2
PROPOSED LPT = 58W/ 240ft2 = 0.24W/ft2

REFLECTED CEILING PLAN LEGEND

NOTES: THIS LEGEND IS USED AS THE MASTER LIST FOR ALL REFLECTED CEILING PLANS, AND NOT ALL SYMBOL DESIGNATIONS & NOTES ARE APPLICABLE FOR THIS PLAN. 1. PROVIDE 2 HOUR GYPSUM BOARD ENCLOSURE OVER ALL MECHANICAL OFFSETS. 2. COORDINATE WITH MECHANICAL DRAWINGS. 3. PROVIDE ACCESS PANELS AT ALL MECHANICAL ELECTRICAL AND PLUMBING POINTS FOR SERVICE. (SEE M.E.P. DRAWINGS). 4. REFER TO ELECTRICAL AND LIGHTING DESIGN DRAWING FOR POWER SUPPLIES & SPECIFICATIONS. 5. ALL VISIBLE ACCESS PANEL INSIDE THE UNIT SHALL BE TIMELESS SQUARE-EDGED GFRG ACCESS PANEL.	SPRINKLER WALL MOUNTED SPRINKLER SWW DECORATIVE PENDANT CEILING HEIGHT DESIGNATION HEAT PUMP SMOKE / CARBON MONOXIDE DETECTOR WALL MOUNTED SMOKE / CARBON MONOXIDE DETECTOR (FT BELOW F.C.) RETURN AIR GRILL SUPPLY AIR DIFFUSER 12"X12" ACCESS PANEL	BATHROOM EXHAUST GRILLE 8"X8" CEILING REGISTER 12"X12" CEILING REGISTER WALL BOX TYPE COMBINATION OCC. SENSOR AND SWITCH CEILING MOUNT DUAL TECHNOLOGY OCC. SENSOR AUTOMATIC HEAT DETECTION ALARM ACTUATING DEVICE 1" REMOTE LAMP 30" - EXPLOSION PROOF 78" - ELEVATOR RECALL 100" - COMBINATION HEAT/CO DETECTOR CEILING MOUNTED GLASS EXIT SIGN WALL MOUNTED GLASS EXIT SIGN	CEILING MOUNTED TRANSFORMER APARTMENT ELECTRIC PANEL APARTMENT IT PANEL SWITCH SWITCH (TWO WAY) SWITCH (THREE WAY) SWITCH (DIMMER) DATA DATA TELEVISION DATA TELEPHONE DATA TELEPHONE SHADE INTERCOM	CEILING MOUNTED FIXTURE DUPLEX RECEPTACLE DUPLEX RECEPTACLE (DEDICATED) REFRIGERATOR RECEPTACLE DISHWASHER RECEPTACLE MICROWAVE RECEPTACLE GARBAGE DISPOSAL RECEPTACLE GROUND-FAULT CIRCUIT INTERRUPTER WALL MOUNTED FIXTURE FIRE SHUTTER	NO DROPPED CEILING (KADEX) 2 HR. CEILING (STAIRS) SUSPENDED GYPSUM WALL BOARD CEILING OR SOFFIT GWB CEILING IN 2 LAYERS OF GWB BELOW FAN COIL UNITS 2" X 2" DROPPED CEILING TILES LINEAR CEILING DIFFUSER (SEE MECH. DWGS FOR ADDITIONAL INFORMATION) LINEAR WALL DIFFUSER (SEE MECH. DWGS FOR ADDITIONAL INFORMATION) 18"X6" CEILING MOUNTED SUPPLY GRILLE (SEE MECH. DWGS FOR ADDITIONAL INFORMATION)	EXTERIOR WINDOW SHADES MOCKLINE RECESSED STEP SPRINKLER ONLY APPLIANCE WP-WEATHERPROOF RECESSED DOWNLIGHT AMENITY (DIMMING) RECESSED DOWNLIGHT AMENITY (DIMMING) RECESSED DOWNLIGHT RESIDENTIAL RECESSED DOWNLIGHT PANTRY LIGHT FIXTURE FOR CLOSET RECESSED DOWNLIGHT BATHROOM	POINT LIGHT FIXTURE RECESSED DOWNLIGHT CORRIDOR COVE LIGHT FIXTURE - CORRIDOR COVE LIGHT FIXTURE - BATHROOM COVE LIGHT FIXTURE - LOBBY/AMENITY COVE LIGHT FIXTURE - ELEVATOR EXTERIOR WALL MOUNTED FIXTURE LIGHT FIXTURE-11 UPLIGHT OVER KITCHEN CABINET	UNDERCOUNTER LIGHT IN KITCHEN LIGHT BELOW MIRROR VERTICAL LIGHT BESIDE MIRROR VANITY NIGHTLIGHT SURFACE MOUNTED LINEAR FIXTURE WALL MOUNTED LINEAR FIXTURE 4" SURFACE OR PENDANT MOUNTED FLUORESCENT WALL MOUNTED FIXTURE LINEAR FLUORESCENT BACKLIGHT LINEAR LED STRIP LIGHT	2" X 2" LIGHTING FIXTURE EXTERIOR GROUND MOUNTED UPLIGHT LINEAR LED STRIP LIGHT TRIMLESS WALLWASHER JUNCTION BOX THERMOSTAT THERMOSTAT FOR RADIANT HEAT MAT SMOKE DETECTOR ELEVATOR ELEVATOR RELATED DEVICE HEAT DETECTOR
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RESIDENTIAL FLOOR PLAN LEVEL 42 RCP
SCALE 1/4" = 1'-0"

FLOOR LOCATION DIAGRAM
SCALE 1/32" = 1'-0"

OWNER:
VICTOR NOMAD LLC

CONSTRUCTION MANAGER:
LEND LEASE
200 PARK AVENUE, 9TH FLOOR
NEW YORK, NY 10166
TEL: 212 592 6700

ARCHITECT:
RAFAEL VINOLY ARCHITECTS PC
50 VANDAM STREET
NEW YORK, NY 10013
TEL: 212 924 5060 FAX: 212 924 5858

STRUCTURAL ENGINEER:
WSP PARSONS BRINCKERHOFF
ONE PENN PLAZA, 4TH FLOOR
NEW YORK, NY 10119
TEL: 212 687 9888

MEP/FP/IT ENGINEER:
MGE ENGINEERING
116 WEST 32ND STREET, 12TH FLOOR
NEW YORK, NY 10001
TEL: 212 643 9055

GEOTECH CIVIL ENGINEER:
LANGAN ENGINEERING
300 KIMBALL DRIVE, 4TH FLOOR
PARSIPPANY, NJ 07054
TEL: 973 560 4900

VERTICAL TRANSPORT CONSULTANT:
VAN DEUSEN & ASSOCIATES
120 EAGLE ROCK AVENUE, SUITE 310
EAST HANOVER, NJ 07936
TEL: 973 994 9220

ENCLOSURE CONSULTANT:
VIDARIS, INC.
360 PARK AVENUE SOUTH, 15TH FLOOR
NEW YORK, NY 10010
TEL: 212 689 5389

FACADE MAINTENANCE CONSULTANT:
ENTEK ENGINEERING LLC
166 AMES STREET
HACKENSACK, NJ 07601
TEL: 201 820 2801

ACOUSTICAL CONSULTANT:
CERAMI & ASSOCIATES
404 FIFTH AVENUE
NEW YORK, NY 10018
TEL: 212 616 4179

LIGHTING CONSULTANT:
ONE LUX STUDIO
158 WEST 29TH STREET, 10TH FLOOR
NEW YORK, NY 10001
TEL: 212 201 5790

SPECIFICATIONS CONSULTANT:
ROBERT SCHWARTZ & ASSOCIATES
589 EIGHTH AVENUE, 17TH FLOOR
NEW YORK, NY 10018
TEL: 212 691 3248

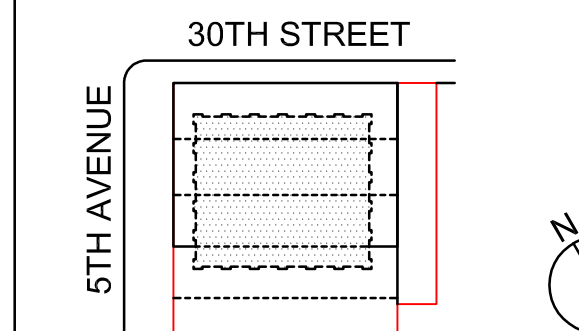
ENERGY MODELING CONSULTANT:
STEVEN WINTER ASSOCIATES, INC
307 SEVENTH AVENUE, SUITE 1701
NEW YORK, NY 10001
TEL: 212 564 5800

INTERIOR DESIGN CONSULTANT:
BEERS INTERIORS
156 5TH AVENUE, PENTHOUSE 2
NEW YORK, NY 10010
TEL: 212 352 2020

NYC DEPT. OF BUILDINGS
PAA #2

ARCHITECT'S SEAL
Areg Asatryan, RA
U. Asatryan
APPROVED
Under Directive 2 of 2015
DATE: 09/19/2018
NYC Development Hub

09/08/2017 PAA #2
02/24/2017 PAA #1
ISSUE DATE DESCRIPTION
NO. DATE



KEY PLAN AND NORTH SIGN
IF THIS DRAWING IS NOT 42" X 30" IT IS
A REDUCED PRINT;
REFER TO GRAPHIC SCALE

SCALE 1/4" = 1'-0"

RESIDENTIAL FLOOR
PLAN RCP
LEVEL 43

SHEET TITLE:

A-627.01

SHEET NUMBER:

CORRIDOR
3 X LT-08 = 60W (20W PER FIX)
44' X LT-9 = 132W (3W PER FOOT)
2 X LT-20 = 58W (29W PER FIX)

TOTAL WATT = 250W
TOTAL SF = 280ft2

PROPOSED LPT = 250W/ 280ft2 = 0.89W/ft2

STAIR
2 X LT-20 = 58W (29W PER FIX)

TOTAL WATT = 58W
TOTAL SF = 240 ft2
PROPOSED LPT = 58W/ 240ft2 = 0.24W/ft2

REFLECTED CEILING PLAN LEGEND

NOTES: THIS LEGEND IS USED AS THE MASTER LIST FOR ALL REFLECTED CEILING PLANS, AND NOT ALL SYMBOL DESIGNATIONS & NOTES ARE APPLICABLE FOR THIS PLAN. 1. PROVIDE 2 HOUR GYPSUM BOARD ENCLOSURE OVER ALL MECHANICAL OFFSETS. 2. COORDINATE WITH MECHANICAL DRAWINGS. PROVIDE ACCESS PANELS AT ALL MECHANICAL ELECTRICAL AND PLUMBING POINTS FOR SERVICE. (SEE M.E.P. DRAWINGS). 3. REFER TO ELECTRICAL AND LIGHTING DESIGN DRAWING FOR POWER SUPPLIES & SPECIFICATIONS. 4. ALL VISIBLE ACCESS PANEL INSIDE THE UNIT SHALL BE TIMELESS SQUARE-DEGGED GFRG ACCESS PANEL.	SPRINKLER WALL MOUNTED SPRINKLER SW DECORATIVE PENDANT CEILING HEIGHT DESIGNATION HP SMOKE / CARBON MONOXIDE DETECTOR WALL MOUNTED SMOKE / CARBON MONOXIDE DETECTOR (PT BELOW F.C.) RETURN AIR GRILL SUPPLY DIFFUSER 12"x12" ACCESS PANEL	BATHROOM EXHAUST GRILLE 12"x12" CEILING REGISTER WALL BOX TYPE COMBINATION OCC. SENSOR AND SWITCH CEILING MOUNT DUAL TECHNOLOGY OCC. SENSOR CEILING MOUNT DUAL TECHNOLOGY OCC. SENSOR AUTOMATIC HEAT DETECTION ALARM ACTUATING DEVICE 1" REMOTE LAMP 78" EXPLOSION PROOF 78" EXPLOSION PROOF 78" EXPLOSION PROOF 100" COMBINATION HEAT/CO DETECTOR CEILING MOUNTED GLASS EXIT SIGN WALL MOUNTED GLASS EXIT SIGN	CEILING MOUNTED TRANSFORMER APARTMENT ELECTRIC PANEL SWITCH SWITCH (TWO WAY) SWITCH (THREE WAY) SWITCH (DIMMER) DATA DATA TELEVISION DATA TELEPHONE MOTORIZED SHADE INTERCOM	CEILING MOUNTED FIXTURE DUPLEX RECEPTACLE SWITCHED RECEPTACLE REFRIGERATOR RECEPTACLE DISHWASHER RECEPTACLE MICROWAVE RECEPTACLE GARBAGE DISPOSAL RECEPTACLE GROUND-FAULT CIRCUIT INTERRUPTER WALL MOUNTED FIXTURE FIRE SHUTTER	NO DROPPED CEILING (KADEK) 2 HR. CEILING (STAIRS) SUSPENDED GYPSUM WALL BOARD CEILING OR SOFFIT 2' X 2' DROPPED CEILING TILES LINEAR CEILING DIFFUSER SUPPLY GRILLE 18"x6" CEILING MOUNTED SUPPLY GRILLE EXTERIOR WINDOW SHADES MICROLINE RECESSED STEP SPEAKER ONLY AMP/WP-WEATHERPROOF RECESSED DOWNLIGHT AMENITY (DINNING) RECESSED DOWNLIGHT AMENITY (BATHROOM) RECESSED DOWNLIGHT AMENITY (PANTRY) RECESSED DOWNLIGHT AMENITY (BATHROOM) RECESSED DOWNLIGHT AMENITY (BATHROOM)	POINT LIGHT FIXTURE RECESSED DOWNLIGHT CORRIDOR COVE LIGHT FIXTURE - CORRIDOR COVE LIGHT FIXTURE - BATHROOM COVE LIGHT FIXTURE - LOBBY/AMENITY COVE LIGHT FIXTURE - ELEVATOR EXTERIOR WALL MOUNTED FIXTURE LIGHT FIXTURE-11 UPLIGHT OVER KITCHEN CABINET RECESSED DOWNLIGHT BATHROOM	UNDERCOUNTER LIGHT IN KITCHEN LIGHT BELOW MIRROR VERTICAL LIGHT BESIDE MIRROR VANITY NIGHTLIGHT SURFACE MOUNTED LINEAR FIXTURE WALL MOUNTED LINEAR FIXTURE 4" SURFACE OR PENDANT MOUNTED FLUORESCENT WALL MOUNTED FIXTURE LINEAR FLUORESCENT BACKLIGHT LINEAR LED STRIP LIGHT 2' X 2' LIGHTING FIXTURE EXTERIOR GROUND MOUNTED UPLIGHT LINEAR LED STRIP LIGHT TRIMLESS WALLWASHER JUNCTION BOX THERMOSTAT THERMOSTAT FOR RADIANT HEAT MAT SMOKE DETECTOR ELEVATORS ELEVATOR RELATED DEVICE HEAT DETECTOR
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RESIDENTIAL FLOOR PLAN LEVEL 43 RCP
SCALE 1/4" = 1'-0"

FLOOR LOCATION DIAGRAM
SCALE 1/32" = 1'-0"

CORRIDOR
3 X LT-08 = 60W (20W PER FIX)
44' X LT-9 = 132W (3W PER FOOT)
2 X LT-20 = 58W (29W PER FIX)

TOTAL WATT = 250W
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PROPOSED LPT = 250W/ 280r2 = 0.89W/r2

STAIR
2 X LT-20 = 58W (29W PER FIX)

TOTAL WATT = 58W
TOTAL SF = 240 f2
PROPOSED LPT = 58W/ 240f2 = 0.24W/f2

REFLECTED CEILING PLAN LEGEND

NOTES: THIS LEGEND IS USED AS THE MASTER LIST FOR ALL REFLECTED CEILING PLANS, AND NOT ALL SYMBOL DESIGNATIONS & NOTES ARE APPLICABLE FOR THIS PLAN. 1. PROVIDE 2 HOUR GYPSUM BOARD ENCLOSURE OVER ALL MECHANICAL OFFSETS. 2. PROVIDE ACCESS PANELS AT ALL MECHANICAL ELECTRICAL AND PLUMBING POINTS FOR SERVICE. (SEE M.E.P. DRAWINGS). 3. REFER TO ELECTRICAL AND PLUMBING DESIGN DRAWING FOR POWER SUPPLIES & SPECIFICATIONS. 4. ALL VISIBLE ACCESS PANEL INSIDE THE UNIT SHALL BE TIMELESS SQUARE-EDGED GFRG ACCESS PANEL.	SPRINKLER WALL MOUNTED SPRINKLER 50W DECORATIVE PENDANT CEILING HEIGHT DESIGNATION HEAT PUMP SMOKE / CARBON MONOXIDE DETECTOR WALL MOUNTED SMOKE / CARBON MONOXIDE DETECTOR (PT BELOW F.C.) RETURN AIR GRILL SUPPLY DIFFUSER 12"X12" ACCESS PANEL	BATHROOM EXHAUST GRILLE 8"X8" CEILING REGISTER 12"X12" CEILING REGISTER WALL BOX TYPE COMBINATION OCC. SENSOR AND SWITCH CEILING MOUNT DUAL TECHNOLOGY OCC. SENSOR AUTOMATIC HEAT DETECTION ALARM ACTUATING DEVICE 1" REMOTE LAMP 30" - EXPLOSION PROOF 78" - ELEVATOR RECALL 1"20" - COMBINATION HEAT/CO DETECTOR CEILING MOUNTED GLASS EXIT SIGN WALL MOUNTED GLASS EXIT SIGN	CEILING MOUNTED TRANSFORMER APARTMENT ELECTRIC PANEL APARTMENT IT PANEL SWITCH SWITCH (TWO WAY) SWITCH (THREE WAY) SWITCH (DIMMER) DATA DATA TELEVISION DATA TELEPHONE MOTORIZED SHADE INTERCOM	CEILING MOUNTED FIXTURE DUPLEX RECEPTACLE SWITCHED RECEPTACLE REFRIGERATOR RECEPTACLE DISHWASHER RECEPTACLE MICROWAVE RECEPTACLE GARBAGE DISPOSAL RECEPTACLE GROUND-FAULT CIRCUIT INTERRUPTER WALL MOUNTED FIXTURE FIRE SHUTTER	NO DROPPED CEILING (KADEX) 2 HR. CEILING (STAIRS) SUSPENDED GYPSUM WALL BOARD CEILING OR SOFFIT GWB (CEILING IN 2 LAYERS OF GWB BELOW FAN COIL UNITS) 2" X 2" DROPPED CEILING TILES LINEAR CEILING DIFFUSER (SEE MECH. DWGS FOR ADDITIONAL INFORMATION) SUPPLY GRILLE (SEE MECH. DWGS FOR ADDITIONAL INFORMATION) 18"X6" CEILING MOUNTED SUPPLY GRILLE (SEE MECH. DWGS FOR ADDITIONAL INFORMATION)	EXTERIOR WINDOW SHADES MOCKLINE RECESSED STEP SPRINKLER ONLY APPLIANCE WP-WEATHERPROOF RECESSED DOWNLIGHT AMENITY (DIMMING) RECESSED DOWNLIGHT AMENITY (DIMMING) RECESSED DOWNLIGHT RESIDENTIAL RECESSED DOWNLIGHT PANTRY LIGHT FIXTURE FOR CLOSET RECESSED DOWNLIGHT BATHROOM	POINT LIGHT FIXTURE RECESSED DOWNLIGHT CORRIDOR COVE LIGHT FIXTURE - CORRIDOR COVE LIGHT FIXTURE - BATHROOM COVE LIGHT FIXTURE - LOBBY/AMENITY COVE LIGHT FIXTURE - ELEVATOR EXTERIOR WALL MOUNTED FIXTURE LIGHT FIXTURE-11 UPLIGHT OVER KITCHEN CABINET	UNDERCOUNTER LIGHT IN KITCHEN LIGHT BELOW MIRROR VERTICAL LIGHT BESIDE MIRROR VANITY NIGHTLIGHT SURFACE MOUNTED LINEAR FIXTURE WALL MOUNTED LINEAR FIXTURE 4" SURFACE OR PENDANT MOUNTED FLUORESCENT WALL MOUNTED FIXTURE LINEAR FLUORESCENT BACKLIGHT LINEAR LED STRIP LIGHT	2" X 2" LIGHTING FIXTURE EXTERIOR GROUND MOUNTED UPLIGHT LINEAR LED STRIP LIGHT TRAILLESS WALLWASHER JUNCTION BOX THERMOSTAT THERMOSTAT FOR RADIANT HEAT MAT SMOKE DETECTOR ELEVATOR ELEVATOR HEAT DETECTOR
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RESIDENTIAL FLOOR PLAN LEVEL 44 RCP
SCALE 1/4" = 1'-0"

FLOOR LOCATION DIAGRAM
SCALE 1/32" = 1'-0"

CORRIDOR
3 X LT-08 = 60W (20W PER FIX)
44' X LT-9 = 132W (3W PER FOOT)
2 X LT-20 = 58W (29W PER FIX)

TOTAL WATT = 250W
TOTAL SF = 280ft2

PROPOSED LPT = 250W/ 280ft2 = 0.89W/ft2

STAIR
2 X LT-20 = 58W (29W PER FIX)

TOTAL WATT = 58W
TOTAL SF = 240 ft2
PROPOSED LPT = 58W/ 240ft2 = 0.24W/ft2

REFLECTED CEILING PLAN LEGEND

NOTES: THIS LEGEND IS USED AS THE MASTER LIST FOR ALL REFLECTED CEILING PLANS, AND NOT ALL SYMBOL DESIGNATIONS & NOTES ARE APPLICABLE FOR THIS PLAN. 1. PROVIDE 2 HOUR GYPSUM BOARD ENCLOSURE OVER ALL MECHANICAL OFFSETS. 2. COORDINATE WITH MECHANICAL DRAWINGS. PROVIDE ACCESS PANELS AT ALL MECHANICAL ELECTRICAL AND PLUMBING POINTS FOR SERVICE. (SEE M.E.P. DRAWINGS). 3. REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE SCHEDULE. 4. REFER TO ELECTRICAL LIGHTING DESIGN SPECIFICATIONS. 5. ALL VISIBLE ACCESS PANEL INSIDE THE UNIT SHALL BE TIMELESS SQUARE-EDGED GFRG ACCESS PANEL.	SPRINKLER WALL MOUNTED SPRINKLER 5W DECORATIVE PENDANT CEILING HEIGHT DESIGNATION HEAT PUMP SMOKE / CARBON MONOXIDE DETECTOR WALL MOUNTED SMOKE / CARBON MONOXIDE DETECTOR (FT BELOW F.C.) RETURN AIR GRILL SUPPLY DIFFUSER 12"X12" ACCESS PANEL	BATHROOM EXHAUST GRILLE 8"X8" CEILING REGISTER 12"X12" CEILING REGISTER WALL BOX TYPE COMBINATION OCC. SENSOR AND SWITCH CEILING MOUNT DUAL TECHNOLOGY OCC. SENSOR AUTOMATIC HEAT DETECTION ALARM ACTUATING DEVICE 1" REMOTE LAMP 30" - EXPLOSION PROOF 1" - COMBINATION HEAT / CO DETECTOR CEILING MOUNTED GLASS EXIT SIGN WALL MOUNTED GLASS EXIT SIGN	CEILING MOUNTED TRANSFORMER APARTMENT ELECTRIC PANEL APARTMENT IT PANEL SWITCH SWITCH (TWO WAY) SWITCH (THREE WAY) SWITCH (DIMMER) DATA DATA TELEVISION DATA TELEPHONE MOTORIZED SHADE INTERCOM	CEILING MOUNTED FIXTURE NO DROPPED CEILING (KADEX) 2 HR. CEILING (STAIRS) SUSPENDED GYPSUM WALL BOARD CEILING OR SOFFIT GWB CEILING IN 10' LAYERS OF GWB BELOW FAN COIL UNITS 2" X 2" DROPPED CEILING TILES LINEAR CEILING DIFFUSER (SEE MECH. DWGS FOR ADDITIONAL INFORMATION) LINEAR WALL DIFFUSER (SEE MECH. DWGS FOR ADDITIONAL INFORMATION) 18"X6" CEILING MOUNTED SUPPLY GRILLE (SEE MECH. DWGS FOR ADDITIONAL INFORMATION) SUPPLY GRILLE GROUND-FAULT CIRCUIT INTERRUPTER WALL MOUNTED FIXTURE FIRE SHUTTER	EXTERIOR WINDOW SHADES MOCKLINE RECESSED STEP SPRINKLER ONLY SPRING WP-WEATHERPROOF RECESSED DOWNLIGHT AMENITY (DIMMING) RECESSED DOWNLIGHT AMENITY (DIMMING) RECESSED DOWNLIGHT RESIDENTIAL RECESSED DOWNLIGHT PANTRY LIGHT FIXTURE FOR CLOSET RECESSED DOWNLIGHT BATHROOM	POINT LIGHT FIXTURE RECESSED DOWNLIGHT CORRIDOR COVE LIGHT FIXTURE - CORRIDOR COVE LIGHT FIXTURE - BATHROOM COVE LIGHT FIXTURE - LOBBY/AMENITY COVE LIGHT FIXTURE - ELEVATOR EXTERIOR WALL MOUNTED FIXTURE LIGHT FIXTURE-11 UPLIGHT OVER KITCHEN CABINET	UNDERCOUNTER LIGHT IN KITCHEN LIGHT BELOW MIRROR VERTICAL LIGHT BESIDE MIRROR VANITY NIGHTLIGHT SURFACE MOUNTED LINEAR FIXTURE WALL MOUNTED LINEAR FIXTURE 4" SURFACE OR PENDANT MOUNTED FLUORESCENT WALL MOUNTED FIXTURE LINEAR FLUORESCENT BACKLIGHT LINEAR LED STRIP LIGHT	2" X 2" LIGHTING FIXTURE EXTERIOR GROUND MOUNTED UPLIGHT LINEAR LED STRIP LIGHT TRIMLESS WALLWASHER JUNCTION BOX THERMOSTAT THERMOSTAT FOR RADIANT HEAT MAT SMOKE DETECTOR ELEVATOR ELEVATOR HEAT DETECTOR
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RESIDENTIAL FLOOR PLAN LEVEL 45 RCP
SCALE 1/4" = 1'-0"

FLOOR LOCATION DIAGRAM
SCALE 1/32" = 1'-0"

CORRIDOR
3 X LT-08 = 60W (20W PER FIX)
44' X LT-9 = 132W (3W PER FOOT)
2 X LT-20 = 58W (29W PER FIX)

TOTAL WATT = 250W
TOTAL SF = 280ft2

PROPOSED LPT = 250W/ 280ft2 = 0.89W/ft2

STAIR
2 X LT-20 = 58W (29W PER FIX)

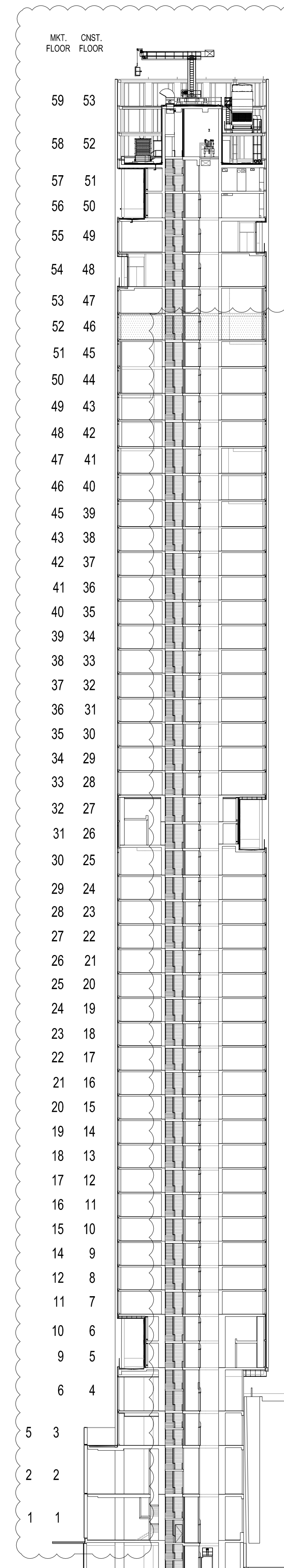
TOTAL WATT = 58W
TOTAL SF = 240 ft2
PROPOSED LPT = 58W/ 240ft2 = 0.24W/ft2

REFLECTED CEILING PLAN LEGEND

NOTES: THIS LEGEND IS USED AS THE MASTER LIST FOR ALL REFLECTED CEILING PLANS, AND NOT ALL SYMBOL DESIGNATIONS & NOTES ARE APPLICABLE FOR THIS PLAN. 1. PROVIDE 1 HOUR GYPSUM BOARD ENCLOSURE OVER ALL MECHANICAL OFFSETS. 2. COORDINATE WITH MECHANICAL DRAWINGS. PROVIDE ACCESS PANELS AT ALL MECHANICAL ELECTRICAL AND PLUMBING POINTS FOR SERVICE. (SEE M.E.P. DRAWINGS). 3. REFER TO ELECTRICAL AND LIGHTING DESIGN DRAWING FOR POWER SUPPLIES & SPECIFICATIONS. 4. ALL VISIBLE ACCESS PANEL INSIDE THE UNIT SHALL BE TIMELESS SQUARE-EDGED GFRG ACCESS PANEL.	SPRINKLER WALL MOUNTED SPRINKLER SW DECORATIVE PENDANT CEILING HEIGHT DESIGNATION HEAT PUMP SMOKE / CARBON MONOXIDE DETECTOR WALL MOUNTED SMOKE / CARBON MONOXIDE DETECTOR 1FT BELOW F.C. RETURN AIR GRILL SUPPLY DIFFUSER 12"x12" ACCESS PANEL	BATHROOM EXHAUST GRILLE 8"x8" CEILING REGISTER WALL BOX TYPE COMBINATION OCC. SENSOR AND SWITCH CEILING MOUNT DUAL TECHNOLOGY OCC. SENSOR AUTOMATIC HEAT DETECTION ALARM ACTUATING DEVICE 1" REMOTE LAMP 30" - EXPLOSION PROOF 10" - ELEVATOR RECALL 10" - COMBINATION HEAT / CO DETECTOR CEILING MOUNTED GLASS EXIT SIGN WALL MOUNTED GLASS EXIT SIGN	CEILING MOUNTED TRANSFORMER APARTMENT ELECTRIC PANEL APARTMENT IT PANEL SWITCH (TWO WAY) SWITCH (THREE WAY) SWITCH (DIMMER) DATA DATA TELEVISION DATA TELEPHONE DATA TELEPHONE SHADE INTERCOM	CEILING MOUNTED FIXTURE SWITCHED RECEPTACLE DUPLEX RECEPTACLE (DEDICATED) REFRIGERATOR RECEPTACLE DISHWASHER RECEPTACLE MICROWAVE RECEPTACLE GARBAGE DISPOSAL RECEPTACLE GROUND-FAULT CIRCUIT INTERRUPTER WALL MOUNTED FIXTURE FIRE SHUTTER	NO DROPPED CEILING (KADEX) 2 HR. CEILING (STAIRS) SUSPENDED GYPSUM WALL BOARD CEILING OR SOFFIT GWB CEILING IN 10' LAYERS OF GWB BELOW FAN COIL UNITS 2' X 2' DROPPED CEILING TILES LINEAR CEILING DIFFUSER (SEE MECH. DWGS FOR ADDITIONAL INFORMATION.) SUPPLY GRILLE (SEE MECH. DWGS FOR ADDITIONAL INFORMATION.) 18"x6" CEILING MOUNTED SUPPLY GRILLE (SEE MECH. DWGS FOR ADDITIONAL INFORMATION.)	EXTERIOR WINDOW SHAPES MCKLINE RECESSED STEP SPRINKER ONLY APPLIANCE WP. WEATHERPROOF RECESSED DOWNLIGHT AMENITY (DIMMING) RECESSED DOWNLIGHT AMENITY (DIMMING) RECESSED DOWNLIGHT RESIDENTIAL RECESSED DOWNLIGHT PANTRY LIGHT FIXTURE FOR CLOSET RECESSED DOWNLIGHT BATHROOM	POINT LIGHT FIXTURE RECESSED DOWNLIGHT CORRIDOR COVE LIGHT FIXTURE - CORRIDOR COVE LIGHT FIXTURE - BATHROOM COVE LIGHT FIXTURE - LOBBY/AMENITY COVE LIGHT FIXTURE - ELEVATOR EXTERIOR WALL MOUNTED FIXTURE LIGHT FIXTURE-11 UPLIGHT OVER KITCHEN CABINET	UNDERCOUNTER LIGHT IN KITCHEN LIGHT BELOW MIRROR VERTICAL LIGHT BESIDE MIRROR VANITY NIGHTLIGHT SURFACE MOUNTED LINEAR FIXTURE WALL MOUNTED LINEAR FIXTURE 4" SURFACE OR PENDANT MOUNTED FLUORESCENT WALL MOUNTED FIXTURE LINEAR FLUORESCENT BACKLIGHT LINEAR LED STRIP LIGHT	2' X 2' LIGHTING FIXTURE EXTERIOR GROUND MOUNTED UPLIGHT LINEAR LED STRIP LIGHT TRAILLESS WALLWASHER JUNCTION BOX THERMOSTAT THERMOSTAT FOR RADIANT HEAT MAT SMOKE DETECTOR ELEVATOR ELEVATOR RELATED DEVICE HEAT DETECTOR
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RESIDENTIAL FLOOR PLAN LEVEL 46 RCP
SCALE 1/4" = 1'-0"

FLOOR LOCATION DIAGRAM
SCALE 1/32" = 1'-0"



CORRIDOR
3 X LT-08 = 60W (20W PER FIX)
44' X LT-9 = 132W (3W PER FOOT)
2 X LT-20 = 58W (29W PER FIX)

TOTAL WATT = 250W
TOTAL SF = 280ft2

PROPOSED LPT = 250W/ 280ft2 = 0.89W/ft2

STAIR
2 X LT-20 = 58W (29W PER FIX)

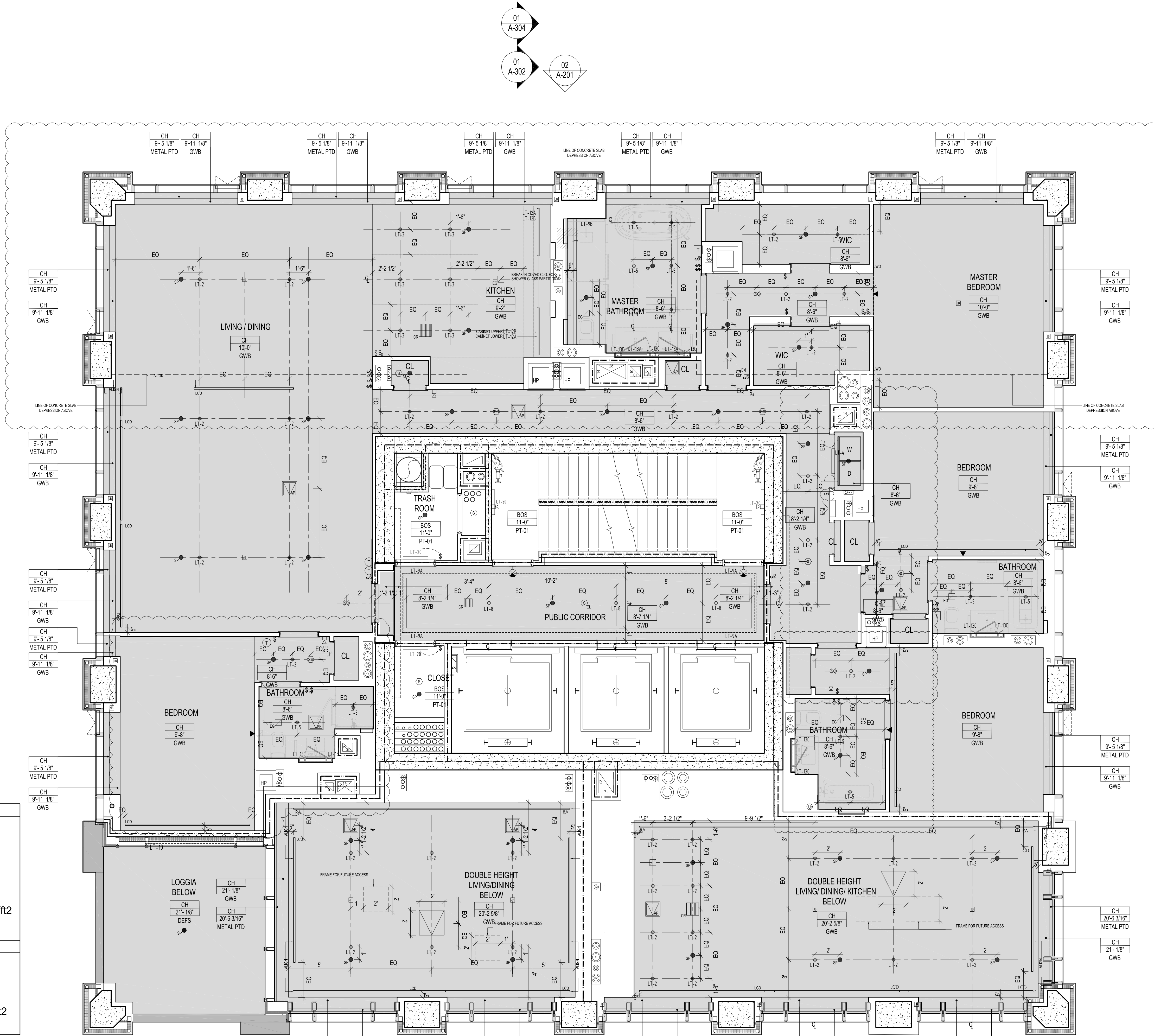
TOTAL WATT = 58W
TOTAL SF = 240ft2
PROPOSED LPT = 58W/ 240ft2 = 0.24W/ft2

REFLECTED CEILING PLAN LEGEND

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RESIDENTIAL FLOOR PLAN LEVEL 47 DUPLEX UPPER
SCALE 1/4" = 1'-0"

FLOOR LOCATION DIAGRAM
SCALE 1/32" = 1'-0"



WINDOW SETBACK
PER ZR 23-86 AND MDL 34

